

LIST OF ABBREVIATIONS

ABV	ABOVE	DRWR	DRAWER	MATL	MATERIAL	SECT	SECTION
A.F.F.	ABOVE FINISHED FLOOR	DWG	DRAWING	MAX	MAXIMUM	SHT	SHEET
ACC	ACCESS	D.O.	DRYWALL OPENING	MECH	MECHANICAL	SHWR	SHOWER
ACC PNL	ACCESS PANEL	EA	EACH	MC	MEDICINE CABINET	SHM	SMILAR
ACOUS	ACOUSTICAL	E	EAST	MEMB	MEMBRANE	SGD	SLIDING GLASS DOOR
ADJ	ADJUSTABLE	ELEC	ELECTRICAL	MTL	METAL	S.C.	SOLID CORE
AGG	AGGREGATE	EP	ELECTRICAL PANEL BOARD	MIN	MINIMUM	S	SOUTH
ALT	ALTERNATE	ELEV	ELEVATION	MIR	MIRROR	SPEC	SPECIFICATION
ALUM	ALUMINUM	ENCL	ENCLOSURE	MISC	MISC	SQ	SQUARE
ANCH	ANCHOR	ENG	ENGINEER	MTD	MOUNTED	S.F.	SQUARE FEET
A.B.	ANCHOR BOLT	EO	EQUAL	MULL	MULLION	S.S.	STAINLESS STEEL
APT	APARTMENT	EQUIP	EQUIPMENT	NOM	NORMAL	STD	STANDARD
APPR	APPROVED	EXIST	EXISTING	N	NORTH	STO	STORAGE
APPROX	APPROXIMATE	EXP	EXPANSION	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL
ARCH	ARCHITECTURAL	E.J.	EXPANSION JOINT	NTS	NOT TO SCALE	SV	SHEET VINYL FLOORING
A.D.	AREA DRAIN	EXT	EXTERIOR	NO	NUMBER	SUS CLG	SUSPENDED CEILING
AVG	AVERAGE	F.O.B.	FACE OF BLOCK	OFF	OFFICE	SYS	SYSTEM
BSMT	BASEMENT	F.O.F.	FACE OF FINISH	O.C.	ON CENTER	TEL	TELEPHONE
BM	BEAM	F.O.S.	FACE OF STUD	1R	ONE ROD	TV	TELEVISION
BRG	BEARING	FT	FEET OR FOOT	1S	ONE SHELF	TEMP	TEMPERATURE
BRG PLT	BEARING PLATE	FIN	FINISH	OPNG	OPENING	THR	THRESHOLD
BITUM	BITUMINOUS	FF	FINISHED FLOOR	OPP HD	OPPOSITE HAND	THK	THICK
BLKG	BLOCKING	F.D.	FIRE RETARDANT	OSB	ORIENTED STRAND BOARD	TPH	TOILET PAPER HOLDER
BD	BOARDS	SS	FIVE SHELVES	O.D.	OUTSIDE DIAMETER	T & G	TONGUE AN GROOVE
BOT	BOTTOM	FD	FLOOR DRAIN	OH	OVERHEAD	TB	TOWEL BAR
B.O.B.	BOTTOM OF BEAM	FURR DN	FUR DOWN	PTD	PAINTED	TR	THREAD
BLDG	BUILDING	GA	GAUGE	PR	PAIRED	TYP.	TYPICAL
CAB	CABINET	GALV	GALVANIZED	PNL	PANEL	TOS	TOP OF SLAB
C.O.	CASED OPENING	G.C.	GENERAL CONTRACTOR	PKG	PARKING	T.O.B.	TOP OF BEAM
CLG	CEILING	GL	GLASS	PART	PARTITION	T.O.W.	TOP OF WALL
CLG HGT	CEILING HEIGHT	GYP	GYPSPUM	PLAS	PLASTIC	2R	TWO RODS
CEM	CEMENT	GYP BD	GYPSPUM BOARD	P. LAM	PLASTIC LAMINATE	2S	TWO SHELVES
CER	CERAMICS	HWD	HARDWARE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
C.T.	CERAMIC TILE	HD	HEAD	PLYWD	PLYWOOD	UNFIN	UNFINISHED
CIR	CIRCLE	HDR	HEADER	PT	POINT	UR	URINAL
CLO	CLOSET	HGT	HEIGHT	P.C.	PULL CHAIN	VJ	VEE JOINT
COL	COLUMN	HC	HOLLOW CORE	PT	PRESSURE TREATED	VNR	VENER
COMP	COMPOSITION	HM	HOLLOW METAL	RAD	RADIUS	VERT	VERTICAL
CONC	CONCRETE	HORIZ	HORIZONTAL	RE	REFERENCE	VC	VINYL COMPOSITION TILE
CMU	CONCRETE MAS. UNIT	HB	HOSE BIB	REF	REFRIGERATOR	WSC	WAINSCOT
CONTR	CONTRACTOR	IN	INCH	REINF	REINFORCED	WIC	WALK IN CLOSET
CONSTR	CONSTRUCTION	ID	INSIDE DIAMETER	REQD	REQUIRED	WC	WATER CLOSET
CONT	CONTINUOUS	INSUL	INSULATION	RR	RESTROOM	WH	WATER HEATER
C.J.	CONTROL JOIN	INT	INTERIOR	RA	RETURN AIR	WP	WATER PROOF
DTL	DETAIL	JT	JOINT	REV	REVERSE/REVISION	WEEP	WEEP HOLE
DIA	DIAMETER	JST	JOIST	RT	RIGHT	WT	WEIGHT
DIM	DIMENSION	KIT	KITCHEN	RH	RIGHT HAND	W	WEST
DW	DISH WASHER	LAM	LAMINATE	R.O.W.	RIGHT OF WAY	WDW	WINDOW
DISP	DISPOSAL	LAV	LAVATORY	R	RISER	WD	WOOD
D.O.	DOOR OPENING	LGT	LIGHT	RD	ROOF DRAIN	W/	W/
DBL	DOUBLE	LIN	LINEN	RM	ROOM	W/O	WITHOUT
D.H.	DOUBLE HUNG	LTEL	LINTEL	RO	ROUGH OPENING	YD	YARD
		MFR	MANUFACTURER	SND	SAN. NAPKIN DISPENSER		
		M.O.	MASONRY OPENING	SNR	SAN. NAPKIN RECEPTACLE		
				SCHED	SCHEDULE		

STRUCTURAL NOTES:

- GENERAL NOTES:**
- ALL STRUCTURAL INFORMATION AND SPECIFICATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER/OWNER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, FOUNDATION WALLS, GIRDERS, JOISTS AND SLABS AS PER LOCAL CODE.
 - BUILDER/OWNER SHALL INSPECT THE PROPOSED SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING THE ERECTION OF ANY PART OF THIS BUILDING. CONTRACTOR SHALL NOTIFY THE BUILDER/OWNER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.

FOUNDATION NOTES:

- IT IS THE BUILDER'S/OWNER'S RESPONSIBILITY TO REVIEW ALL FLOOR FINISHED MATERIAL ALL FINISHED FLOORS SHALL BE FLUSH WITH THE ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIAL. ADJUST FOUNDATION FRAMING OR CONCRETE AS REQUIRED.
- BUILDER/OWNER SHALL PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL CODES.
- THE FOUNDATION IS DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.
- ALL CONCRETE WORK SHALL DEVELOP A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH AND ALL CONCRETE SHALL BE 3,000 P.S.I. EXCEPT EXTERIOR CONCRETE WHICH SHALL BE 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- FOOTINGS SHALL BE 2'-0" WIDE X 12" DEEP 3,000 P.S.I CONCRETE REINFORCED WITH 2-#5 REBARS AND SHALL BEAR ON FIRM UNDISTURBED SOIL WELL BELOW FROST LINE.
- FOUNDATION WALLS SHALL BE 8" x 8" x 16" CONCRETE BLOCK WITH NON-CORROSIVE CORNER REINFORCED HORIZONTAL AND AT 16" O.C. VERTICAL. IF CONCRETE BLOCK WALL SHALL EXCEED 30" HEIGHT ABOVE GRADE REINFORCE WITH #4 REBARS AT 12" O.C. VERTICAL AND FILL CORES SOLID WITH CONCRETE.
- CONCRETE SLAB SHALL BE 3,000 P.S.I. 4" THICK MIN. REINF. WITH FIBER-MESH OVER 6 MIL. POLYETHYLENE MOISTURE BARRIER. SLAB SHALL BE CONSTRUCTED ON 4" OF GRAVEL OR SAND AND ON FIRM LAYER COMPACTED FILL DIRT TREATED FOR PREVENTION OF TERMITES AS PER LOCAL CODES.
- CONCRETE BLOCK PIERS SHALL BE 8"x8"x16" BLOCKS WITH 2-#5 REBARS VERTICAL ON 2'-0" x 3'-0" x 1'-0" DEEP CONCRETE FOOTING WITH 3-#5 2'-6" REBARS ON TOP AND 4-#5 1'-6" REBARS ON BOTTOM.
- THICKENED SLABS SHALL BE 12" WIDE AND 12" DEEP WITH 2-#5 REBARS CONTINUOUS PROVIDE POSTHOLES AT 4'-0" O.C.
- REINFORCING BARS SHALL CONFORM TO A.S.T.M. #15 GRADE 60 (6,000 P.S.I. YIELD STRENGTH). REINFORCING IN ALL CONCRETE WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
- ALL SOLE PLATES AT EXTERIOR AND INTERIOR LOAD BEARING WALLS SHALL BE ANCHORED WITH 1/2" x 1'0" LONG ANCHOR BOLTS EMBEDDED INTO CONCRETE 7" AND SHALL BE SPACED 4'-0" O.C. AND 12" FROM ALL CORNERS.

FRAMING NOTES:

- STRUCTURAL SWAN AND GLUED LAMINATED TIMBER SHALL CONFORM TO FOLLOWING SPECIES AND STRESS GRADES.
 - A. STRESS GRADE SWAN LUMBER SHALL CONFORM TO NATIONAL SPECIFICATION FOR SURFACE DRIED NO.2 SELECT STRUCTURAL SOUTHERN PINE WITH ALLOWABLE STRESS VALUES OF 1,300 P.S.I. IN BENDING AND A MODULUS OF ELASTICITY OF 1,600 K.S.I.
 - B. THE PRODUCTION TESTING, INSPECTION, IDENTIFICATION AND CERTIFICATION OF STRUCTURAL GLUED LAMINATED TIMBER SHALL CONFORM TO U.S. COMMERCIAL STANDARD CD 253-63 AND A.I.T.C. 200. GLUE USED SHALL BE WATERPROOF. ALLOWABLE STRESS VALUES SHALL BE 2,400 P.S.I. IN BENDING, 1,400 P.S.I. IN TENSION PARALLEL TO GRAIN 2,100 P.S.I. IN SHEAR AND MODULUS OF ELASTICITY OF 1,900 K.S.I.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO MAINTAIN ALIGNMENT AND SECURITY OF STRUCTURES DURING CONSTRUCTION.
- PROVIDE FULL SOLID STUD BEARING UNDER ALL BEAM BEARING POINTS TO SOLID FOUNDATION CONDITION BELOW.
- TYPICAL EXTERIOR 2X6 STUD (UNLESS OTHERWISE NOTED) WALLS SHALL BE SHEATHED WITH 1/2" EXTERIOR GRADE O.S.B. PLYWOOD. O.S.B. PLYWOOD SHALL SPAN OVER ALL PLATES AND HEADERS AND BE ADEQUATELY NAILED TO CREATE A "DIAPHRAGM" WALL.
- PROVIDE PRESSURE TREATED LUMBER WHERE REQUIRED BY CODE AND GOOD CONSTRUCTION PRACTICES. (I.E. IN CONTACT WITH CONCRETE).
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).

MECHANICAL/ELECTRICAL/PLUMBING NOTES

MECHANICAL NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO DESIGN AND ENGINEER THE H.V.A.C SYSTEM TO A COMFORT ZONE OF 72 DEGREES HEAT AND COOL.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER AND TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT APPROVAL.
- PROVIDE AND INSTALL ALL EQUIPMENT AND H.V.A.C. SYSTEMS IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.
- ALL PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED TOGETHER WITHIN THE ATTIC SPACE TO MINIMIZE ROOF PENETRATIONS. ALL VENTS SHALL NOT BE LOCATED ON FRONT ROOF AND SHALL BE LOCATED TO BE VISUALLY "NON OFFENSIVE" AS POSSIBLE PAIN VENTS AND FLUES TO MATCH ROOF COLOR.
- PROVIDE SERVICE (GAS, ELECTRICITY) TO ALL EQUIPMENT (I.E. H.V.A.C., WATER HEATER, RANGES, REF., WASHER, DRYER, ETC.)

ELECTRICAL NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO DESIGN AND ENGINEER THE ELECTRICAL SYSTEM, SERVICE, METERING PANEL BOARDS AND CIRCUITING.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE PROVIDED LAYOUTS. AND TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT FOR APPROVAL.
- THE ELECTRICAL PLAN PROVIDED INDICATES INTENT ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT, FIXTURES, AS REQUIRED BY BUILDER/OWNER AND IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.
- ALL RECEPTACLES NEAR WATER CONDITIONS TO BE "GROUND FAULT INTERRUPTED" GFI TYPE.
- HARDWIRED (WITH BATTERY BACKUP) SMOKE DETECTORS SHALL BE INSTALLED ON ALL FLOORS AND ALL BEDROOMS. VERIFY WITH LOCAL CODES.
- ELECTRICAL CONTRACTOR TO VERIFY WITH BUILDER/OWNER FOR EXTERIOR SECURITY LIGHTS, LANDSCAPE LIGHTING CIRCUITS AND SWITCHES AND LOCATION

PLUMBING NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO DESIGN AND ENGINEER THE PLUMBING SYSTEM, SUPPLY, WASTE, VENTILATION AND GAS SERVICES.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT, FIXTURES AS REQUIRED BY BUILDER/OWNER IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.

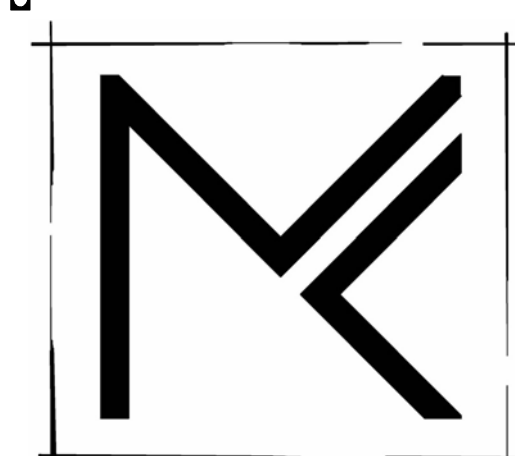
CODE SUMMARY

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL ELECTRICAL CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE & "SPECIAL GUIDELINES OF BRENTWOOD
- BUILDING USE GROUP: R-3 RESIDENTIAL ONE AND TWO
- CONSTRUCTION TYPE: VB (WOOD CONSTRUCTION)

AREA CALCULATIONS

MAIN LEVEL:	3,917 SQ.FT.
UPPER LEVEL:	2,046 SQ.FT.
TOTAL CONDITIONED:	5,963 SQ.FT.
OPT. TERRACE LEVEL:	1,052 SQ.FT.
TERRACE STORAGE:	307 SQ.FT.
TANDEM GARAGE:	673 SQ.FT.
FRONT PORCH:	191 SQ.FT.
PORTE-COCHERE:	316 SQ.FT.
TWO CAR GARAGE:	525 SQ.FT.
REAR PORCH:	458 SQ.FT.
UPPER MECH. STORAGE:	78 SQ.FT.
UPPER STORAGE:	168 SQ.FT.
TOTAL UNDER ROOF:	9,731 SQ.FT.
MAX BUILDING COVERAGE ALLOWED 10% OF LOT SIZE 59,564 =	5,956 SQ.FT.
PROPOSED BUILDING COVERAGE SQ. FOOTAGE:	5,927 SQ.FT.
FLOOR AREA RATIO (F.A.R.) 15% OF LOT SIZE 59,564=	8,934 SQ.FT.
PROPOSED FLOOR AREA RATIO SQ. FOOTAGE:	5,963 SQ.FT.

SHEET INDEX	
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A2	ARCHITECTURAL SITE PLAN
A3	FOUNDATION PLAN
A4	FOUNDATION DETAILS
A5	TERRACE PLAN
A6	FIRST FLOOR PLAN
A7	SECOND FLOOR PLAN
A8	ROOF PLAN
A9	EXTERIOR ELEVATIONS
A10	EXTERIOR ELEVATIONS
A11	BUILDING SECTIONS
A12	DETAILS
A13	DETAILS
A14	FIRST FLOOR ELECTRICAL PLAN
A15	SECOND FLOOR ELECTRICAL PLAN



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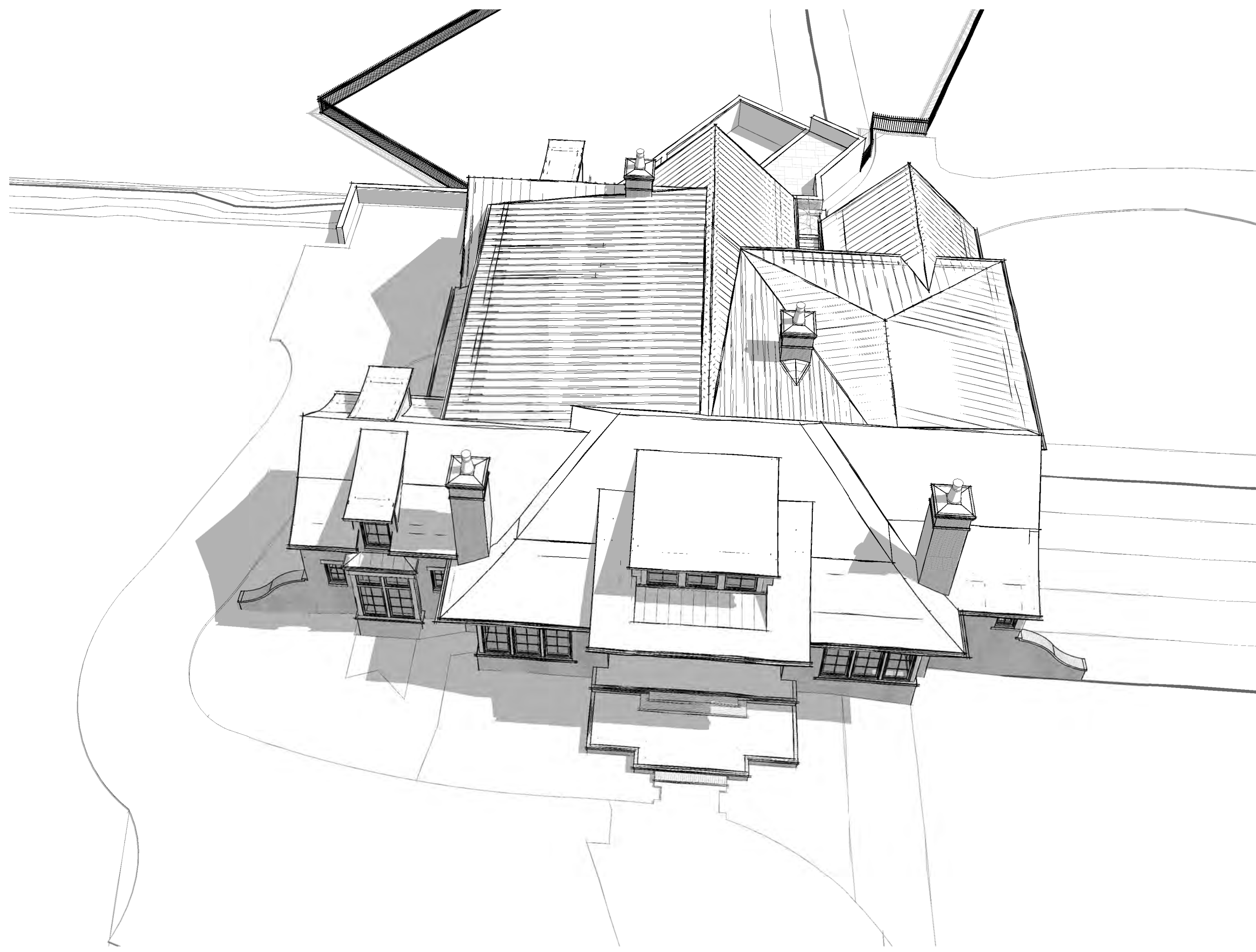
PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 02.24.26

NO.	DESCRIPTION	DATE

SHEET
A0
COVER



① 3D VIEW 1



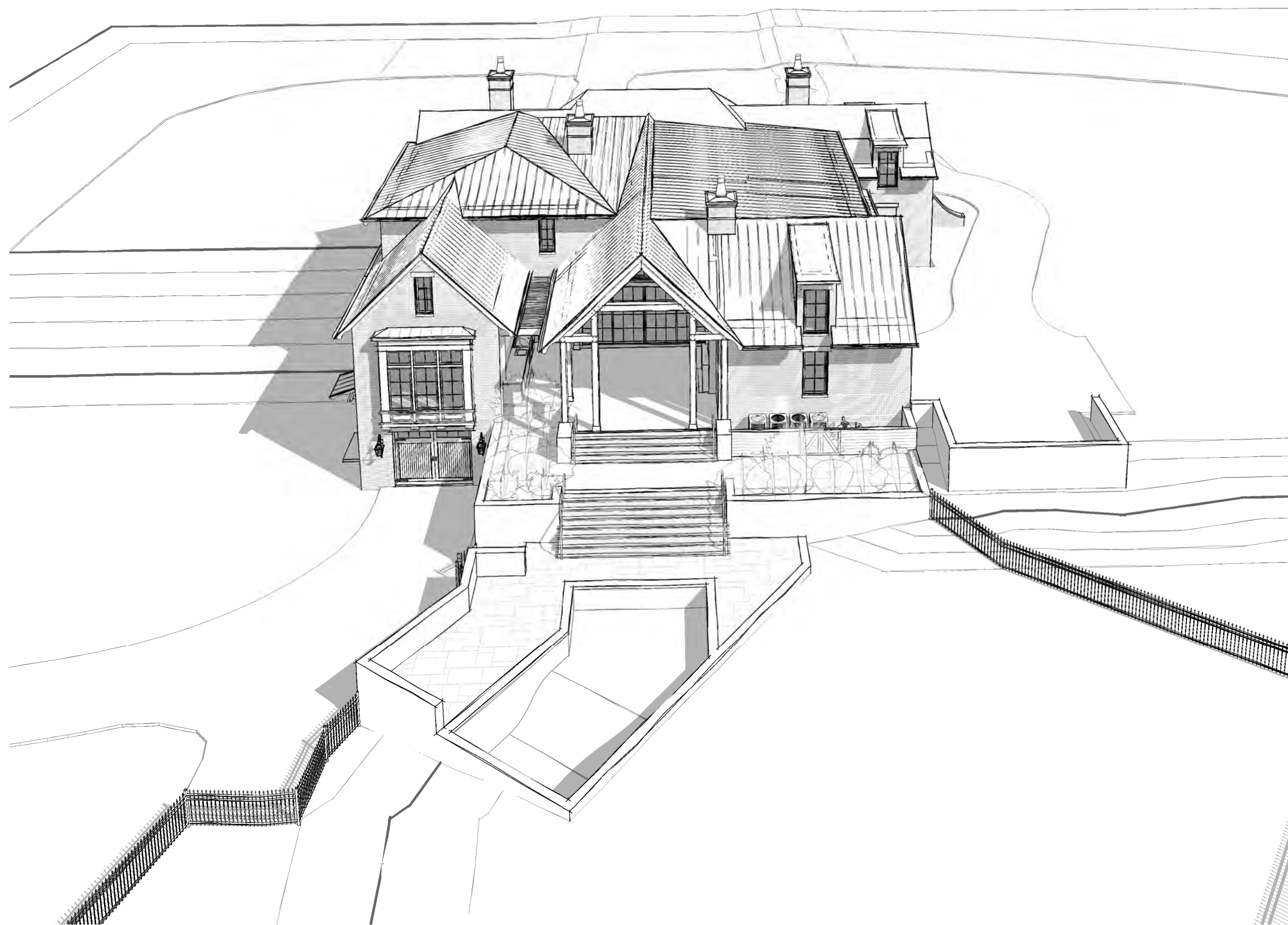
② 3D VIEW 2



③ 3D VIEW 3



④ 3D VIEW 4



⑤ 3D VIEW 5



⑥ 3D VIEW 6



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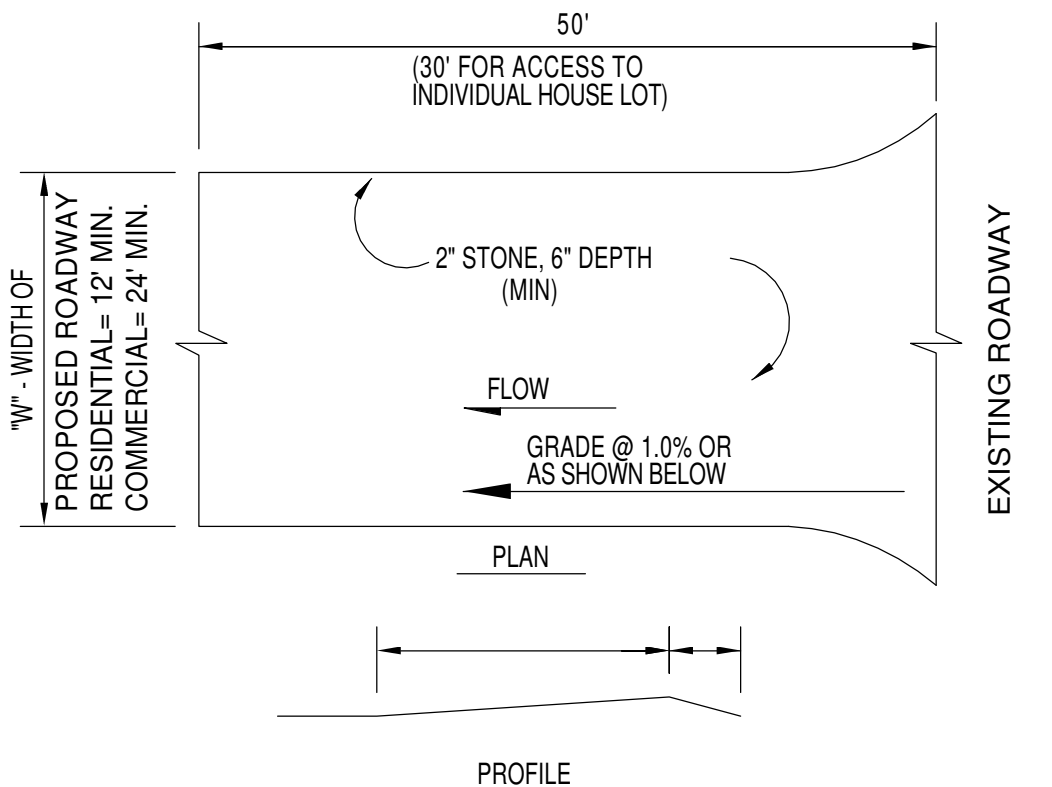
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PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 02.24.26

NO.	DESCRIPTION	DATE

SHEET
A1
PERSPECTIVES
VIEWS



01. INSTALL A SINGLE ACCESS DRIVE USING 2" AGGREGATE
02. MAINTAIN THROUGHOUT CONSTRUCTION UNTIL DRIVEWAY IS PAVED
03. PARK ALL CONSTRUCTION VEHICLES ON THE STREET AND OFF THE SITE



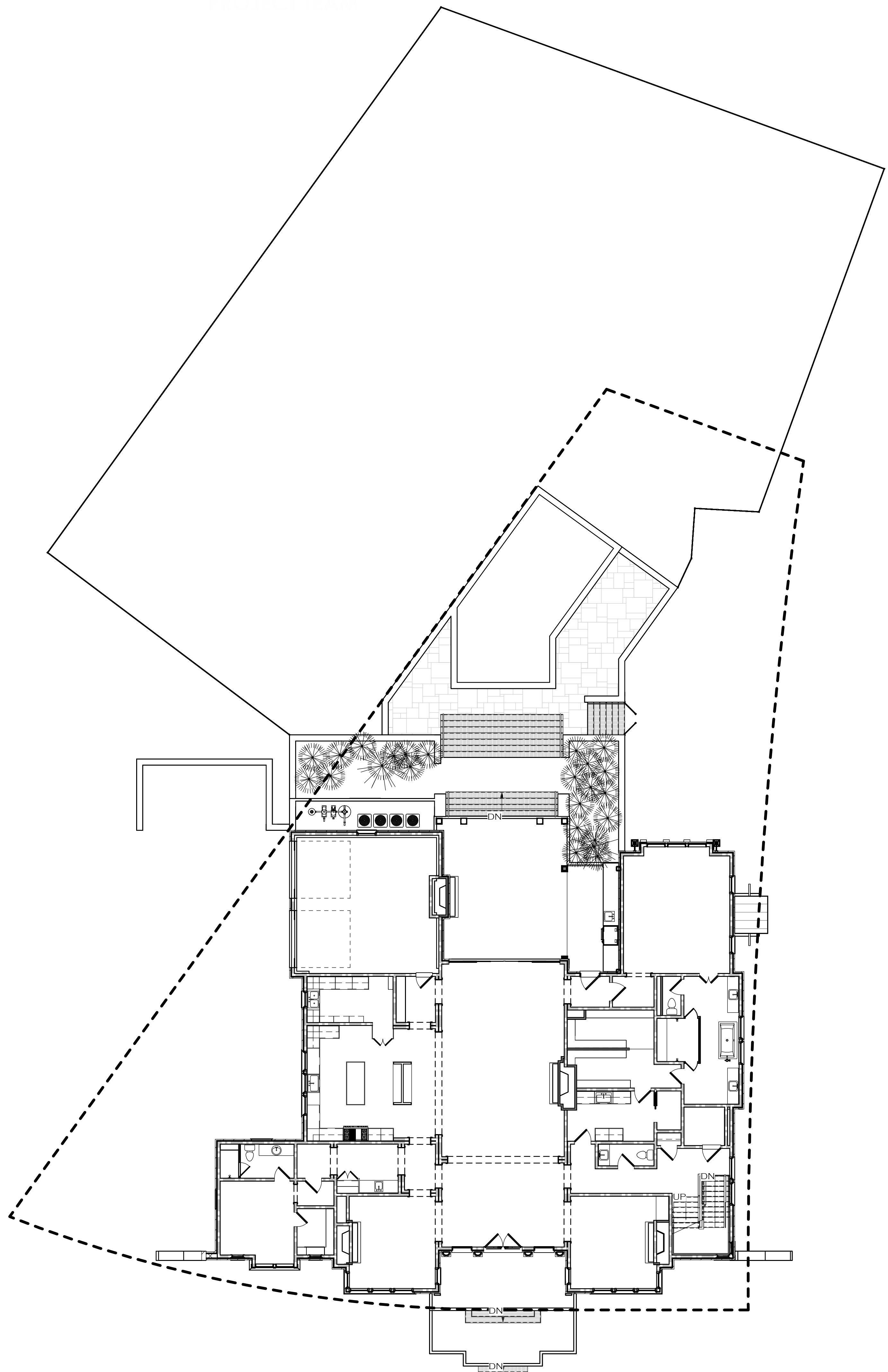
01.	INSTALL SILT FENCE PRIOR TO THE START OF ANY WORK	
02.	INSTALL SILT FENCE ON THE DOWN SLOPE SIDE(S) OF THE SITE AND EXTEND THE ENDS UP THE SLOPE A SHORT DISTANCE	
03.	PLACE THE SILT FENCE PARALLEL TO THE CONTOUR OF THE LAND TO ALLOW WATER TO POND BEHIND THE SILT FENCE	
04.	ENTRENCHMENT SHALL BE 6 INCHES DEEP	
05.	STRAW BALES SHALL NOT BE USED	
06.	THERE SHALL BE NO GAPS BETWEEN SECTIONS OF THE SILT FENCE	
07.	INSPECT AND REPAIR ONCE PER WEEK (MIN.) AND AFTER EVERY REMOVE SEDIMENT IF AND WHEN IT REACHES HALF THE FENCE HEIGHT	1/2" OF RAINFALL.
08.	MAINTAIN THE SILT FENCE UNTIL A LAWN IS ESTABLISHED	

3. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNKNOWN FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR BY THE CONTRACTOR. ANY CHANGES MUST BE APPROVED BY THE LOCAL AGENCIES.
4. THE CONTRACTOR SHALL FOLLOW STORMWATER ORDINANCES AS ESTABLISHED BY THE AUTHORITIES HAVING JURISDICTION FOR GRADING, EROSION AND SEDIMENT CONTROL FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
5. STRUCTURAL, PRACTICES TO DIVERT FLOWS FROM AREAS OF LAND DISTURBANCE, STORE FLOWS, OR OTHER LIMIT FLOW, LIMIT FLOW AND/OR DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE STATE OF TENNESSEE'S EROSION AND SEDIMENT CONTROL HANDBOOK (4TH EDITION) OR LOCAL ORDINANCES WITH THE MOST RESTRICTIVE HAVING PRECEDENCE.
6. THE CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1.
7. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS. THE LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO AVOID GRADING OPERATIONS. THE ENTRANCE SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.
8. ALL CONSTRUCTION TRAFFIC MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO ENTERING THE PAVED ROADWAY. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WINTER DAY OR.
9. THE CONTRACTOR SHALL PLACE/INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES AND ANY NEW DRAINAGE MEASURES REQUIRED IMMEDIATELY AFTER THE STABILIZED CONSTRUCTION ENTRANCE IS COMPLETED. THESE MEASURES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
10. INSPECTIONS AND RECORD KEEPING - INSPECTION OF ALL CONTROL MEASURES, AND OF ALL DISTURBED AREAS ON SITE, SHALL BE PERFORMED IN INTERVALS OF NO LESS THAN 14 CALENDAR DAYS. ADDITIONALLY, INSPECTIONS SHALL BE PERFORMED IMMEDIATELY AFTER ANY WEATHER EVENT EXCEEDING THE FOLLOWING: SUCH AS INTENSE THUNDER SHOWERS OVER ONE OR MORE DAYS; AND WITHIN 24 HOURS OF THE END OF ANY STORM OR EVENT THAT RESULTS IN PRECIPITATION OF 0.5 INCHES OR GREATER. ALL INSPECTIONS SHALL BE DOCUMENTED IN A LOG. THE LOG SHALL CONTAIN THE FOLLOWING INFORMATION:
a. DATE OF THE INSPECTION
b. NAMES AND TITLE OR QUALIFICATION OF - PERSONNEL MAKING THE INSPECTION,
c. THE SCOPE OF THE INSPECTION,
d. THE VARIATIONS RELATED TO THE IMPLEMENTATION OF THE CONTROL MEASURES, INCLUDING ANY DISCHARGE LOCATION OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE AS WELL AS ANY CONTROL DEVICE OR MEASURE THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION.
11. SHOULD AN INSPECTION IDENTIFY ANY INADEQUATE MEASURES OR DEFICIENCIES, THOSE MEASURES SHALL BE REPAIRED, MODIFIED OR REPLACED PRIOR TO THE NEXT RAINFALL EVENT WHEN POSSIBLE; BUT, IN NO CASE, SHALL REMEDIAL MEASURES FAIL TO BE IMPLEMENTED WITHIN (7) CALENDAR DAYS. ALL REMEDIAL MEASURES SHALL BE LOGGED IN THE LOG BOOK.
12. IN AREAS WHERE THE SOILS IS EXPOSED, PROMPT REPLANTING WITH NATIVE COMPATIBLE, DROUGHT-RESISTANT VEGETATION SHALL BE PERFORMED. NO AREA SHALL BE LEFT EXPOSED OVER THE WINTER SEASON.
13. THE CONTRACTOR SHALL IMPLEMENT STABILIZATION MEASURES WITHIN SEVEN (7) DAYS ON ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE EITHER TEMPORARILY OR PERMANENTLY CEASED AND WHERE THERE IS A RISK OF EROSION. STABILIZATION MEASURES SHALL BE SELECTION OF PERMANENT VEGETATION (EG. NATIVE HERACEROUS AND WOODY PLANTS WHERE PERMITTED) AND/OR MULCH. MULCH SHALL BE APPLIED TO EXPOSED AREAS OF GEOTECHNICAL, SOD STABILIZATION, MULCH) SHALL REPLACE ANY PRIOR TEMPORARY SEEDING OR STABILIZING MEASURES.
14. CONTRACTORS SHALL IMPLEMENT SITE HOUSEKEEPING PRACTICES AS FOLLOWS:

MAIN LEVEL:	3,917 SQ.FT.
UPPER LEVEL:	2,046 SQ.FT.
TOTAL CONDITIONED:	5,963 SQ.FT.
OPT. TERRACE LEVEL:	1,052 SQ.FT.
TERRACE STORAGE:	307 SQ.FT.
TANDEM GARAGE:	673 SQ.FT.
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REAR PORCH:	458 SQ.FT.
UPPER MECH. STORAGE:	78 SQ.FT.
UPPER STORAGE:	168 SQ.FT.
TOTAL UNDER ROOF:	9,731 SQ.FT.

MAX BUILDING COVERAGE ALLOWED 10% OF LOT SIZE 59,564 =	5,956 SQ.FT.
PROPOSED BUILDING COVERAGE SQ. FOOTAGE:	5,927 SQ.FT.

FLOOR AREA RATIO (F.A.R.) 15% OF LOT SIZE 59,564=	8,934 SQ.FT.
PROPOSED FLOOR AREA RATIO SQ. FOOTAGE:	5,963 SQ.FT.



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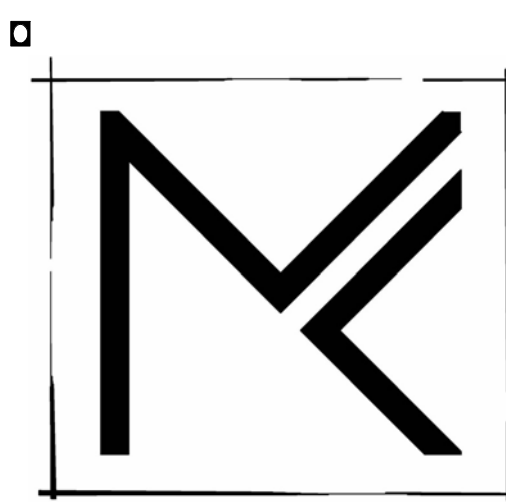
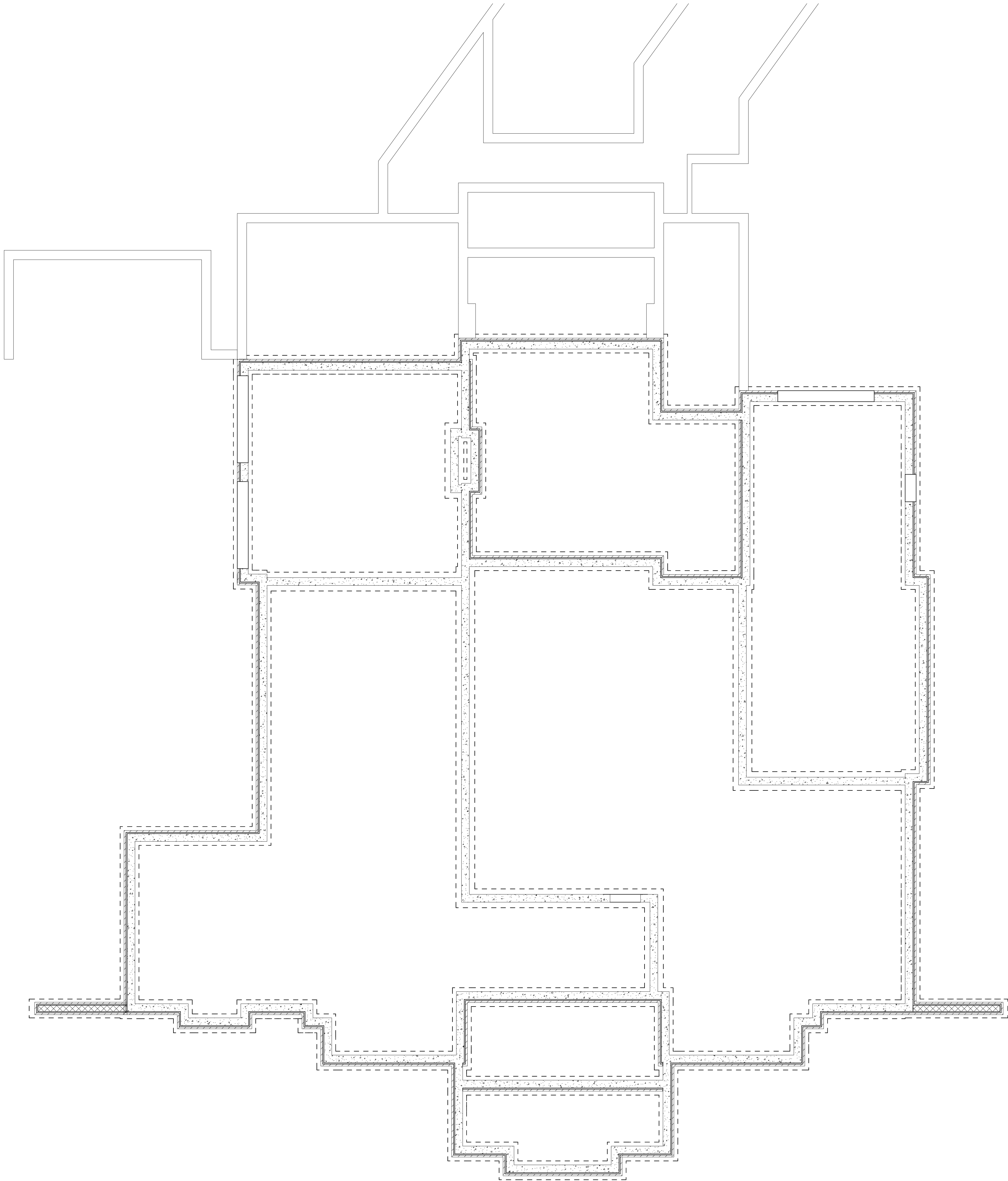
MAJORS CONSTRUCTION
1252 HICKORY SPRINGS CT.
BRENTWOOD, TN 37027

PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 02.24.26

NO.	DESCRIPTION	DATE

SHEET
A2
ARCHITECTURAL
SITE PLAN

- FOUNDATION PLAN NOTES- SLAB
- BUILDER TO COORDINATE AND SIZE ALL BEAMS & FRAMING MEMBERS PRIOR TO STARTING CONSTRUCTION.
 - DIMENSIONS ARE TO OUTSIDE FACE OF SLAB AT FOOTING & CENTER LINES OF THICKENED SLAB WHERE APPLICABLE.
 - BUILDER TO PROVIDE TERMITE TREATMENTS THAT COMPLY WITH LOCAL BUILDING CODES.
 - INSTALL TERMITE SHIELDS BETWEEN WOOD AND CONCRETE SURFACES.
 - ALL FINISH FLOORS SHALL BE FLUSH TO ADJACENT FLOORS - U.N.O.
 - ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS TO DESIGN ALL STRUCTURAL ELEMENTS.
 - IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES.
 - PROVIDE THICKENED SLAB UNDER ALL LOAD BEARING WALLS.
 - BUILDER TO TAKE ALL EFFORTS TO PROVIDE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).
 - BUILDER SHALL INSPECT ACTUAL SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. BUILDER SHALL NOTIFY THE DESIGNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
 - WHERE APPLICABLE, BRICK LEDGE SHALL BE OFFSET 4" FROM OUTSIDE FACE SLAB.
 - IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE POSITIVE DRAINAGE BELOW THE SLAB AND AROUND THE PERIMETER OF THE FOUNDATION AND PROVIDE A VAPOR BARRIER IN ACCORDANCE WITH CODE.



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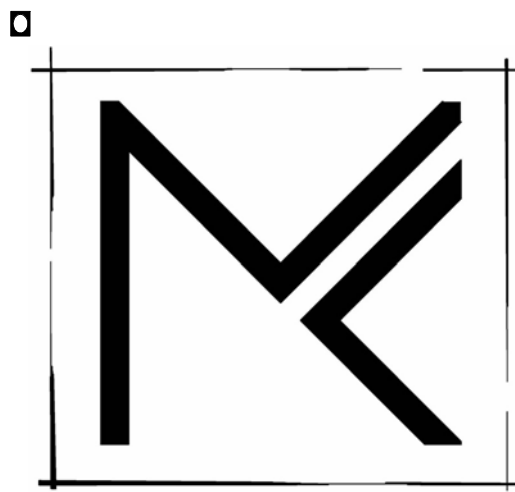
MAJORS CONSTRUCTION

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NO.	DESCRIPTION	DATE

SHEET
A3
FOUNDATION
PLAN



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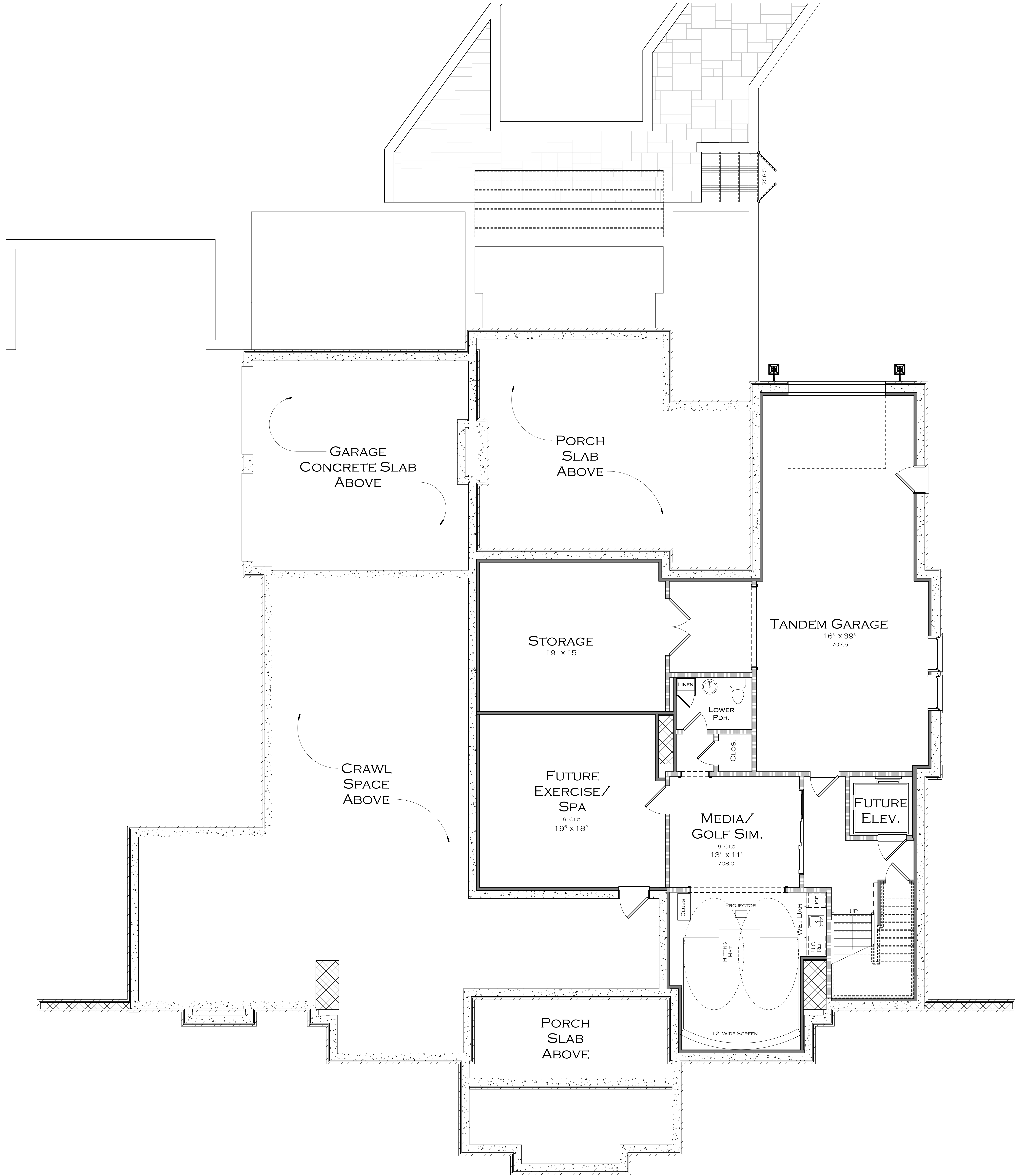
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NO.	DESCRIPTION	DATE

SHEET
A5
TERRACE
PLAN



① TERRACE FLOOR PLAN
1/4" = 1'-0"

- PLAN NOTES: FIRST FLOOR
- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK AND TO CENTERLINE OF OPENINGS. WHERE BRICK VENEER IS ABSENT, DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD AND TO THE CENTERLINE OF OPENINGS, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR STUDS NOT DIMENSIONED ARE 6" UNLESS OTHERWISE NOTED (5 1/2" STUD + 1/2" SHEATHING).
 - ALL INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD. ALL INTERIOR STUDS NOT DIMENSIONED ARE 3 1/2" (ACTUAL) UNLESS OTHERWISE NOTED.
 - OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF BRICK IS 4"
 - ALL ANGLED WALLS SHALL BE 45° UNLESS OTHERWISE NOTED
 - ALL FIRST FLOOR CEILINGS SHALL BE 10'-0" A.F.F. UNLESS OTHERWISE NOTED
 - THE WINDOW ROUGH OPENING HEAD HEIGHT SHALL BE 8'-2" A.F.F. AT THE FIRST FLOOR UNLESS OTHERWISE NOTED
 - REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENT, WINDOW TYPES AND LITE PATTERNS
 - SUPERINTENDENT SHALL VERIFY THE NUMBER OF STEPS REQUIRED TO REACH GRADE OR SIDEWALK AS WELL AS ANY REQUIRED HANDRAILS OR GUARDRAILS PER CODE. VERIFY STYLE AGAINST ANY NEIGHBORHOOD COVENANTS/BY LAWS
 - SUBCONTRACTORS SHALL PROVIDE WATER, ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT AND KITCHEN/UTILITY APPLIANCES AS REQ'D (e.g. HVAC UNIT, WATER HEATER, DISHWASHER, RANGE, REFRIGERATOR, WASHER, DRYER, ETC.)
 - BUILDER SHALL COORDINATE WITH LOW VOLTAGE SUBCONTRACTOR AND OWNER FOR LOCATIONS OF ALL T.V., TELEPHONE NETWORK, ALARM COMPONENTS AND KEYPAD LOCATIONS.

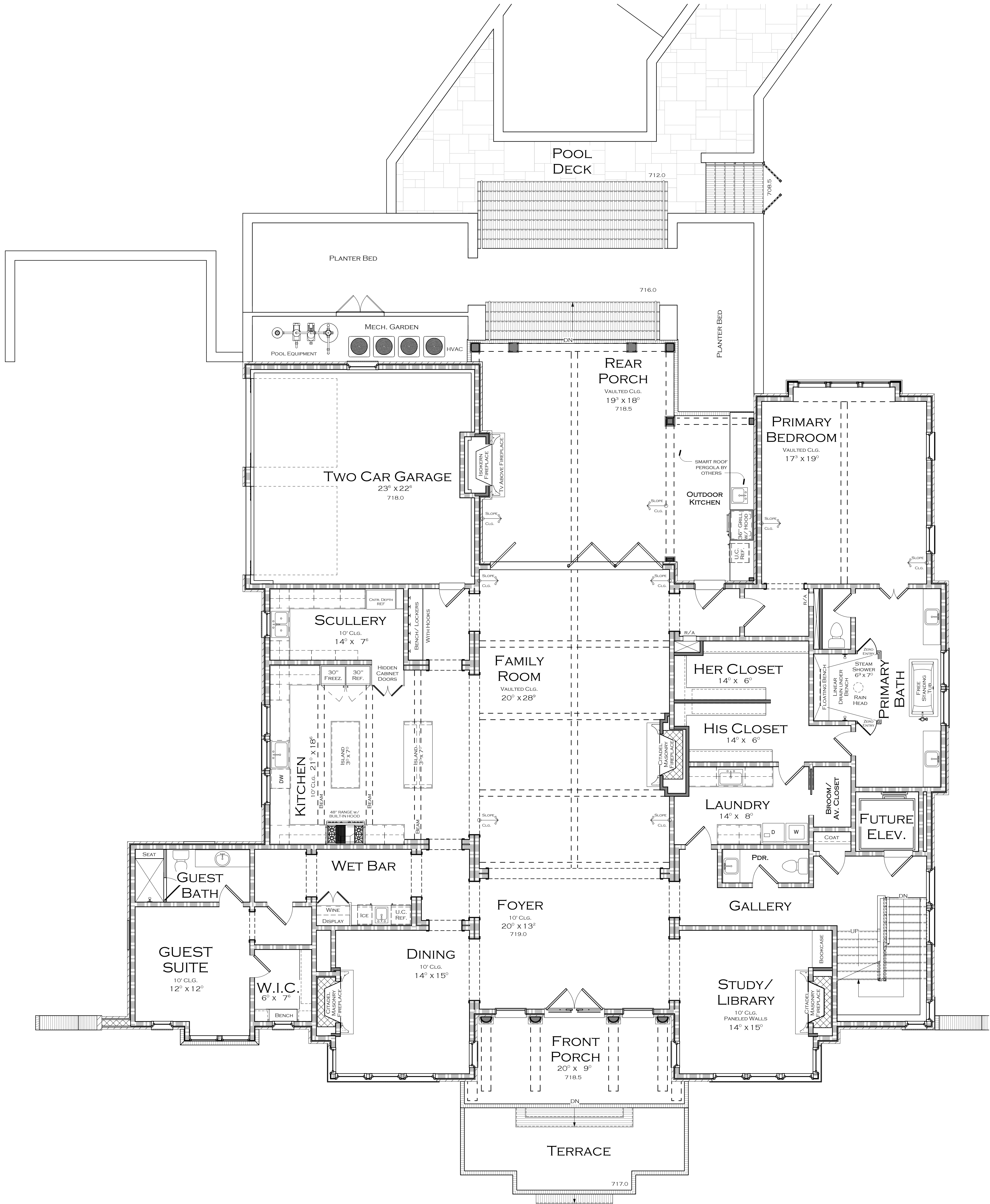
NOTE:
SUPERINTENDENT TO VERIFY STEPS FROM PORCH TO GRADE & RAIL IF REQ'D. PER SITE & LOCAL CODES. RAILING TO BE TEMP. GLASS IF REQ'D.

NOTE:
WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS 8'-2" A.F.F. UNLESS OTHERWISE NOTED. SEE ALIGNMENT WINDOW TYPES, & LITE PATTERNS.

NOTE:
REFER TO FRAMING PACKAGE FOR ALL JOIST ORIENTATION & SPACING. TYPICAL ALL LOCATIONS. SUPPLEMENT & SIZE BEAMS PER STRUCTURAL ENGINEER

WALL TYPE LEGEND	
2x4 STUD WALL	
2x6 STUD WALL	
2x8 STUD WALL	
2x12 STUD WALL	
FOUNDATION WALL	

WALL TYPE LEGEND
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"



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NO.	DESCRIPTION	DATE

SHEET
A6
FIRST
FLOOR
PLAN

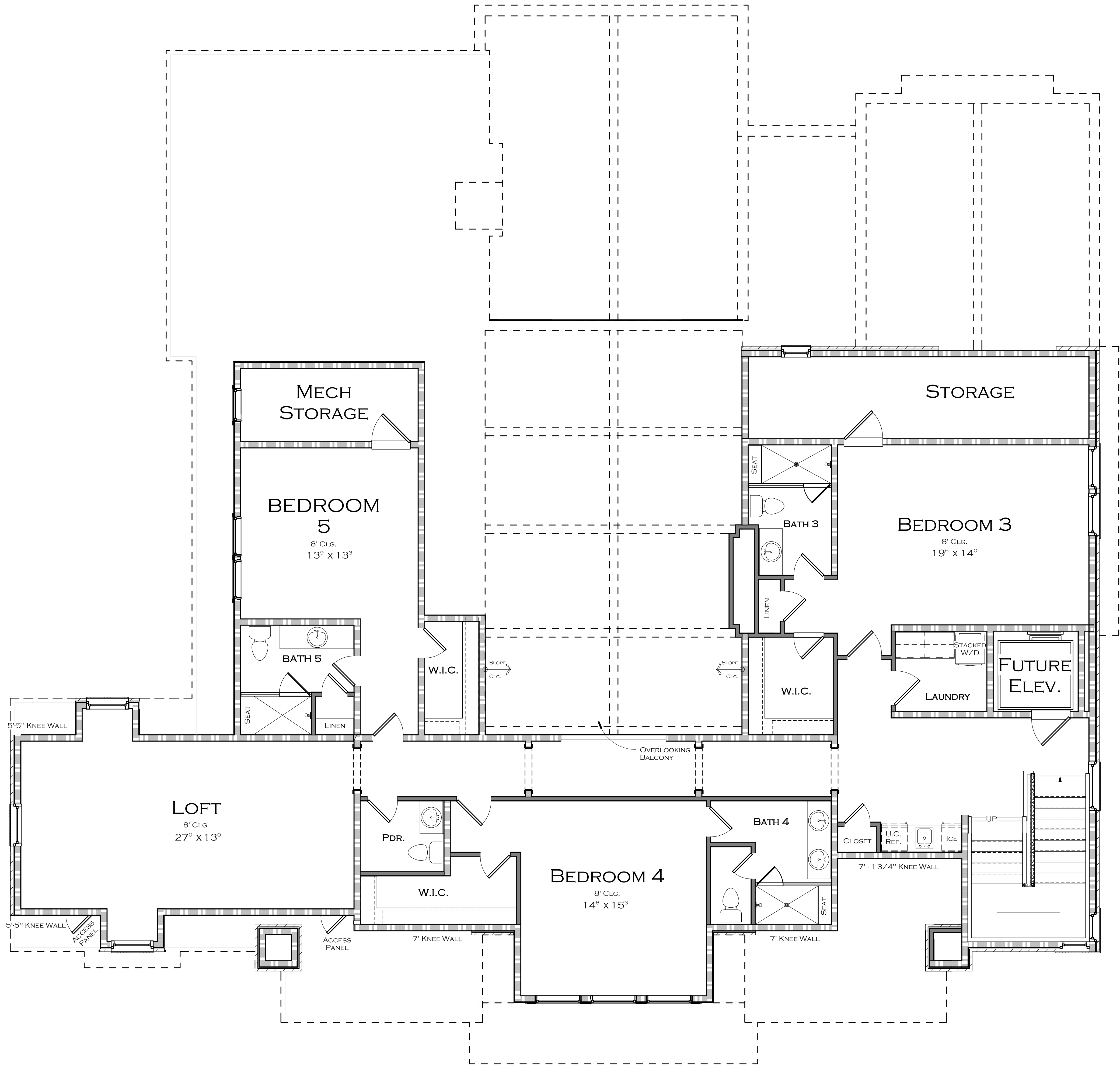
PLAN NOTES: SECOND FLOOR

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK AND TO CENTERLINE OF OPENINGS. WHERE BRICK VENEER IS ABSENT, DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD AND TO THE CENTERLINE OF OPENINGS, UNLESS OTHERWISE NOTED
- ALL EXTERIOR STUDS NOT DIMENSIONED ARE 6" UNLESS OTHERWISE NOTED. (5 1/2" STUD + 1/2" SHEATHING)
- ALL INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD. ALL INTERIOR STUDS NOT DIMENSIONED ARE 3 1/2" (ACTUAL) UNLESS OTHERWISE NOTED.
- OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF BRICK IS 4"
- ALL ANGLED WALLS SHALL BE 45° UNLESS OTHERWISE NOTED
- ALL SECOND FLOOR CEILINGS SHALL BE 9'-0" A.F.F. UNLESS OTHERWISE NOTED
- THE WINDOW ROUGH OPENING HEAD HEIGHT SHALL BE 7'-2" A.F.F. AT THE SECOND FLOOR UNLESS OTHERWISE NOTED
- REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENT, WINDOW TYPES AND LITE PATTERNS
- SUPERINTENDENT SHALL VERIFY THE NUMBER OF STEPS REQUIRED TO REACH GRADE OR SIDEWALK AS WELL AS ANY REQUIRED HANDRAILS OR GUARDRAILS PER CODE. VERIFY STYLE AGAINST ANY NEIGHBORHOOD COVENANTS, BYLAWS
- SUBCONTRACTOR(S) SHALL PROVIDE WATER, ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT AND KITCHEN/UTILITY APPLIANCES AS REQ'D (E.G. HVAC UNIT, WATER HEATER, DISHWASHER, RANGE, REFRIGERATOR, WASHER, DRYER, ETC.)
- BUILDER SHALL COORDINATE WITH LOW VOLTAGE SUBCONTRACTOR AND OWNER FOR LOCATIONS OF ALL TV, TELEPHONE NETWORK, ALARM COMPONENTS AND KEYPAD LOCATIONS.

NOTE:
SUPERINTENDENT TO VERIFY STEPS FROM PORCH TO GRADE & RAIL IF REQ'D. PER SITE & LOCAL COADES. RAILING TO BE TEMP. GLASS IF REQ'D.

NOTE:
WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS 8'-2" A.F.F. UNLESS OTHERWISE NOTED. SEE ALIGNMENT WINDOW TYPES, & LITE PATTERNS.

NOTE:
REFER TO FRAMING PACKAGE FOR ALL JOIST ORIENTATION & SPACING, TYPICAL ALL LOCATIONS. SUPPLEMENT & SIZE BEAMS PER STRUCTURAL ENGINEER



① SECOND FLOOR PLAN

1/4" = 1'-0"



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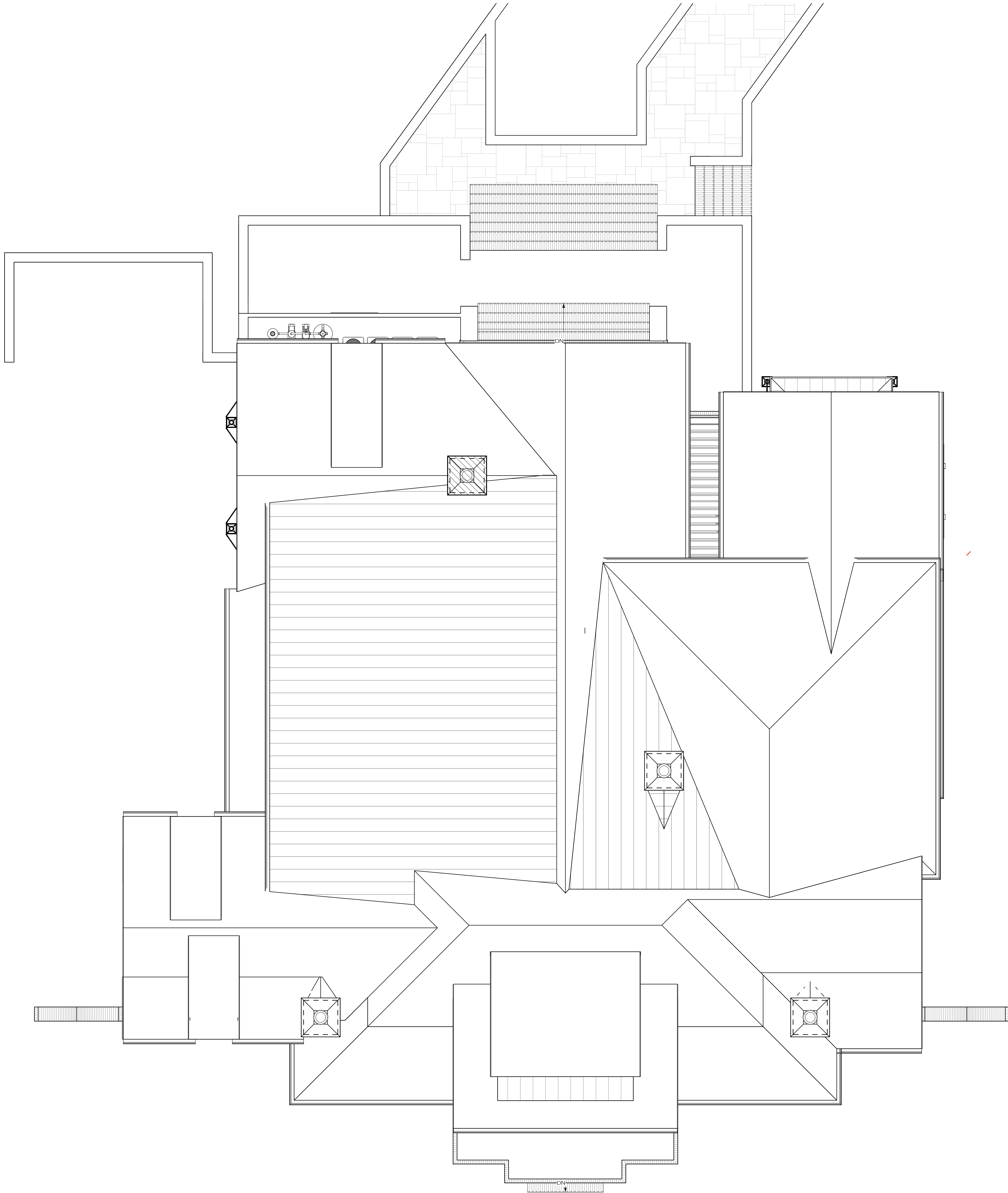
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NO.	DESCRIPTION	DATE

SHEET
A7
SECOND
FLOOR
PLAN

- ROOF PLAN NOTES
- SEE ROOF PLAN FOR DETAILED SELECTION OF ROOFING MATERIALS
 - PROVIDE DRIP EDGE FLASHING AT ALL ROOF EDGES.
 - PROVIDE ICE DAM UNDERLAYMENT WHERE REQ'D BY CODE.
 - BUILDER SHALL PROVIDE ROOF VENTILATION SYSTEM AS REQ'D BY CODE AND IN COMPLIANCE WITH NEIGHBORHOOD ASSOCIATION RULES/COVENANTS.
 - PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING AT GRADE.
 - ALL ROOF SADDLES/CRICKETS SHALL BE PLYWOOD SHEATHED WITH BUILDING PAPER AND SHINGLES.
 - FIREPLACE FLUE SHALL BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY. MIN. 3'-0" PENETRATION ABOVE ROOF.
 - CONTINUOUS RIDGE VENTS SHALL BE BAFFLED TO PREVENT BACKFLOW.
 - PROVIDE METAL FLASHING AT ALL ROOF TO WALL CONDITIONS- TYPICAL.
 - ACCENT ALUMINUM CORNERS TYPICAL UNLESS OTHERWISE NOTED.
 - SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF ALL PLUMBING/MECHANICAL VENTS, ATTIC BOX VENTS AND CHIMNEY PENETRATIONS ON REAR FACING SLOPE OF ROOF.
 - STRUCTURAL COMPONENTS (HIP & VALLEY RAFTERS, RIDGE BOARDS) SHALL BE DESIGNED/SPEC'D BY LUMBER ENGINEER



1 ROOF PLAN
1/4" = 1'-0"



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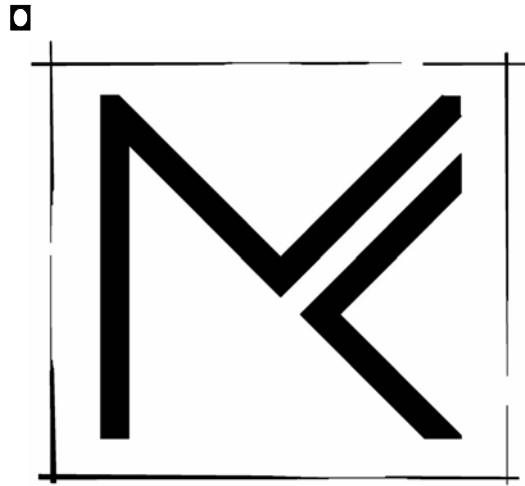
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NO.	DESCRIPTION	DATE

SHEET
A8
ROOF
PLAN



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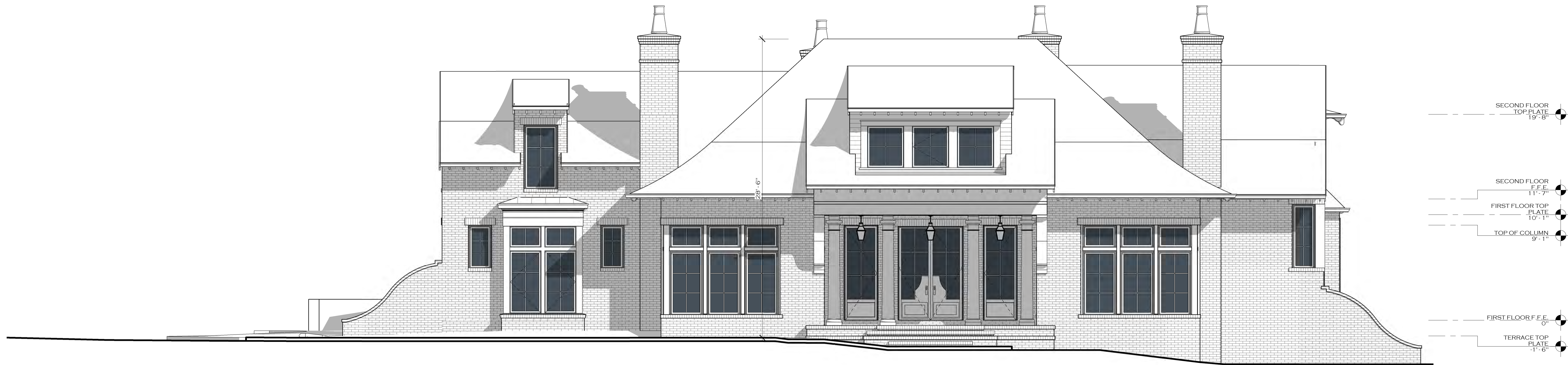
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NO.	DESCRIPTION	DATE

SHEET
A9
EXTERIOR
ELEVATIONS



① FRONT ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"



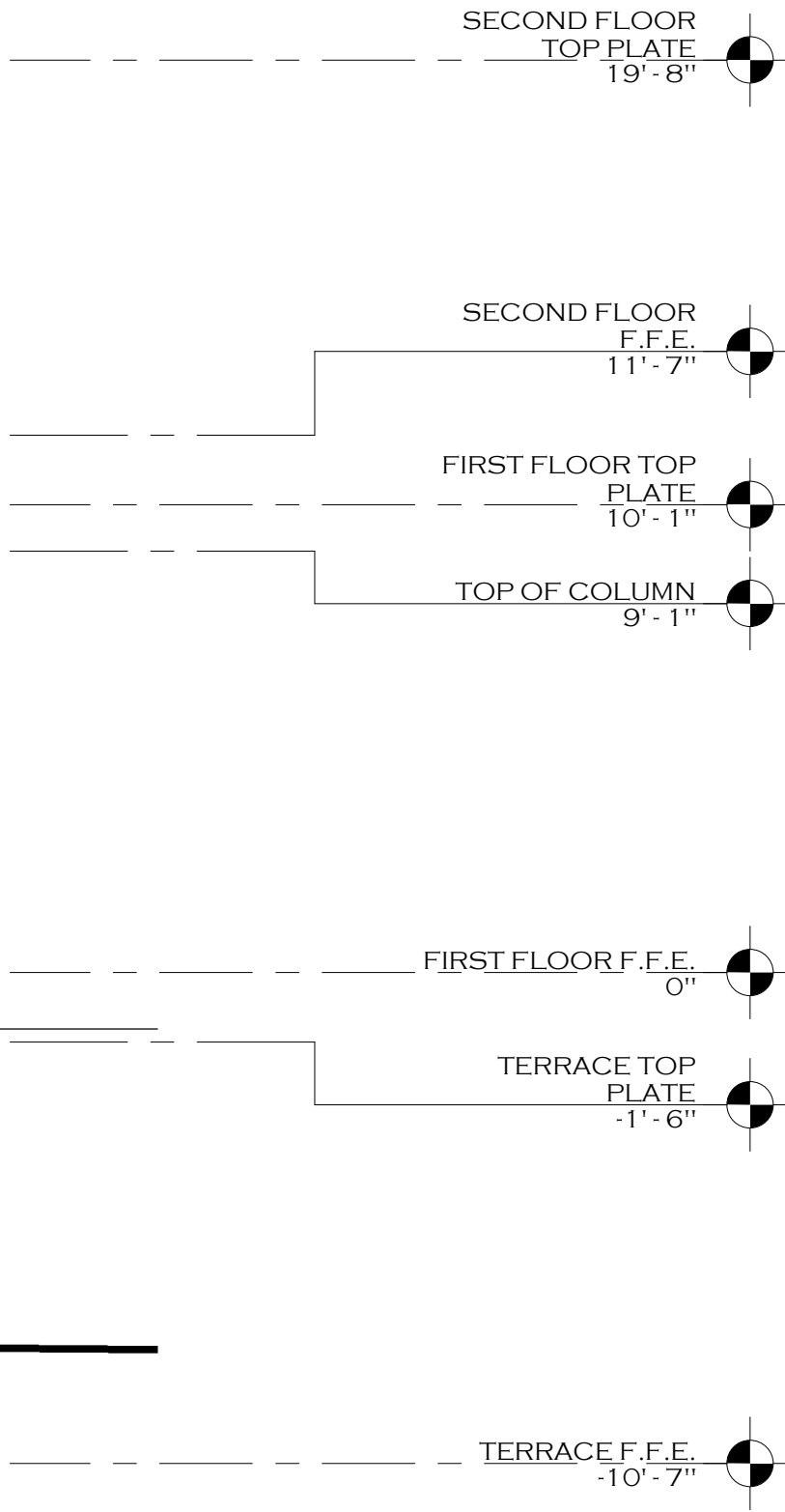
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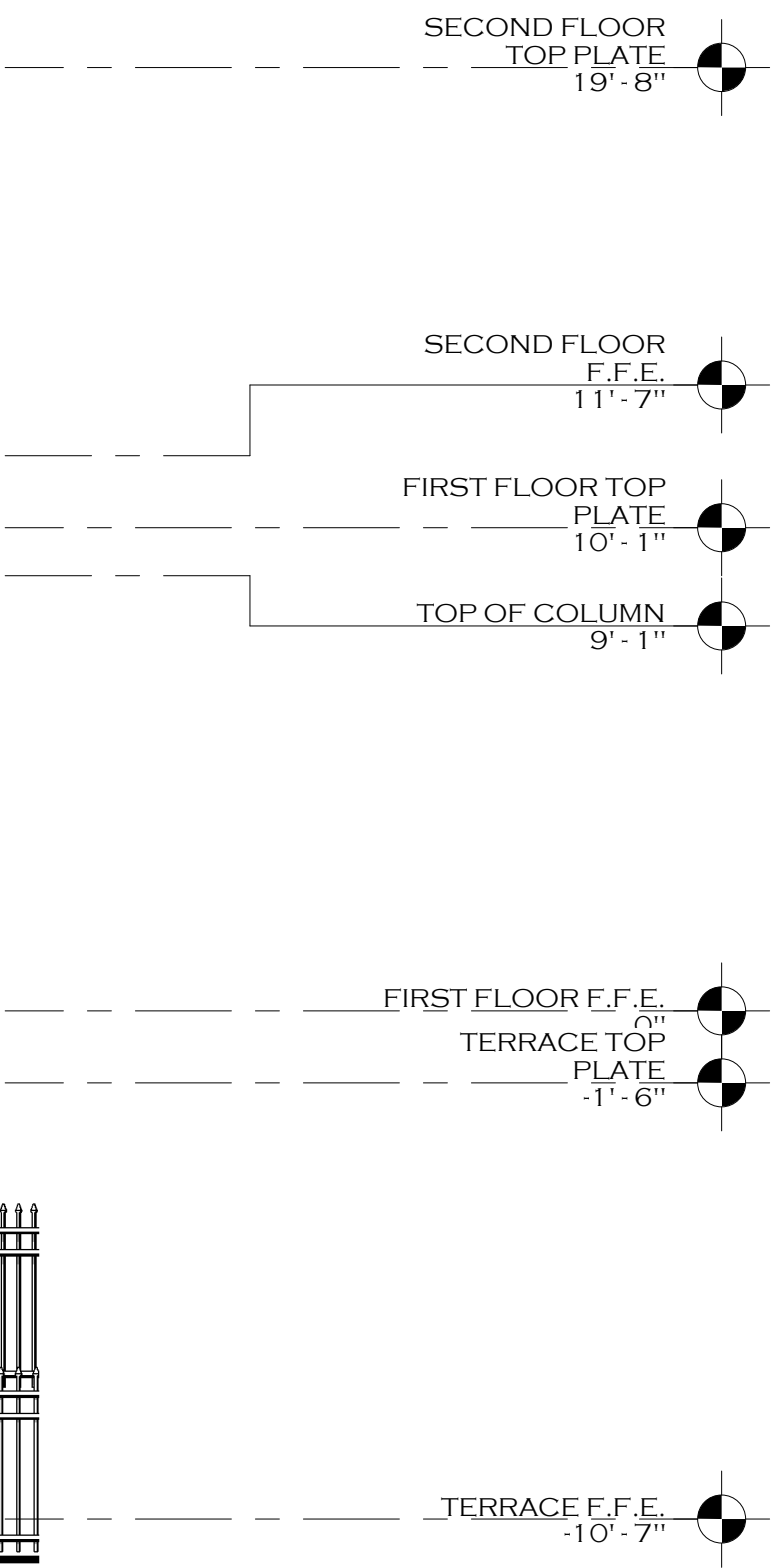
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	<u>DESCRIPTION</u>	<u>DATE</u>

SHEET
A10
EXTERIOR
ELEVATIONS



① REAR ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"