

OWNER'S CERTIFICATE

We hereby certify that we are the owners and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot or lots shall again be subdivided, resubdivided, altered or changed so as to produce less area than hereby established unless approved by the City of Forest Hills Planning Commission and the health officers.

Name: W. B. Development Co., Inc. Date: 1-24-70

SURVEYOR'S CERTIFICATE

I hereby certify that the subdivision shown hereon is correct and that iron pins shown thus • have been placed as indicated. All side lot lines are at right angles or radial to a street unless otherwise noted.

By: W. B. Development Co., Inc. Date: 1-24-70

COMMISSION'S APPROVAL

Approved by the City of Forest Hills Planning Commission

By: Julia E. Baker Title: City Rec. Date: 1-68

RECORD

Recorded February 3, 1970 Book 4175 Page 110, in the Registers Office of Davidson Co., Tenn.

Note:

1. Parcel numbers shown thus (**) pertain to property map No. 159
2. Building setback lines to be established by the City of Forest Hills

SECTION 2

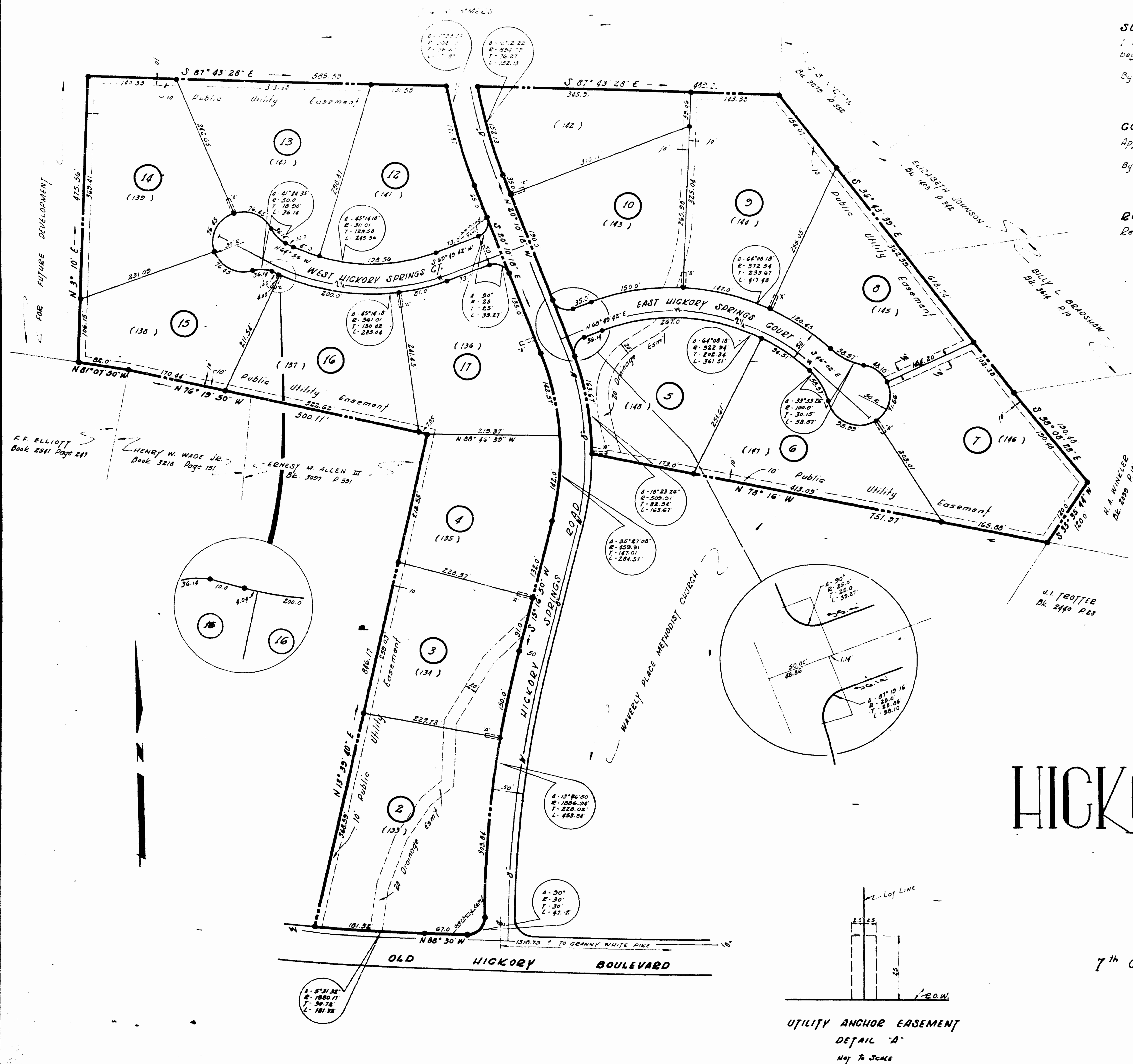
HICKORY BOULEVARD ESTATES

7th CIVIL DISTRICT DAVIDSON COUNTY, TENN.

CITY OF FOREST HILLS

H/B DEVELOPMENT CO. - DEVELOPER

SCALE 1"=100'



UTILITY ANCHOR EASEMENT
DETAIL "A"
NOT TO SCALE

LEGEND

IRON PIN (NEW)	●	PROPERTY LINE	---
IRON PIN (OLD)	●IP(O)	EASEMENT LINE	----
CONCRETE MONUMENT OLD	■CM(O)	EDGE OF GRAVEL	----
WATER VALVE	⊠	WATER LINE	6 W
FIRE HYDRANT	⚡	GAS	G G
UTILITY POLE	⊞	EDGE OF PAVEMENT	---
LIGHT POLE	⊞	STORM PIPE	ST ST
SIGN POST	⊞	SANITARY SEWER	S 8
MANHOLE SANITARY SEWER	⊞M.H.(SAS)		
MANHOLE TELEPHONE	⊞		
CATCH BASIN	⊞		
TREE	○7		

NOTES:

- 1) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 2) UTILITIES HAVE SCALED FROM MAPS OF RECORD ONLY AND NOT FIELD LOCATED. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THIS SURVEYOR. SIZE AND EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY.
- 3) THIS SURVEY PREPARED FROM CURRENT DEED OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANYTHING AN ACCURATE TITLE REPORT WOULD REVEAL.
- 4) THE PROPERTY IS CURRENTLY ZONED "RA" RESIDENTIAL. CONTACT THE CITY OF FORREST HILLS FOR CURRENT BUILDING SETBACK REGULATIONS.
- 5) THE PROPERTY IS LOCATED IN ZONE "X" AREAS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN BASED ON F.E.M.A. "FLOOD RATE INSURANCE MAP", NO. 47037C0362H, DATED: APRIL 5, 2017.
- 6) SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE PARTIES NAMED AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE SIGNATURE APPEARS ON THIS SURVEY.
- 7) HORIZONTAL DATUM IS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 83 (2011) NAVD 88. CONTOURS SHOWN HERON ARE 1 FOOT INTERVAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1:10,000



MICHAEL R. WILLIAMS R.L.S., TN, # 1906

PREPARED BY:

HFR Survey L.L.C.

PO Box 1012
Smyrna, TN 37167-1012
(615) 519-3935
(615) 347-5918
hfrsurvey.com



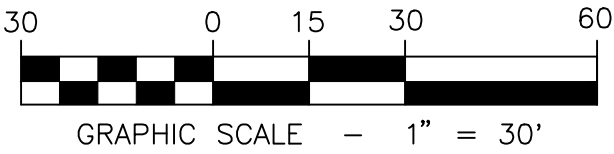
SITE ADDRESS:
1252 W HICKORY SPRINGS CT.
BRENTWOOD, TN 37207

SITE INFO:
KEITH AKERS & LISA AKERS
MAP 159 PARCEL 141
BOOK 9935 PAGE 890

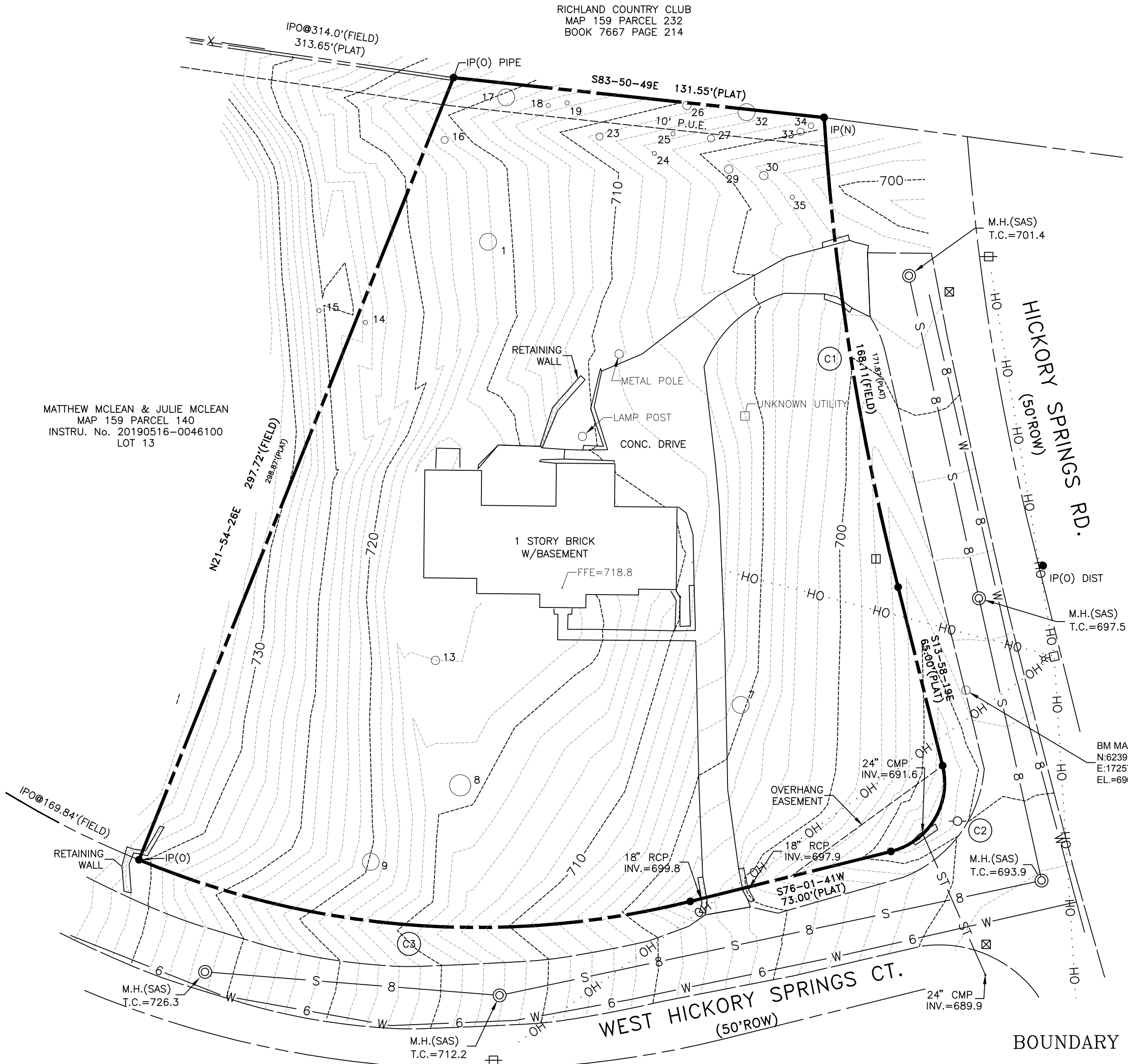
CURVE DATA

NO.	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	10-39-08	904.25'	84.30'	168.11'	167.87'	S08-57-38E
C2	90-00-00	25.00'	25.00'	39.27'	35.36'	S31-01-41W
C3	36-34-47	311.01'	102.80'	198.56'	195.20'	N85-40-56W

IMPERVIOUS AREA:
ROOF=3288 SQ.FT.
OTHER=5195 SQ.FT.
TOTAL=8483 SQ.FT.



GRAPHIC SCALE - 1" = 30'



TREE TABLE

NO.	SIZE	TYPE
1	24"	HACKBERRY
7	24"	CEDAR
8	30"	OAK
9	24"	OAK
13	12"	TREE
14	6"	TREE
15	6"	HACKBERRY
16	10"	TREE
17	24"	TREE
18	6"	HACKBERRY
19	6"	HACKBERRY
23	10"	CEDAR
24	6"	CEDAR
25	6"	CEDAR
26	12"	TREE
27	10"	CEDAR
30	12"	HACKBERRY
32	24"	TREE
33	10"	TREE
34	8"	CEDAR
35	6"	HACKBERRY

BOUNDARY & TOPOGRAPHIC SURVEY
OF

LOT 12

SECTION 2

HICKORY BOULEVARD ESTATES

P.B. 4175 PAGE 110

34TH COUNCILMANIC DISTRICT

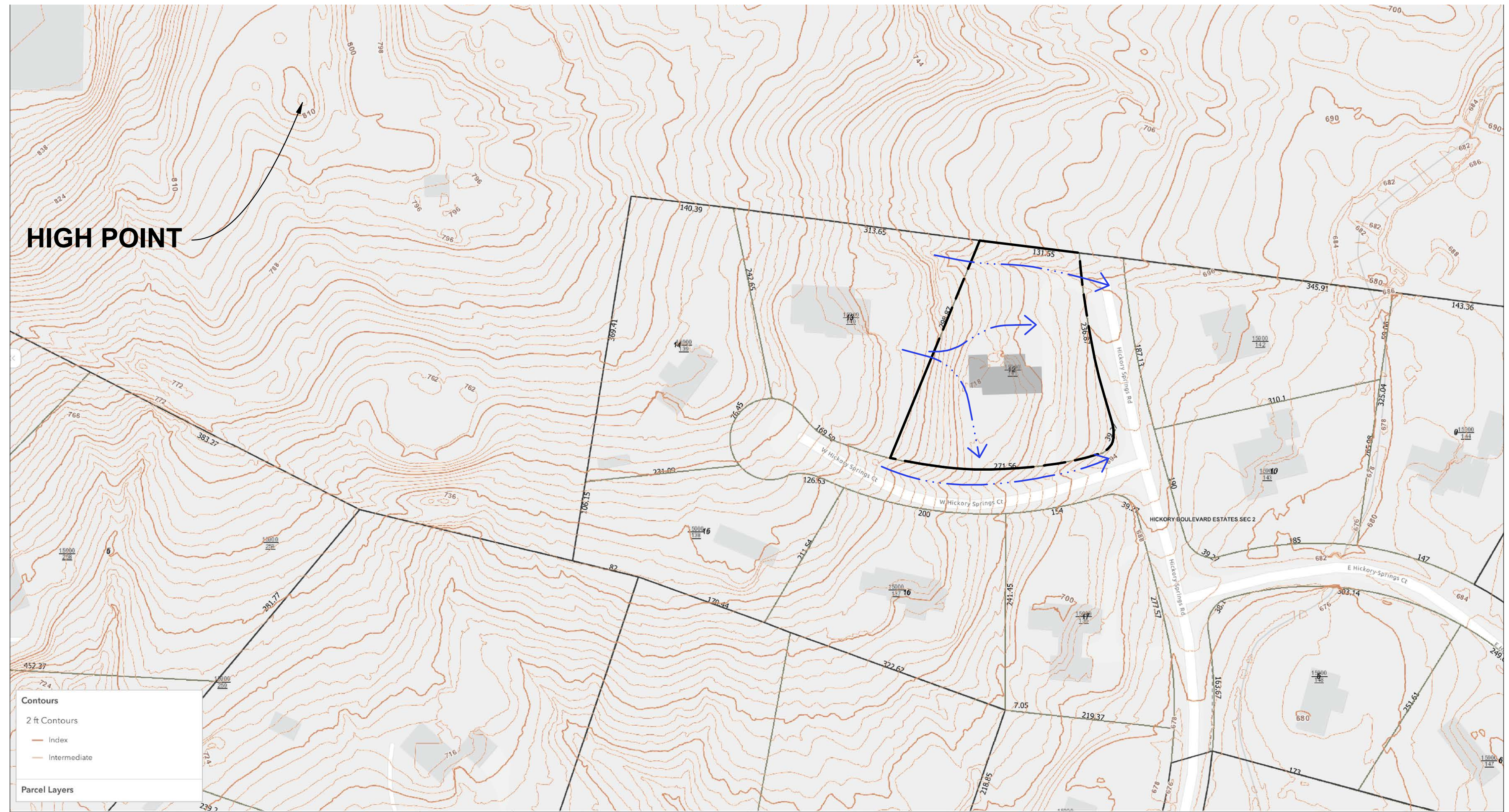
FOREST HILLS-DAVIDSON COUNTY-TENNESSEE

DATE: 1-09-2026(REV:1-13-2026 ADDED 10'P.U.E.)(REV:1-16-25 TREES)
(REV:2-26-26 REMOVED TREES LOST TO ICE)

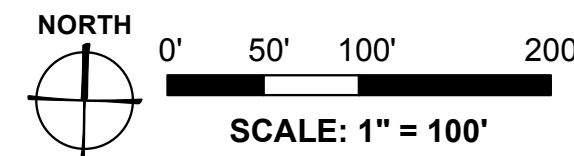
SHEET 1 OF 1

HFR PROJECT NO. 2026004

TOTAL AREA: 59564 SQ. FT. OR (1.367± ACRES)



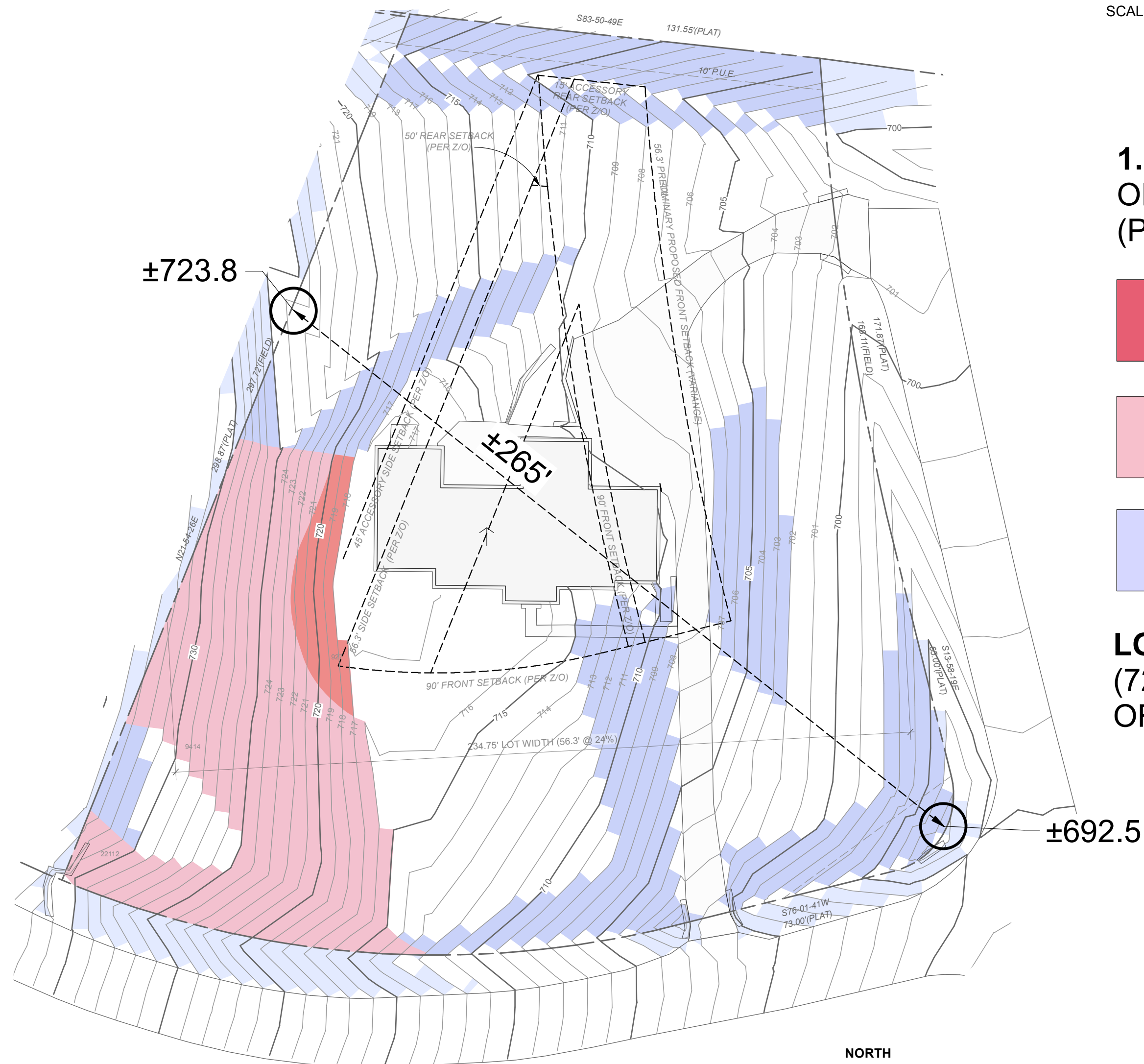
DETAIL 3: METRO PARCEL VIEWER TOPOGRAPHY CONTEXT MAP
SCALE: APPROX. 1" = 100'



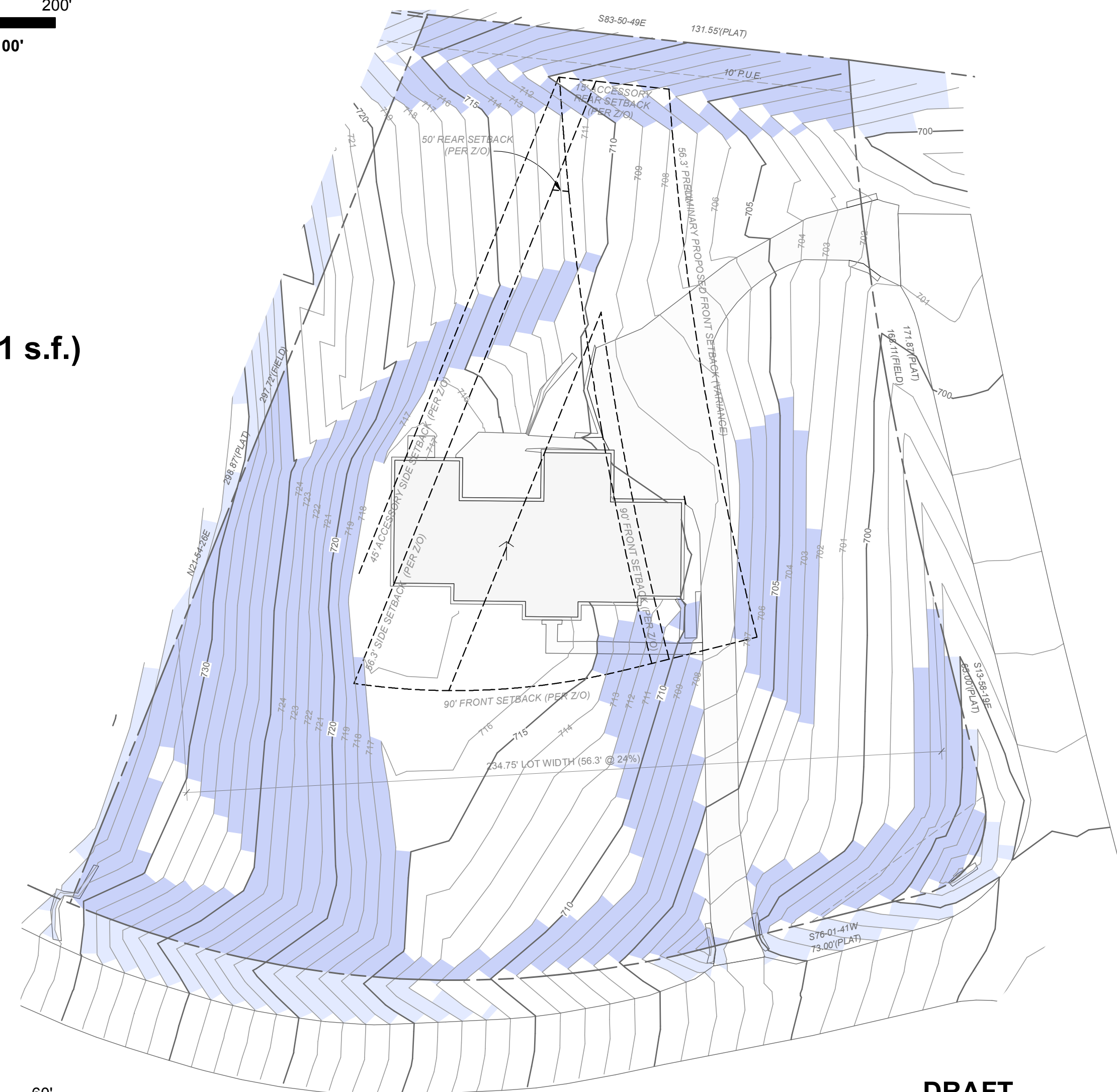
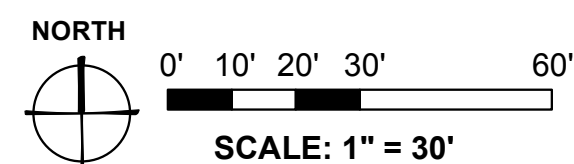
1.367 ACRES
OR 59,564 s.f. LOT AREA
(PER SURVEY BY HFR SURVEY LLC)

- 927 s.f. DISTURBED STEEP SLOPE
8.8% DISTURBED (10% ALLOWED or 941 s.f.)
- STEEP SLOPE (PER Z/O DEFINITIONS)
9,414 s.f. OF LOT (16% OF LOT)
- 20% AND GREATER SLOPE
22,112 s.f. OF LOT (37% OF LOT)

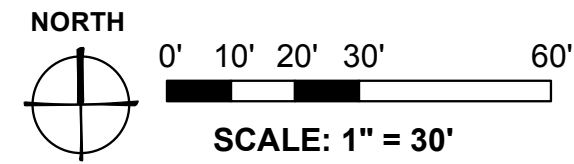
LOT AVERAGE SLOPE
 $(723.8 - 692.5) \div 265 = 0.12$
OR 12% SLOPE



DETAIL 2: PROPOSED CONDITIONS FOR STEEP SLOPE DISTURBANCE
SCALE: 1" = 30'



DETAIL 1: EXISTING CONDITIONS OVER 20% AND GREATER SLOPE
SCALE: 1" = 30'



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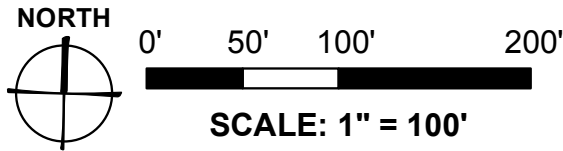


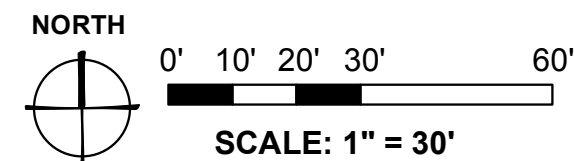
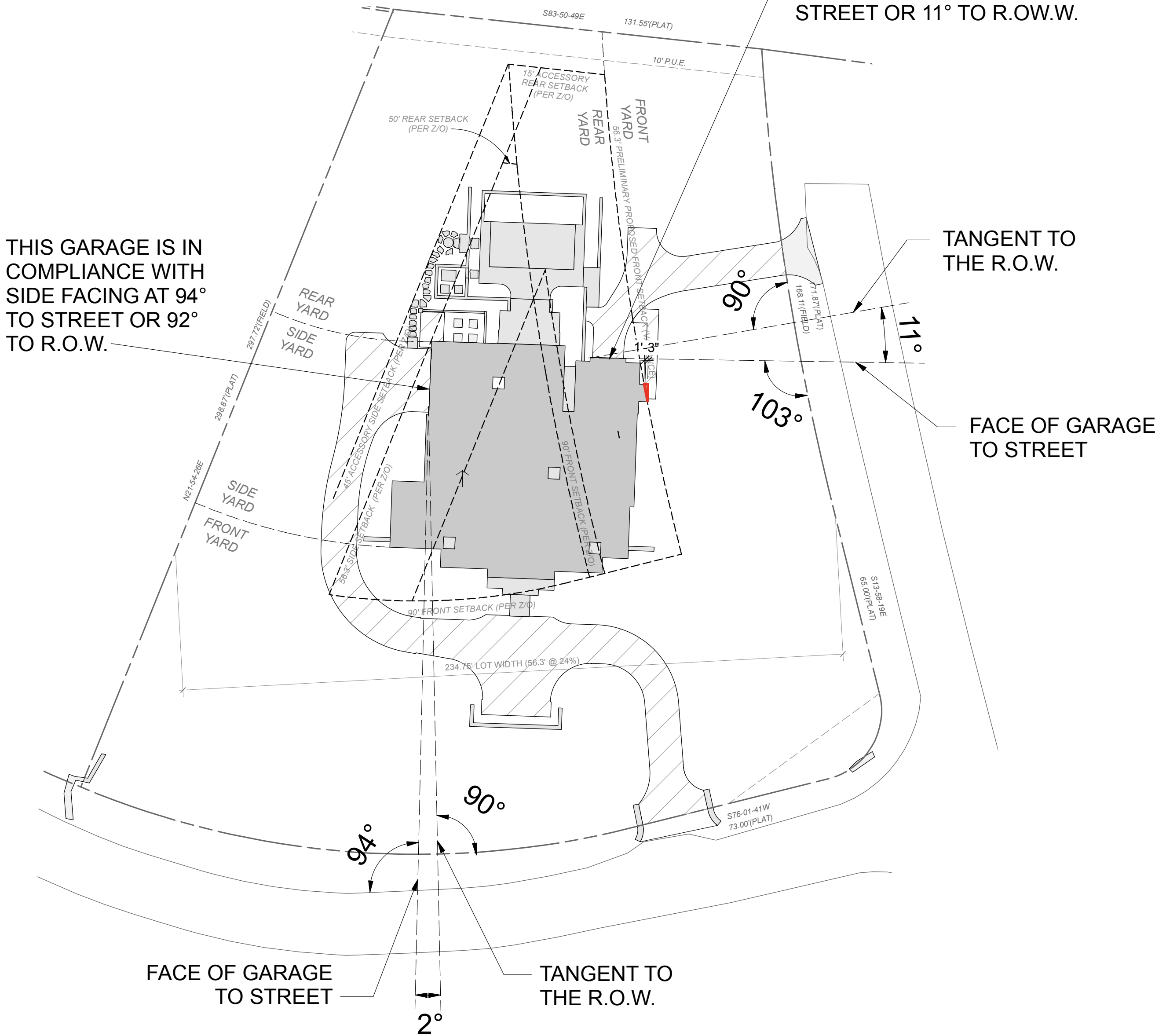
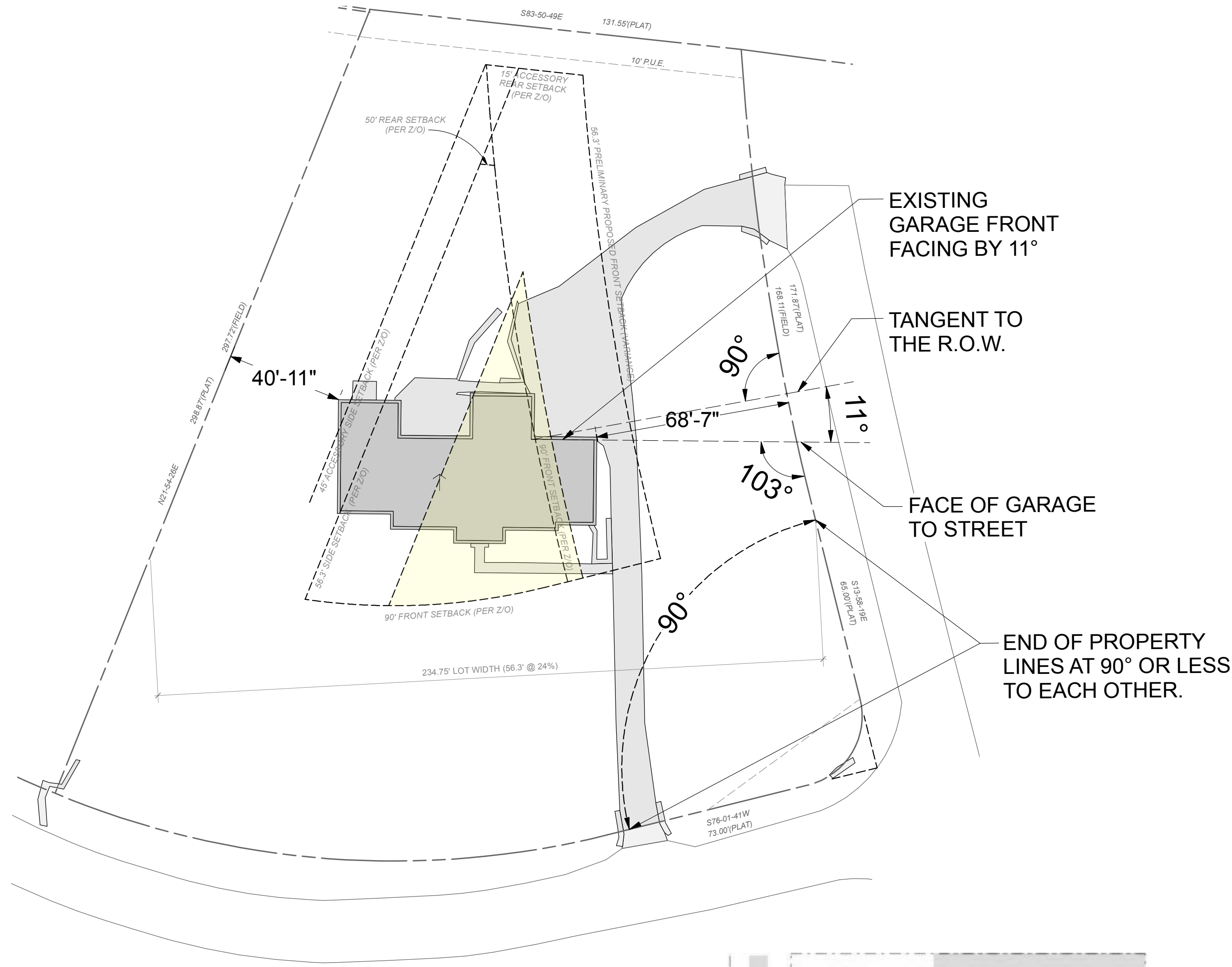






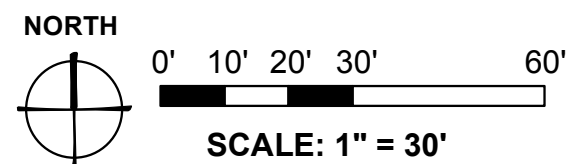
METRO PARCEL VIEWER AERIAL CONTEXT MAP
SCALE: APPROX. 1" = 100'





DETAIL 3: EXISTING CONDITIONS AND IMPERVIOUS SURFACE TAKE-OFF DIAGRAM/PLAN
SCALE: 1" = 30'

REFER TO SITE PLAN FOR CONSTRUCTION ENTRANCE AT EXISTING ENTRY. CONTRACTOR TO PROVIDE PARKING AND TRAFFIC CONTROL (I.E. FLAGS TRAFFIC CONTROL, NO ON-STREET PARKING IN R.O.W.). TRAFFIC CONTROL, SCHEDULING, SEQUENCING AND OTHER ASPECTS OF CONSTRUCTION ARE NOT PART OF THIS SCOPE. PENDING CONDITION OF ENTRY APRON, WORK MAY BE DONE TO REPAIR AND REPLACE ENTRY ALONG R.O.W.. CONTRACTOR TO PROVIDE PARKING/TRAFFIC LETTER AT TIME OF PERMIT.



DETAIL 2: PROPOSED CONDITIONS AND IMPERVIOUS SURFACE TAKE-OFF DIAGRAM/PLAN
SCALE: 1" = 30'

EXISTING



3,597.1 s.f.
BUILDING
COVERAGE



5,279.1 s.f.
IMPERVIOUS



s.f.
PERMEABLE
(@67%)
x0.67 = 0 s.f.

DETAIL 1: CITY Z/O BULK STANDARDS CHART
SCALE: N/A

BUILDING ENVELOPE

PROPOSED



5,955.0 s.f.
BUILDING
COVERAGE



1988.6 s.f.
IMPERVIOUS



5911.5 s.f.
PERMEABLE
(@67%)
x0.67 = 3,960.7 s.f.

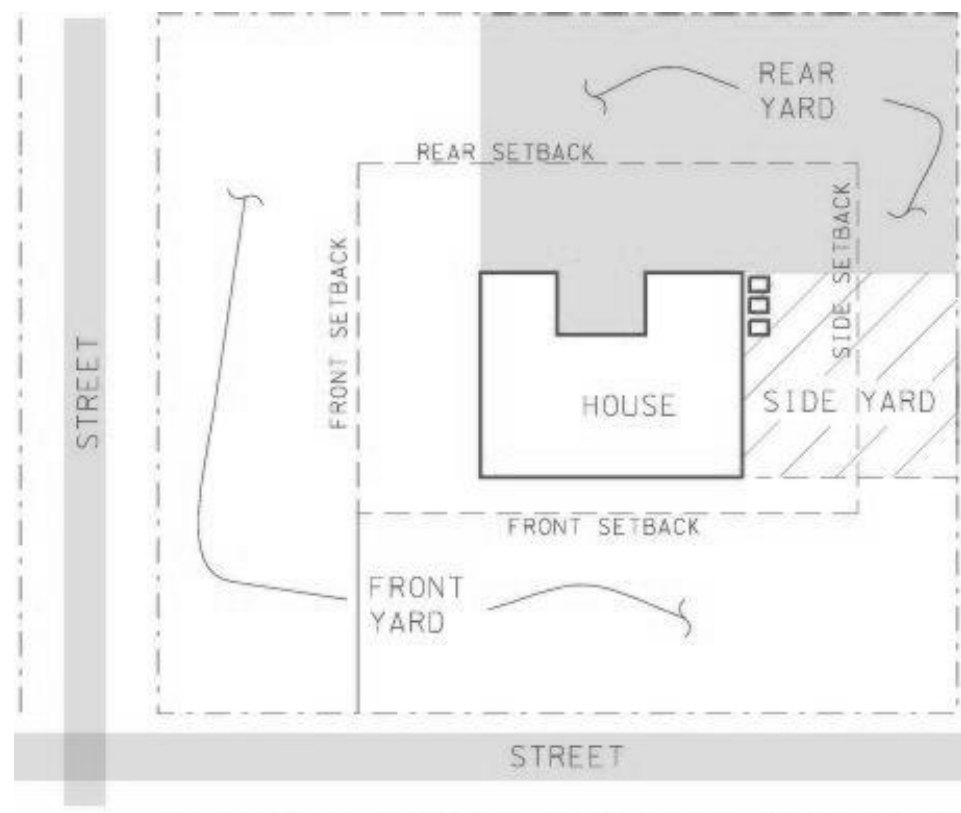
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Table 4.05(a)
Accessory Use and Structure Bulk Standards

District	Minimum Distance from Rear Lot Line (ft)	Minimum Distance from Side Yard Lot Lines (ft)	Max. Height (ft)	ISR and Building Cover
EIA	30'	60'		
EA	30'	60'		
EB	25'	50'		
EC	20'	45'		
RA	15'	45'		
NC1	15'	20'		
NC2	15'	40'		
OS	-	40'		
IN	100' if unlighted / 200' if lighted	100' if unlighted / 200' if lighted		
CC	100' if unlighted / 200' if lighted (also applies to Front Lot Line)	100' if unlighted / 200' if lighted		
HC				

Zone 1 Height as Established by Table 4.02, or the height of the principal dwelling, whichever height is the lowest.

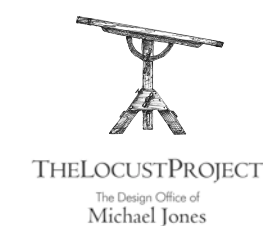
Accessory uses are not permitted in the Historic Commercial District, except that an existing shelter over gas pumps shall be permitted as provided in Section 2.03(a)(ii).



Yard Designation Illustration #6

Table 4.02
Residential Bulk Standards

District	Min. Lot Area (acres)	Min. Lot Width (ft)	Min. Street Front (ft)	Front Yard Setback (ft)	Side Yard Setback Greater of 24% or (ft)	Rear Yard Setback (ft)	Max. Height (ft)	Max. Bldg. Cover	ISR	FAR
							Zone 1	Zone 2		
EIA	6	250	125	150	24% / 60	100	27	35	0.05	0.14
EA	3	250	125	150	24% / 60	100	27	35	0.06	0.090
EB	2	200	100	125	24% / 50	75	27	35	0.08	0.120
EC	1.5	200	100	90	24% / 45	50	28	30	0.09	0.135
RA	1.25	185	90	90	24% / 45	50	28	30	0.10	0.150
NC1	1	100	80	90	24% / 20	25	28	30	0.12	0.20
NC2	1	175	100	90	24% / 40	40	28	30	0.12	0.20
OS	1	-	-	-	-	-	27	35	0.12	0.30



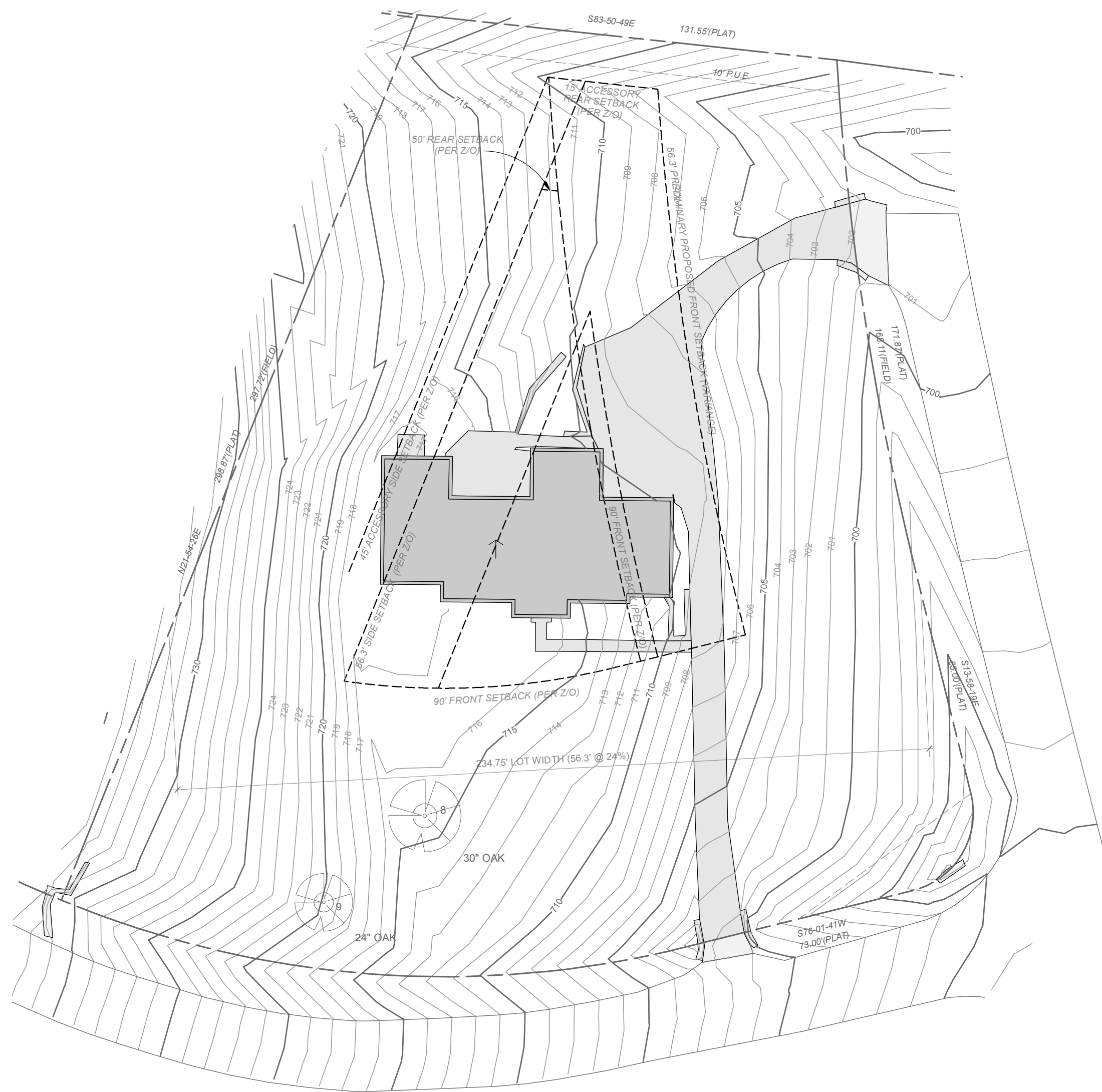
Landscape Architecture
5008 Wyoming Avenue
Nashville, Tennessee 37209
615.423.1746
www.thelocustproject.com

Landscape Architecture
Majors Residence
1252 W. Hickory Springs Ct. • City of Forest Hills • Brentwood, TN 37027 • Parcel ID 15900014100

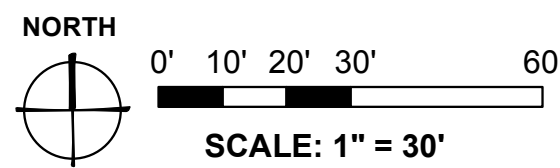
April 21, 2026

LC1.1

EXISTING AND POST
DEVELOPMENT BULK
STANDARD SITE PLAN



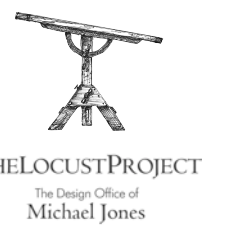
DETAIL 2: EXISTING HOUSE WITH TOPOGRAPHY
SCALE: 1" = 30'



DETAIL 1: CONCEPT FINISH GRADE DIAGRAM/PLAN
SCALE: 1/16" = 1'-0"



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April 21, 2026

LC2.1

FINISH GRADE CONCEPT
& HARDSCAPE

LIST OF ABBREVIATIONS

ABV	ABOVE	DRWR	DRAWER	MATL	MATERIAL	SECT	SECTION
A.F.F.	ABOVE FINISHED FLOOR	DWG	DRAWING	MAX	MAXIMUM	SHT	SHEET
ACC	ACCESS	D.O.	DRYWALL OPENING	MECH	MECHANICAL	SHWR	SHOWER
ACC PNL	ACCESS PANEL	EA	EACH	MC	MEDICINE CABINET	SHM	SMILAR
ACOUS	ACOUSTICAL	E	EAST	MEMB	MEMBRANE	SGD	SLIDING GLASS DOOR
ADJ	ADJUSTABLE	ELEC	ELECTRICAL	MTL	METAL	S.C.	SOLID CORE
AGG	AGGREGATE	EP	ELECTRICAL PANEL BOARD	MIN	MINIMUM	S	SOUTH
ALT	ALTERNATE	ELEV	ELEVATION	MIR	MIRROR	SPEC	SPECIFICATION
ALUM	ALUMINUM	ENCL	ENCLOSURE	MISC	MISC	SQ	SQUARE
ANCH	ANCHOR	ENG	ENGINEER	MTD	MOUNTED	S.F.	SQUARE FEET
A.B.	ANCHOR BOLT	EO	EQUAL	MULL	MULLION	S.S.	STAINLESS STEEL
APT	APARTMENT	EQUIP	EQUIPMENT	NOM	NORMAL	STD	STANDARD
APPR	APPROVED	EXIST	EXISTING	N	NORTH	STO	STORAGE
APPROX	APPROXIMATE	EXP	EXPANSION	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL
ARCH	ARCHITECTURAL	E.J.	EXPANSION JOINT	NTS	NOT TO SCALE	SV	SHEET VINYL FLOORING
A.D.	AREA DRAIN	EXT	EXTERIOR	NO	NUMBER	SUS CLG	SUSPENDED CEILING
AVG	AVERAGE	F.O.B.	FACE OF BLOCK	OFF	OFFICE	SYS	SYSTEM
BSMT	BASEMENT	F.O.F.	FACE OF FINISH	O.C.	ON CENTER	TEL	TELEPHONE
BM	BEAM	F.O.S.	FACE OF STUD	1R	ONE ROD	TV	TELEVISION
BRG	BEARING	FT	FEET OR FOOT	1S	ONE SHELF	TEMP	TEMPERATURE
BRG PLT	BEARING PLATE	FIN	FINISH	OPNG	OPENING	THR	THRESHOLD
BITUM	BITUMINOUS	FF	FINISHED FLOOR	OPP HD	OPPOSITE HAND	THK	THICK
BLKG	BLOCKING	F.D.	FIRE RETARDANT	OSB	ORIENTED STRAND BOARD	TPH	TOILET PAPER HOLDER
BD	BOARDS	SS	FIVE SHELVES	O.D.	OUTSIDE DIAMETER	T & G	TONGUE AN GROOVE
BOT	BOTTOM	FD	FLOOR DRAIN	OH	OVERHEAD	TB	TOWEL BAR
B.O.B.	BOTTOM OF BEAM	FURR DN	FUR DOWN	PTD	PAINTED	TR	THREAD
BLDG	BUILDING	GA	GAUGE	PR	PAIRED	TYP.	TYPICAL
CAB	CABINET	GALV	GALVANIZED	PNL	PANEL	TOS	TOP OF SLAB
C.O.	CASED OPENING	G.C.	GENERAL CONTRACTOR	PKG	PARKING	T.O.B.	TOP OF BEAM
CLG	CEILING	GL	GLASS	PART	PARTITION	T.O.W.	TOP OF WALL
CLG HGT	CEILING HEIGHT	GYP	GYPSPUM	PLAS	PLASTIC	2R	TWO RODS
CEM	CEMENT	GYP BD	GYPSPUM BOARD	P. LAM	PLASTIC LAMINATE	2S	TWO SHELVES
CER	CERAMICS	HWD	HARDWARE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
C.T.	CERAMIC TILE	HD	HEAD	PLYWD	PLYWOOD	UNFIN	UNFINISHED
CIR	CIRCLE	HDR	HEADER	PT	POINT	URJ	URINAL
CLO	CLOSET	HGT	HEIGHT	P.C.	PULL CHAIN	VJ	VEE JOINT
COL	COLUMN	HC	HOLLOW CORE	PT	PRESSURE TREATED	VNR	VENER
COMP	COMPOSITION	HM	HOLLOW METAL	RAD	RADIUS	VERT	VERTICAL
CONC	CONCRETE	HORIZ	HORIZONTAL	RE	REFERENCE	VCCT	VINYL COMPOSITION TILE
CMU	CONCRETE MAS. UNIT	HB	HOSE BIB	REF	REFRIGERATOR	WSC	WAINSCOT
CONTR	CONTRACTOR	IN	INCH	REINF	REINFORCED	WIC	WALK IN CLOSET
CONSTR	CONSTRUCTION	ID	INSIDE DIAMETER	REQD	REQUIRED	WC	WATER CLOSET
CONT	CONTINUOUS	INSUL	INSULATION	RR	RESTROOM	WH	WATER HEATER
C.J.	CONTROL JOIN	INT	INTERIOR	RA	RETURN AIR	WP	WATER PROOF
DTL	DETAIL	JT	JOINT	REV	REVERSE/REVISION	WEEP	WEEP HOLE
DIA	DIAMETER	JST	JOIST	RT	RIGHT	WT	WEIGHT
DIM	DIMENSION	KIT	KITCHEN	RH	RIGHT HAND	W	WEST
DW	DISH WASHER	LAM	LAMINATE	R.O.W.	RIGHT OF WAY	WDW	WINDOW
DISP	DISPOSAL	LAV	LAVATORY	R	RISER	WD	WOOD
D.O.	DOOR OPENING	LGT	LIGHT	RD	ROOF DRAIN	W/	W/
DBL	DOUBLE	LIN	LINEN	RM	ROOM	W/O	WITHOUT
D.H.	DOUBLE HUNG	LTEL	LINTEL	RO	ROUGH OPENING	YD	YARD
		MFR	MANUFACTURER	SND	SAN. NAPKIN DISPENSER		
		M.O.	MASONRY OPENING	SNR	SAN. NAPKIN RECEPTACLE		
				SCHED	SCHEDULE		

STRUCTURAL NOTES:

- GENERAL NOTES:**
- ALL STRUCTURAL INFORMATION AND SPECIFICATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER/OWNER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, FOUNDATION WALLS, GIRDERS, JOISTS AND SLABS AS PER LOCAL CODE.
 - BUILDER/OWNER SHALL INSPECT THE PROPOSED SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING THE ERECTION OF ANY PART OF THIS BUILDING. CONTRACTOR SHALL NOTIFY THE BUILDER/OWNER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.

FOUNDATION NOTES:

- IT IS THE BUILDER'S/OWNER'S RESPONSIBILITY TO REVIEW ALL FLOOR FINISHED MATERIAL ALL FINISHED FLOORS SHALL BE FLUSH WITH THE ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIAL. ADJUST FOUNDATION FRAMING OR CONCRETE AS REQUIRED.
- BUILDER/OWNER SHALL PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL CODES.
- THE FOUNDATION IS DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.
- ALL CONCRETE WORK SHALL DEVELOP A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH AND ALL CONCRETE SHALL BE 3,000 P.S.I. EXCEPT EXTERIOR CONCRETE WHICH SHALL BE 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- FOOTINGS SHALL BE 2'-0" WIDE X 12" DEEP 3,000 P.S.I CONCRETE REINFORCED WITH 2-#5 REBARS AND SHALL BEAR ON FIRM UNDISTURBED SOIL WELL BELOW FROST LINE.
- FOUNDATION WALLS SHALL BE 8" x 8" x 16" CONCRETE BLOCK WITH NON-CORROSIVE CORNER REINFORCED HORIZONTAL AND AT 16" O.C. VERTICAL. IF CONCRETE BLOCK WALL SHALL EXCEED 30" HEIGHT ABOVE GRADE REINFORCE WITH #4 REBARS AT 12" O.C. VERTICAL AND FILL CORES SOLID WITH CONCRETE.
- CONCRETE SLAB SHALL BE 3,000 P.S.I. 4" THICK MIN. REINF. WITH FIBER-MESH OVER 6 MIL. POLYETHYLENE MOISTURE BARRIER. SLAB SHALL BE CONSTRUCTED ON 4" OF GRAVEL OR SAND AND ON FIRM LAYER COMPACTED FILL DIRT TREATED FOR PREVENTION OF TERMITES AS PER LOCAL CODES.
- CONCRETE BLOCK PIERS SHALL BE 8"x8"x16" BLOCKS WITH 2-#5 REBARS VERTICAL ON 2'-0" x 3'-0" x 1'-0" DEEP CONCRETE FOOTING WITH 3-#5 2'-6" REBARS ON TOP AND 4-#5 1'-6" REBARS ON BOTTOM.
- THICKENED SLABS SHALL BE 12" WIDE AND 12" DEEP WITH 2-#5 REBARS CONTINUOUS PROVIDE POSTHOLES AT 4'-0" O.C.
- REINFORCING BARS SHALL CONFORM TO A.S.T.M. #15 GRADE 60 (6,000 P.S.I. YIELD STRENGTH). REINFORCING IN ALL CONCRETE WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
- ALL SOLE PLATES AT EXTERIOR AND INTERIOR LOAD BEARING WALLS SHALL BE ANCHORED WITH 1/2" x 10" LONG ANCHOR BOLTS EMBEDDED INTO CONCRETE 7" AND SHALL BE SPACED 4'-0" O.C. AND 12" FROM ALL CORNERS.

FRAMING NOTES:

- STRUCTURAL SWAN AND GLUED LAMINATED TIMBER SHALL CONFORM TO FOLLOWING SPECIES AND STRESS GRADES.
 - A. STRESS GRADE SWAN LUMBER SHALL CONFORM TO NATIONAL SPECIFICATION FOR SURFACE DRIED NO.2 SELECT STRUCTURAL SOUTHERN PINE WITH ALLOWABLE STRESS VALUES OF 1,300 P.S.I. IN BENDING AND A MODULUS OF ELASTICITY OF 1,600 K.S.I.
 - B. THE PRODUCTION TESTING, INSPECTION, IDENTIFICATION AND CERTIFICATION OF STRUCTURAL GLUED LAMINATED TIMBER SHALL CONFORM TO U.S. COMMERCIAL STANDARD CD 253-63 AND A.I.T.C. 200. GLUE USED SHALL BE WATERPROOF. ALLOWABLE STRESS VALUES SHALL BE 2,400 P.S.I. IN BENDING, 1,400 P.S.I. IN TENSION PARALLEL TO GRAIN 2,100 P.S.I. IN SHEAR AND MODULUS OF ELASTICITY OF 1,900 K.S.I.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO MAINTAIN ALIGNMENT AND SECURITY OF STRUCTURES DURING CONSTRUCTION.
- PROVIDE FULL SOLID STUD BEARING UNDER ALL BEAM BEARING POINTS TO SOLID FOUNDATION CONDITION BELOW.
- TYPICAL EXTERIOR 2X6 STUD (UNLESS OTHERWISE NOTED) WALLS SHALL BE SHEATHED WITH 1/2" EXTERIOR GRADE O.S.B. PLYWOOD. O.S.B. PLYWOOD SHALL SPAN OVER ALL PLATES AND HEADERS AND BE ADEQUATELY NAILED TO CREATE A "DIAPHRAGM" WALL.
- PROVIDE PRESSURE TREATED LUMBER WHERE REQUIRED BY CODE AND GOOD CONSTRUCTION PRACTICES. (I.E. IN CONTACT WITH CONCRETE).
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).

MECHANICAL/ELECTRICAL/PLUMBING NOTES

MECHANICAL NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO DESIGN AND ENGINEER THE H.V.A.C SYSTEM TO A COMFORT ZONE OF 72 DEGREES HEAT AND COOL.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER AND TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT APPROVAL.
- PROVIDE AND INSTALL ALL EQUIPMENT AND H.V.A.C. SYSTEMS IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.
- ALL PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED TOGETHER WITHIN THE ATTIC SPACE TO MINIMIZE ROOF PENETRATIONS. ALL VENTS SHALL NOT BE LOCATED ON FRONT ROOF AND SHALL BE LOCATED TO BE VISUALLY "NON OFFENSIVE" AS POSSIBLE PAIN VENTS AND FLUES TO MATCH ROOF COLOR.
- PROVIDE SERVICE (GAS, ELECTRICITY) TO ALL EQUIPMENT (I.E. H.V.A.C., WATER HEATER, RANGES, REF., WASHER, DRYER, ETC.)

ELECTRICAL NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO DESIGN AND ENGINEER THE ELECTRICAL SYSTEM, SERVICE, METERING PANEL BOARDS AND CIRCUITING.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE PROVIDED LAYOUTS. AND TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT FOR APPROVAL.
- THE ELECTRICAL PLAN PROVIDED INDICATES INTENT ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT, FIXTURES, AS REQUIRED BY BUILDER/OWNER AND IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.
- ALL RECEPTACLES NEAR WATER CONDITIONS TO BE "GROUND FAULT INTERRUPTED" GFI TYPE.
- HARDWIRED (WITH BATTERY BACKUP) SMOKE DETECTORS SHALL BE INSTALLED ON ALL FLOORS AND ALL BEDROOMS. VERIFY WITH LOCAL CODES.
- ELECTRICAL CONTRACTOR TO VERIFY WITH BUILDER/OWNER FOR EXTERIOR SECURITY LIGHTS, LANDSCAPE LIGHTING CIRCUITS AND SWITCHES AND LOCATION

PLUMBING NOTES:

- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO DESIGN AND ENGINEER THE PLUMBING SYSTEM, SUPPLY, WASTE, VENTILATION AND GAS SERVICES.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO BUILDER/OWNER AND THE BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT, FIXTURES AS REQUIRED BY BUILDER/OWNER IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES, AND GOVERNING BODIES.

CODE SUMMARY

- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL ELECTRICAL CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE & "SPECIAL GUIDELINES OF BRENTWOOD
- BUILDING USE GROUP: R-3 RESIDENTIAL ONE AND TWO
- CONSTRUCTION TYPE: VB (WOOD CONSTRUCTION)

AREA CALCULATIONS

MAIN LEVEL:	3,917 SQ.FT.
UPPER LEVEL:	2,046 SQ.FT.
TOTAL CONDITIONED:	5,963 SQ.FT.
OPT. TERRACE LEVEL:	1,052 SQ.FT.
TERRACE STORAGE:	307 SQ.FT.
TANDEM GARAGE:	673 SQ.FT.
FRONT PORCH:	191 SQ.FT.
PORTE-COCHERE:	316 SQ.FT.
TWO CAR GARAGE:	525 SQ.FT.
REAR PORCH:	458 SQ.FT.
UPPER MECH. STORAGE:	78 SQ.FT.
UPPER STORAGE:	168 SQ.FT.
TOTAL UNDER ROOF:	9,731 SQ.FT.
MAX BUILDING COVERAGE ALLOWED 10% OF LOT SIZE 59,564 =	5,956 SQ.FT.
PROPOSED BUILDING COVERAGE Sq. FOOTAGE:	5,927 SQ.FT.
FLOOR AREA RATIO (F.A.R.) 15% OF LOT SIZE 59,564=	8,934 SQ.FT.
PROPOSED FLOOR AREA RATIO Sq. FOOTAGE:	5,963 SQ.FT.

SHEET INDEX	
SHEET NO.	SHEET NAME
A1	PERSPECTIVES VIEWS
A2	ARCHITECTURAL SITE PLAN
A3	FOUNDATION PLAN
A4	FOUNDATION DETAILS
A5	TERRACE PLAN
A6	FIRST FLOOR PLAN
A7	SECOND FLOOR PLAN
A8	ROOF PLAN
A9	EXTERIOR ELEVATIONS
A10	EXTERIOR ELEVATIONS
A11	BUILDING SECTIONS
A12	DETAILS
A13	DETAILS
A14	FIRST FLOOR ELECTRICAL PLAN
A15	SECOND FLOOR ELECTRICAL PLAN

SHEET
AO
COVER

MAJORS CONSTRUCTION
1252 HICKORY SPRINGS CT.
BRENTWOOD, TN 37027

PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 02/26/26

NO.	DESCRIPTION	DATE

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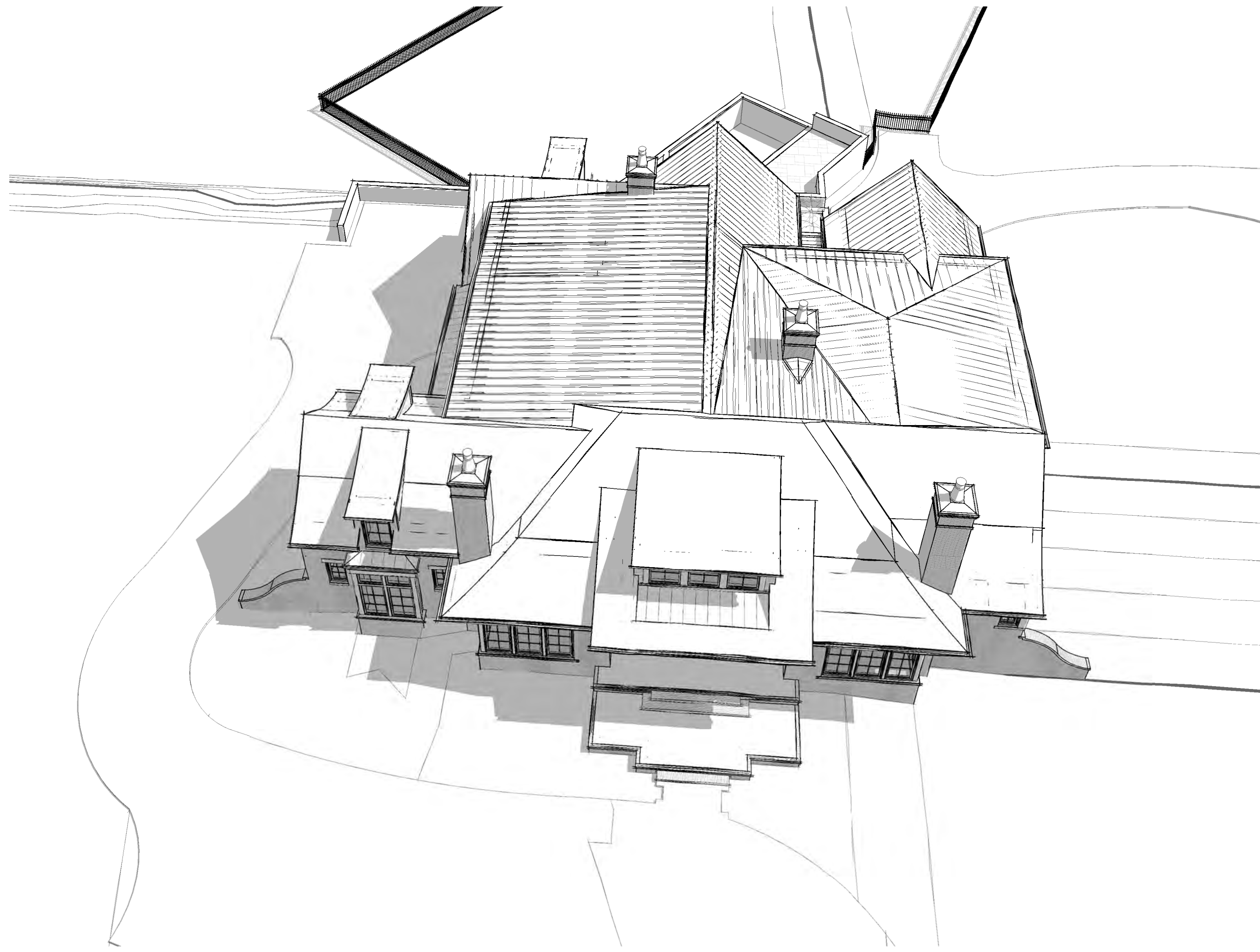
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① 3D VIEW 1



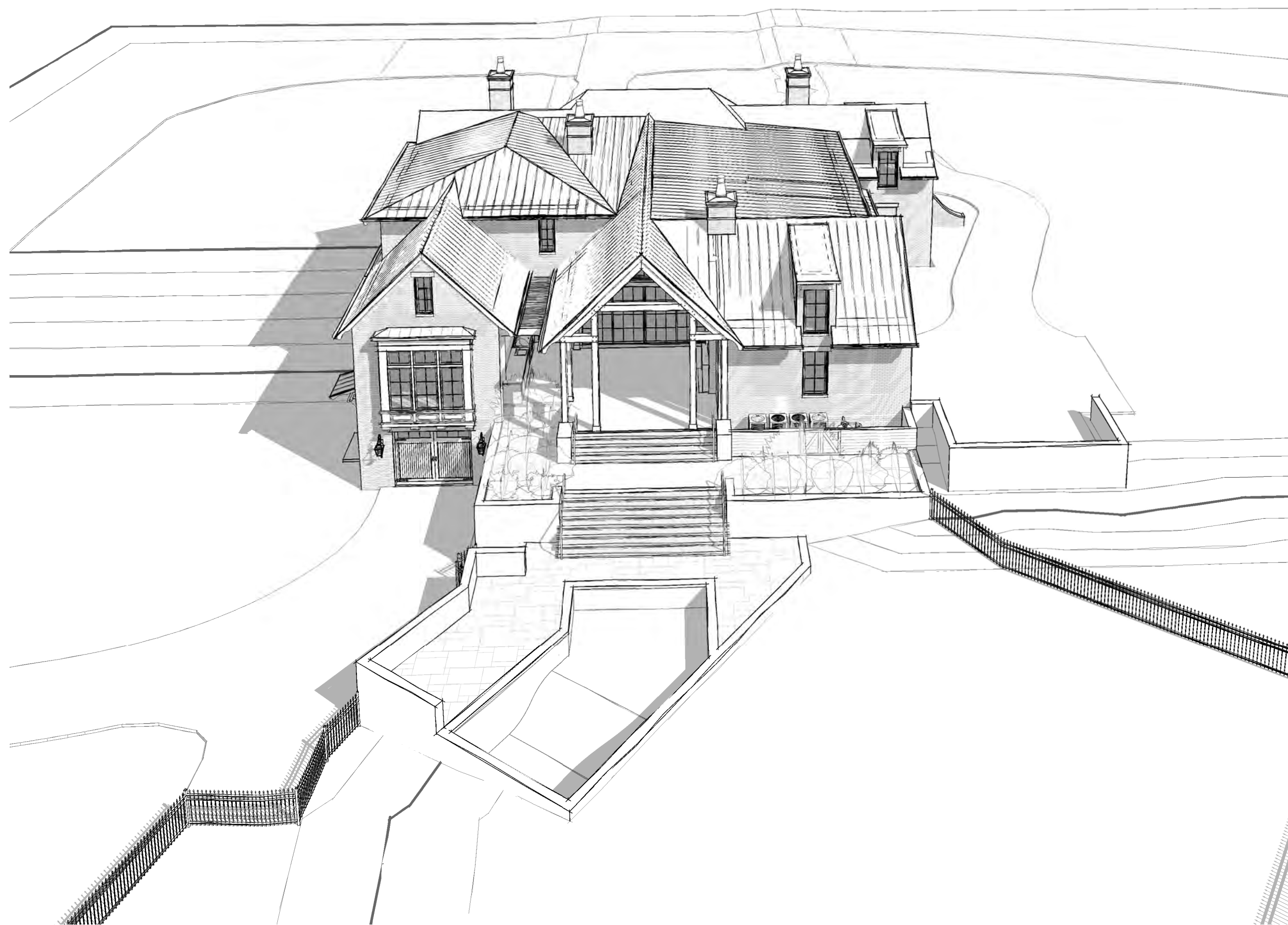
② 3D VIEW 2



③ 3D VIEW 3



④ 3D VIEW 4



⑤ 3D VIEW 5



⑥ 3D VIEW 6



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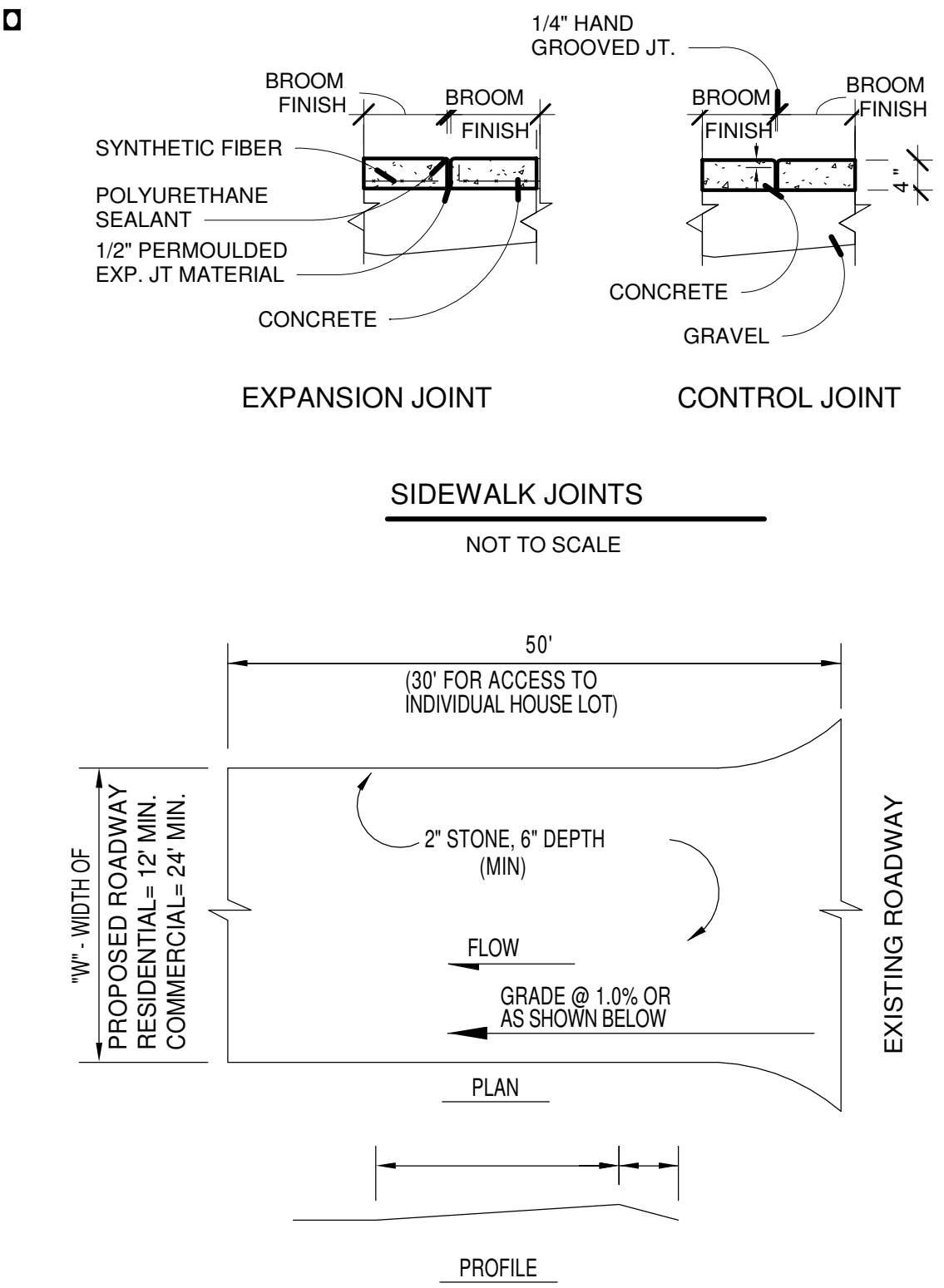
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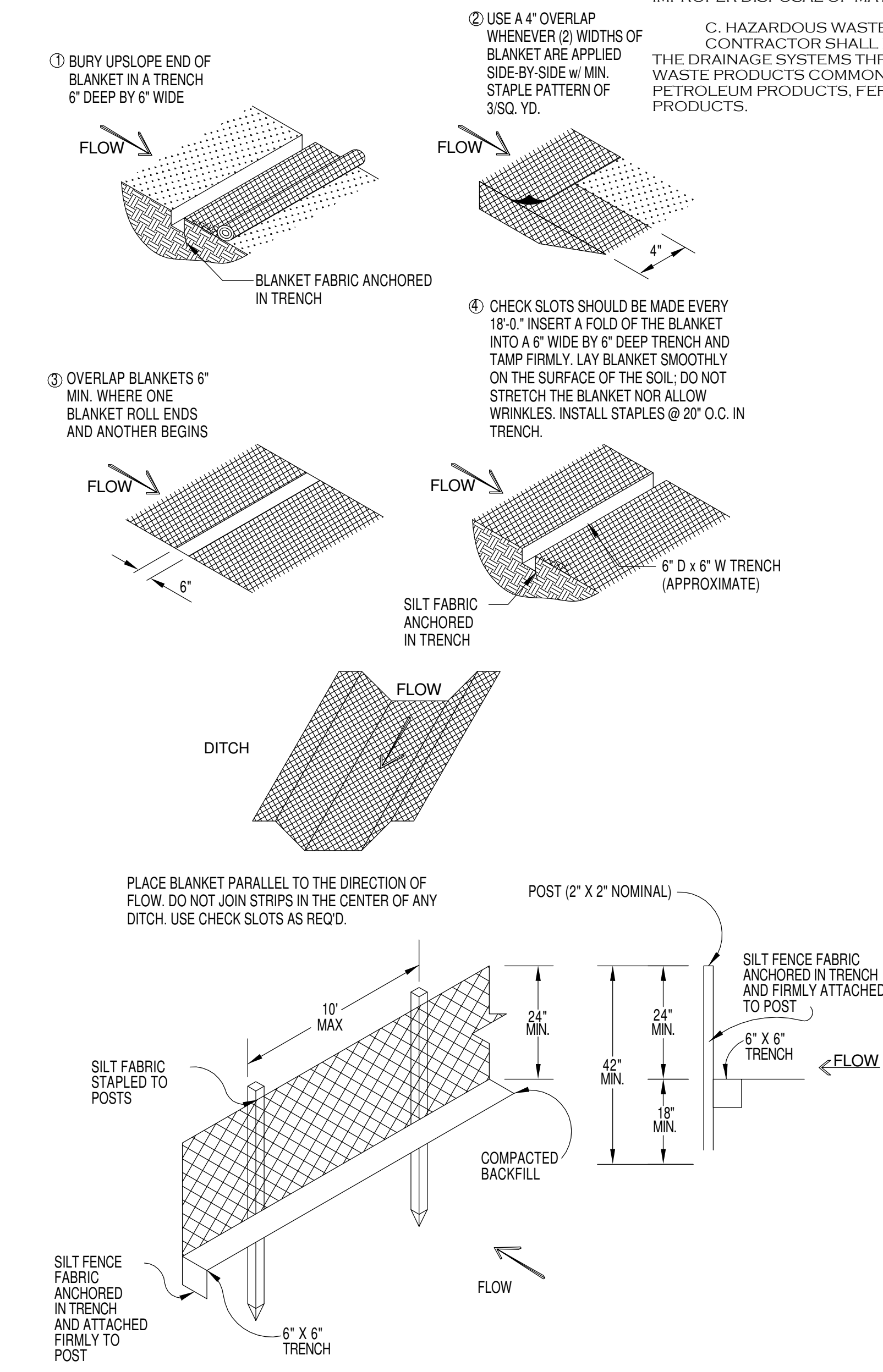
NO.	DESCRIPTION	DATE

SHEET
A1
PERSPECTIVES
VIEWS



TEMPORARY CONSTRUCTION ENTRANCE DETAIL

- TEMPORARY CONSTRUCTION ENTRANCE NOTES:
01. INSTALL A SINGLE ACCESS DRIVE USING 2" AGGREGATE
 02. MAINTAIN THROUGHOUT CONSTRUCTION UNTIL DRIVEWAY IS PAVED
 03. PARK ALL CONSTRUCTION VEHICLES ON THE STREET AND OFF THE SITE



SILT FENCE NOTES:

01. INSTALL SILT FENCE PRIOR TO THE START OF ANY WORK
02. INSTALL SILT FENCE ON THE DOWN SLOPE SIDE(S) OF THE SITE AND EXTEND THE ENDS UP THE SIDE SLOPES A SHORT DISTANCE
03. PLACE THE SILT FENCE PARALLEL TO THE CONTOUR OF THE LAND TO ALLOW WATER TO POND BEHIND THE SILT FENCE
04. ENTRENCHMENT SHALL BE 6 INCHES DEEP
05. STRAW BALES SHALL NOT BE USED
06. THERE SHALL BE NO GAPS BETWEEN SECTIONS OF THE SILT FENCE
07. INSPECT AND REPAIR ONCE PER WEEK MIN AND AFTER EVERY REMOVE SEDIMENT IF AND WHEN IT REACHES HALF THE FENCE HEIGHT
08. MAINTAIN THE SILT FENCE UNTIL A LAWN IS ESTABLISHED

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PROPOSED FLOOR AREA RATIO SQ. FOOTAGE:	5,963 SQ.FT.

EROSION AND SEDIMENT CONTROL NOTES

1. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNKNOWN FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF, OR AT THE DIRECTION OF A REPRESENTATIVE OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR SHALL FOLLOW STORMWATER ORDINANCES AS ESTABLISHED BY THE AUTHORITIES HAVING JURISDICTION FOR GRADING, EROSION AND SEDIMENT CONTROL FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
3. STRUCTURAL PRACTICES TO DIVERT FLOWS FROM AREAS OF LAND DISTURBANCE, STORE FLOWS, OR OTHERWISE LIMIT RUN-OFF OF SEDIMENT AND/OR DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE STATE OF TENNESSEE'S EROSION AND SEDIMENT CONTROL HANDBOOK (4TH EDITION) OR LOCAL ORDINANCES WITH THE MOST RESTRICTIVE HAVING PRECEDENCE.
4. THE CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1.
5. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE COMMENCEMENT OF ANY GRADING OPERATIONS. THE LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. THIS STABILIZED CONSTRUCTION ENTRANCE MUST BE MAINTAINED AND REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.
6. ALL CONSTRUCTION TRAFFIC MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO ENTERING THE PAVED ROADWAY. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.
7. THE CONTRACTOR SHALL PLACE/INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES AND ANY NEW DRAINAGE MEASURES REQUIRED IMMEDIATELY AFTER THE STABILIZED CONSTRUCTION ENTRANCE IS CONSTRUCTED. THESE MEASURES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
8. INSPECTIONS AND RECORD KEEPING: INSPECTION OF ALL CONTROL MEASURES, AND OF ALL DISTURBED AREAS ON SITE, SHALL BE PERFORMED IN INTERVALS OF NO LESS THAN 14 CALENDAR DAYS. ADDITIONALLY, AN INSPECTION SHALL ALSO BE CONDUCTED BEFORE ANTICIPATED STORM EVENTS (OR SERIES OF EVENTS SUCH AS INTERMITTENT SHOWERS OVER ONE OR MORE DAYS), AND WITHIN 24 HOURS OF THE END OF ANY STORM OR EVENT THAT RESULTS IN PRECIPITATION OF 0.5 INCHES OR GREATER. ALL INSPECTIONS SHALL BE DOCUMENTED IN A LOG BOOK AND SHALL CONTAIN THE FOLLOWING INFORMATION:
 - THE NAME(S) AND TITLE OR QUALIFICATION OF PERSONNEL MAKING THE INSPECTION.
 - THE DATE OF THE INSPECTION.
 - THE SCOPE OF THE INSPECTION.
 - OBSERVATIONS RELATED TO THE IMPLEMENTATION OF THE CONTROL MEASURES, INCLUDING ANY DISCHARGE LOCATION OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE AS WELL AS ANY CONTROL DEVICE OR MEASURE THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION.
9. SHOULD AN INSPECTION IDENTIFY ANY INADEQUATE MEASURES OR DEFICIENCIES, THOSE MEASURES SHALL BE REPAIRED, MODIFIED OR REPLACED PRIOR TO THE NEXT RAINFALL EVENT WHEN POSSIBLE. BUT, IN NO CASE SHALL REMEDIAL MEASURES FAIL TO BE IMPLEMENTED WITHIN (7) CALENDAR DAYS. ALL REMEDIAL MEASURES SHALL BE LOGGED IN THE LOG BOOK.
10. IN AREAS WHERE THE SOIL IS EXPOSED, PROMPT REPLANTING WITH NATIVE COMPATIBLE, DROUGHT-RESISTANT VEGETATION SHALL BE PERFORMED. NO AREA SHALL BE LEFT EXPOSED OVER THE WINTER SEASON.
11. THE CONTRACTOR SHALL IMPLEMENT STABILIZATION MEASURES WITHIN SEVEN (7) DAYS ON ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE EITHER TEMPORARILY OR PERMANENTLY CEASED AND WITHIN FOURTEEN (14) DAYS OF FINAL GRADING OR OTHER EARTHWORK OPERATIONS. STABILIZE WITH SELECTION OF PERMANENT VEGETATION (E.G. NATIVE HERBACEOUS AND WOODY PLANTS WHERE PRACTICABLE AND/OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE (E.G. GEOTEXTILES, SOD STABILIZATION, MULCH). THIS SHALL REPLACE ANY PRIOR TEMPORARY SEEDING OR STABILIZING MEASURES.
12. CONTRACTORS SHALL IMPLEMENT SITE HOUSEKEEPING PRACTICES AS FOLLOWS:
 - A. CONCRETE WASTE: PROVIDE A DESIGNATED AREA FOR AND ESTABLISH A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASHOUT. DISPOSE OF ANY HARDENED MATERIALS OFF-SITE. INSPECT DAILY TO CONTROL RUNOFF, AND WEEKLY FOR THE REMOVAL OF HARDENED MATERIALS. FROM THE PIT, NO CONCRETE TRUCK SHALL, AT ANY TIME, DUMP ITS WASTE, NOR CLEAN ITS TRUCK(S) ON A MUNICIPAL STREET/DRIVE UTILIZING THE STORM DRAINAGE SYSTEM VIA CURB AND GUTTER.
 - B. PAINT AND PAINTING SUPPLIES: PROVIDE INSTRUCTION TO EMPLOYEES AND SUBCONTRACTORS REGARDING THE REDUCTION OF POLLUTANTS, INCLUDING: MATERIAL STORAGE, USE, AND CLEANUP. INSPECT THE SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL OF MATERIALS.
 - C. HAZARDOUS WASTE: CONTRACTOR SHALL PREVENT THE DISCHARGE OF POLLUTANTS FROM HAZARDOUS WASTE FROM ENTERING THE DRAINAGE SYSTEMS THROUGH PROPER USE, WASTE DISPOSAL AND TRAINING OF EMPLOYEES. HAZARDOUS WASTE PRODUCTS COMMONLY FOUND ON-SITE MAY INCLUDE (BUT ARE NOT LIMITED TO): PAINTS, SOLVENTS, PETROLEUM PRODUCTS, FERTILIZERS, HERBICIDES, PESTICIDES, SOIL STABILIZATION PRODUCTS AND ASPHALT PRODUCTS.

1 SITE PLAN

1" = 10'-0"



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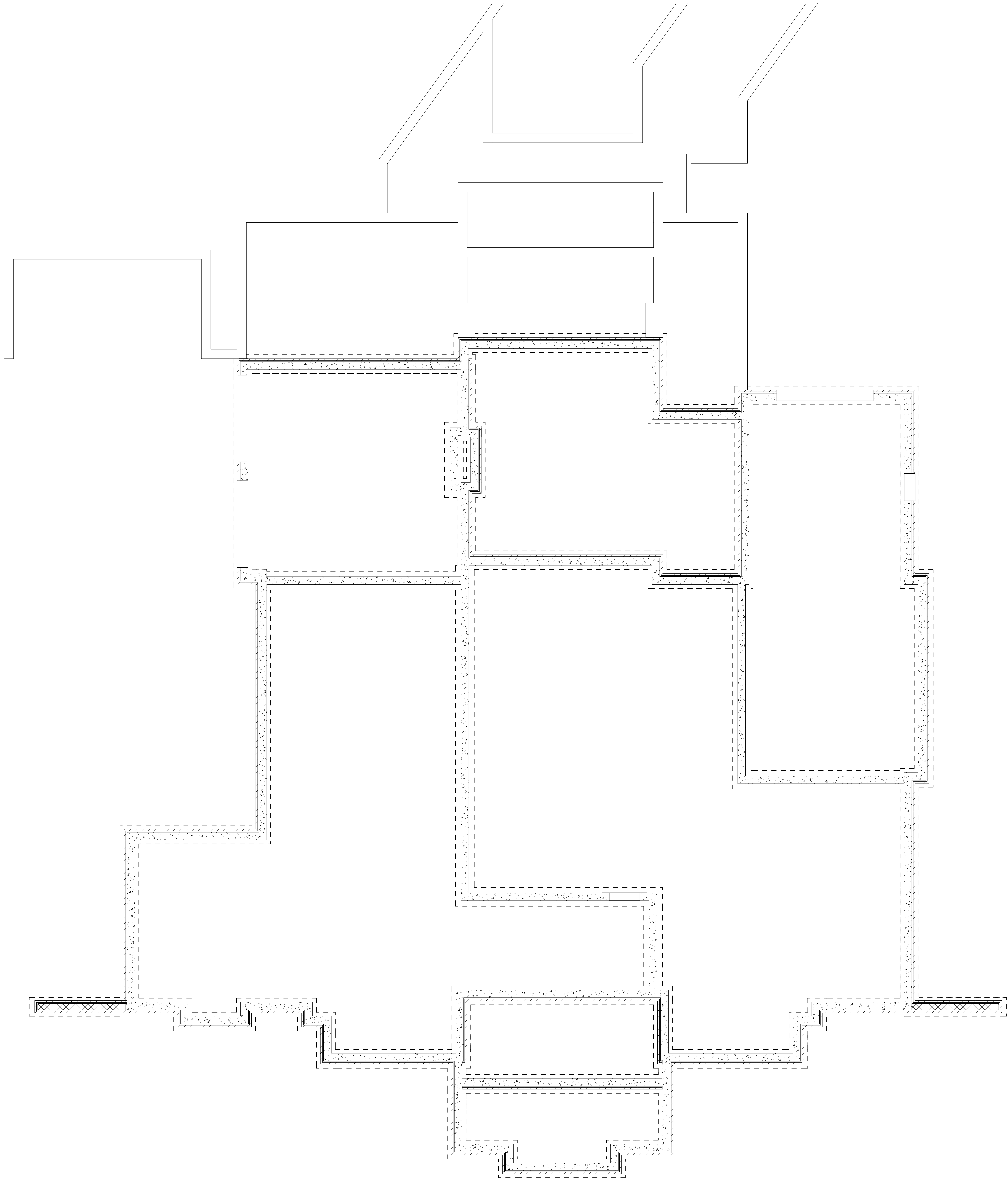
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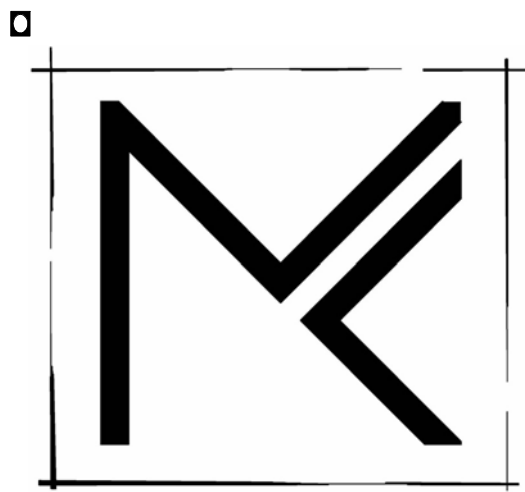
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SHEET
A2
ARCHITECTURAL
SITE PLAN

- FOUNDATION PLAN NOTES- SLAB
- BUILDER TO COORDINATE AND SIZE ALL BEAMS & FRAMING MEMBERS PRIOR TO STARTING CONSTRUCTION.
 - DIMENSIONS ARE TO OUTSIDE FACE OF SLAB AT FOOTING & CENTER LINES OF THICKENED SLAB WHERE APPLICABLE.
 - BUILDER TO PROVIDE TERMITE TREATMENTS THAT COMPLY WITH LOCAL BUILDING CODES.
 - INSTALL TERMITE SHIELDS BETWEEN WOOD AND CONCRETE SURFACES.
 - ALL FINISH FLOORS SHALL BE FLUSH TO ADJACENT FLOORS - U.N.O.
 - ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS TO DESIGN ALL STRUCTURAL ELEMENTS.
 - IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES.
 - PROVIDE THICKENED SLAB UNDER ALL LOAD BEARING WALLS.
 - BUILDER TO TAKE ALL EFFORTS TO PROVIDE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS).
 - BUILDER SHALL INSPECT ACTUAL SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. BUILDER SHALL NOTIFY THE DESIGNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
 - WHERE APPLICABLE, BRICK LEDGE SHALL BE OFFSET 4" FROM OUTSIDE FACE SLAB.
 - IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE POSITIVE DRAINAGE BELOW THE SLAB AND AROUND THE PERIMETER OF THE FOUNDATION AND PROVIDE A VAPOR BARRIER IN ACCORDANCE WITH CODE.



1 FOUNDATION PLAN
1/4" = 1'-0"



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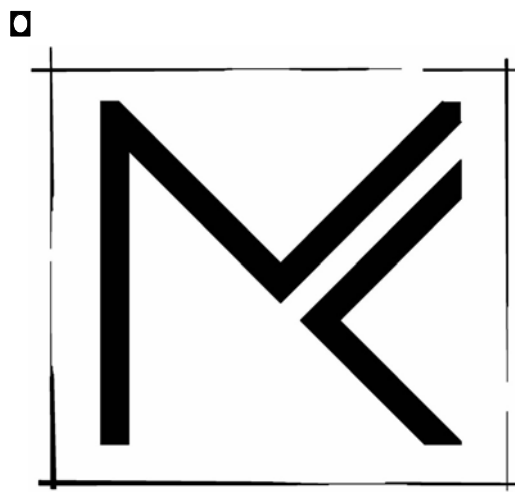
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SHEET
A3
FOUNDATION
PLAN



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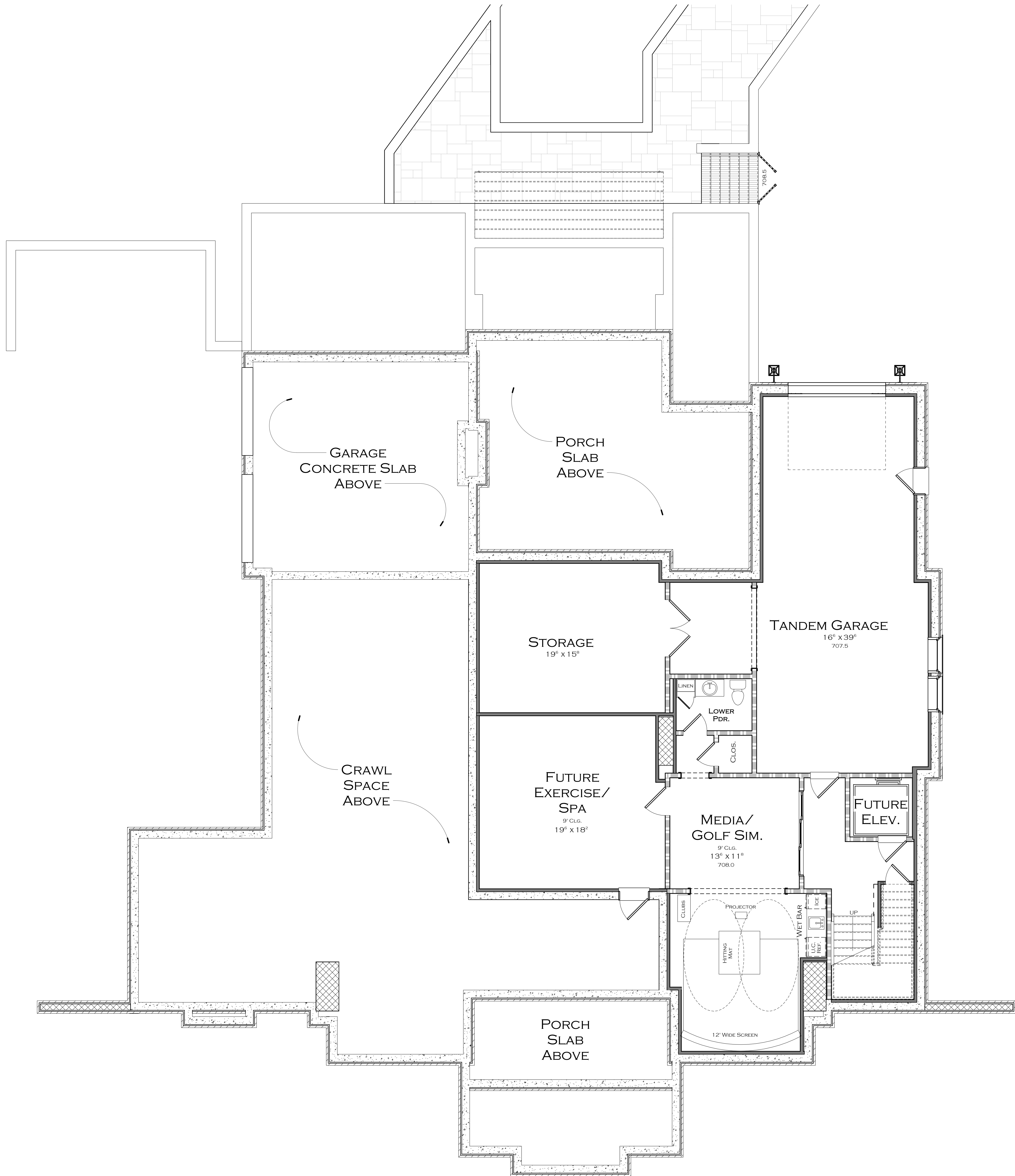
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SHEET
A5
TERRACE
PLAN



① TERRACE FLOOR PLAN
1/4" = 1'-0"

- PLAN NOTES: FIRST FLOOR
- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK AND TO CENTERLINE OF OPENINGS. WHERE BRICK VENER IS ABSENT, DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD AND TO THE CENTERLINE OF OPENINGS, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR STUDS NOT DIMENSIONED ARE 6" UNLESS OTHERWISE NOTED (5 1/2" STUD + 1/2" SHEATHING).
 - ALL INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD. ALL INTERIOR STUDS NOT DIMENSIONED ARE 3 1/2" (ACTUAL) UNLESS OTHERWISE NOTED.
 - OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF BRICK IS 4"
 - ALL ANGLED WALLS SHALL BE 45° UNLESS OTHERWISE NOTED
 - ALL FIRST FLOOR CEILINGS SHALL BE 10'-0" A.F.F. UNLESS OTHERWISE NOTED.
 - THE WINDOW ROUGH OPENING HEAD HEIGHT SHALL BE 8'-2" A.F.F. AT THE FIRST FLOOR UNLESS OTHERWISE NOTED.
 - REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENT, WINDOW TYPES AND LITE PATTERNS
 - SUPERINTENDENT SHALL VERIFY THE NUMBER OF STEPS REQUIRED TO REACH GRADE OR SIDEWALK AS WELL AS ANY REQUIRED HANDRAILS OR GUARDRAILS PER CODE. VERIFY STYLE AGAINST ANY NEIGHBORHOOD COVENANTS/BY LAWS
 - SUBCONTRACTORS SHALL PROVIDE WATER, ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT AND KITCHEN/UTILITY APPLIANCES AS REQ'D (e.g. HVAC UNIT, WATER HEATER, DISHWASHER, RANGE, REFRIGERATOR, WASHER, DRYER, ETC.)
 - BUILDER SHALL COORDINATE WITH LOW VOLTAGE SUBCONTRACTOR AND OWNER FOR LOCATIONS OF ALL T.V., TELEPHONE NETWORK, ALARM COMPONENTS AND KEYPAD LOCATIONS.

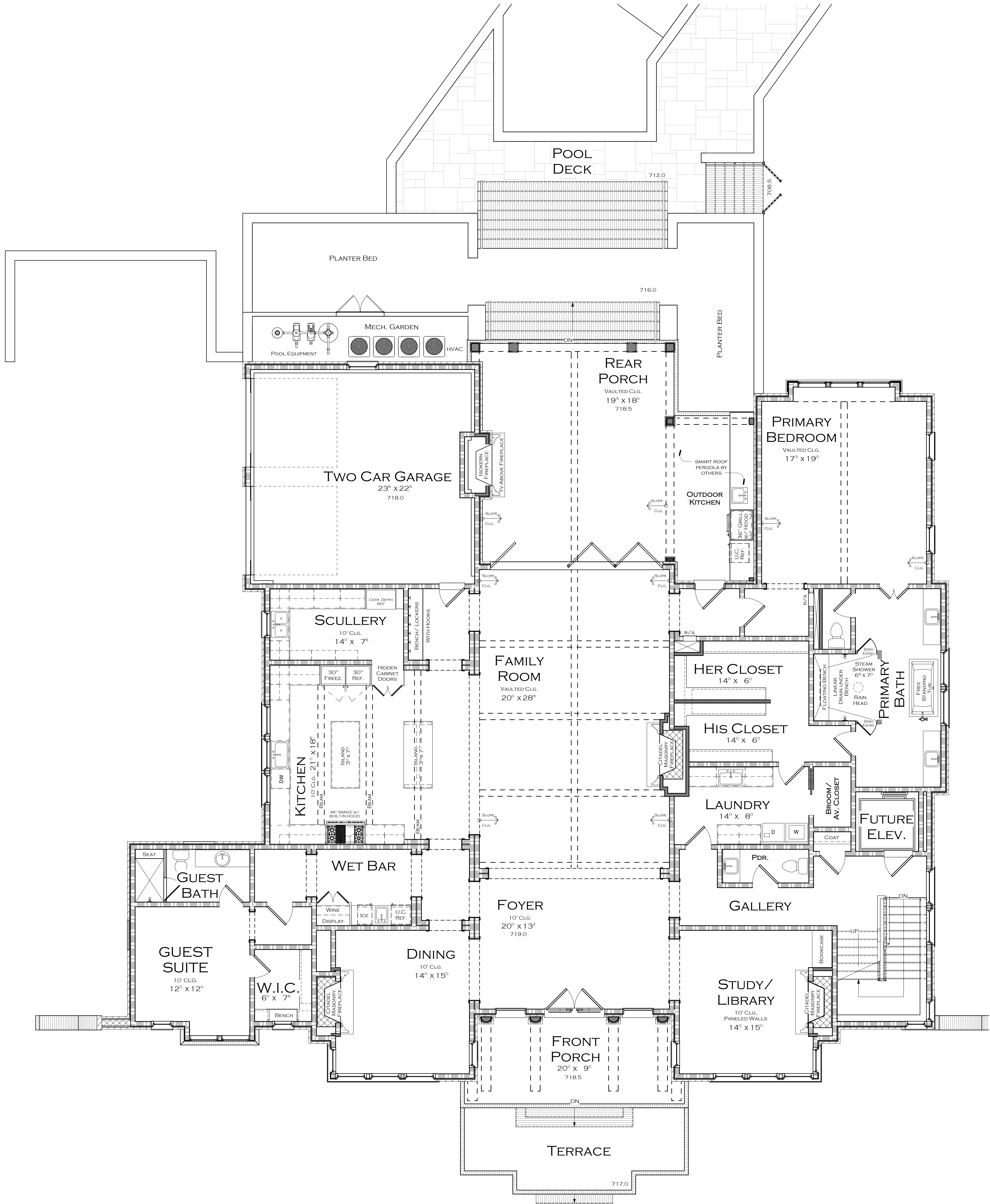
NOTE:
SUPERINTENDENT TO VERIFY STEPS FROM PORCH TO GRADE & RAIL IF REQ'D. PER SITE & LOCAL CODES. RAILING TO BE TEMP. GLASS IF REQ'D.

NOTE:
WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS 8'-2" A.F.F. UNLESS OTHERWISE NOTED. SEE ALIGNMENT WINDOW TYPES, & LITE PATTERNS.

NOTE:
REFER TO FRAMING PACKAGE FOR ALL JOIST ORIENTATION & SPACING. TYPICAL ALL LOCATIONS. SUPPLEMENT & SIZE BEAMS PER STRUCTURAL ENGINEER

WALL TYPE LEGEND	
2x4 STUD WALL	
2x6 STUD WALL	
2x8 STUD WALL	
2x12 STUD WALL	
FOUNDATION WALL	

WALL TYPE LEGEND
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"



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MAJORS CONSTRUCTION
1252 HICKORY SPRINGS CT.
BRENTWOOD, TN 37027

PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 02/26/26

NO.	DESCRIPTION	DATE

SHEET
A6
FIRST
FLOOR
PLAN

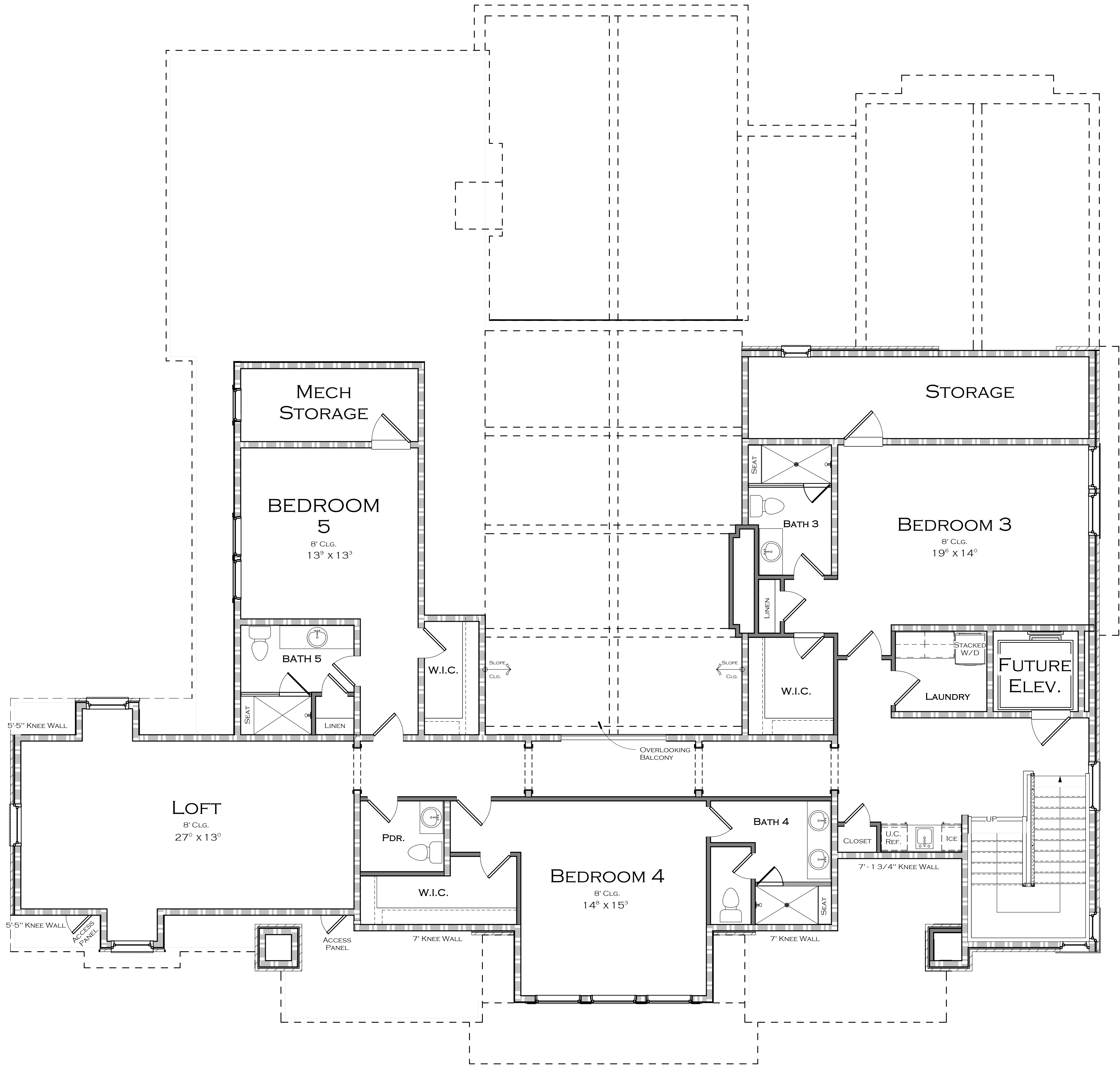
PLAN NOTES: SECOND FLOOR

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK AND TO CENTERLINE OF OPENINGS. WHERE BRICK VENEER IS ABSENT, DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD AND TO THE CENTERLINE OF OPENINGS. UNLESS OTHERWISE NOTED
- ALL EXTERIOR STUDS NOT DIMENSIONED ARE 6" UNLESS OTHERWISE NOTED. (5 1/2" STUD + 1/2" SHEATHING)
- ALL INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD. ALL INTERIOR STUDS NOT DIMENSIONED ARE 3 1/2" (ACTUAL) UNLESS OTHERWISE NOTED.
- OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF BRICK IS 4"
- ALL ANGLED WALLS SHALL BE 45° UNLESS OTHERWISE NOTED
- ALL SECOND FLOOR CEILINGS SHALL BE 9'-0" A.F.F. UNLESS OTHERWISE NOTED
- THE WINDOW ROUGH OPENING HEAD HEIGHT SHALL BE 7'-2" A.F.F. AT THE SECOND FLOOR UNLESS OTHERWISE NOTED
- REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENT, WINDOW TYPES AND LITE PATTERNS
- SUPERINTENDENT SHALL VERIFY THE NUMBER OF STEPS REQUIRED TO REACH GRADE OR SIDEWALK AS WELL AS ANY REQUIRED HANDRAILS OR GUARDRAILS PER CODE. VERIFY STYLE AGAINST ANY NEIGHBORHOOD COVENANTS, BYLAWS
- SUBCONTRACTOR(S) SHALL PROVIDE WATER, ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT AND KITCHEN/UTILITY APPLIANCES AS REQ'D (E.G. HVAC UNIT, WATER HEATER, DISHWASHER, RANGE, REFRIGERATOR, WASHER, DRYER, ETC.)
- BUILDER SHALL COORDINATE WITH LOW VOLTAGE SUBCONTRACTOR AND OWNER FOR LOCATIONS OF ALL TV, TELEPHONE NETWORK, ALARM COMPONENTS AND KEYPAD LOCATIONS.

NOTE:
SUPERINTENDENT TO VERIFY STEPS FROM PORCH TO GRADE & RAIL IF REQ'D. PER SITE & LOCAL COADES. RAILING TO BE TEMP. GLASS IF REQ'D.

NOTE:
WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS 8'-2" A.F.F. UNLESS OTHERWISE NOTED. SEE ALIGNMENT WINDOW TYPES, & LITE PATTERNS.

NOTE:
REFER TO FRAMING PACKAGE FOR ALL JOIST ORIENTATION & SPACING. TYPICAL ALL LOCATIONS. SUPPLEMENT & SIZE BEAMS PER STRUCTURAL ENGINEER



① SECOND FLOOR PLAN

1/4" = 1'-0"



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NO.	DESCRIPTION	DATE

SHEET
A7
SECOND
FLOOR
PLAN

- ROOF PLAN NOTES
1.

SEE ROOF PLAN FOR DETAILED SELECTION OF ROOFING MATERIALS
2.

PROVIDE DRIP EDGE FLASHING AT ALL ROOF EDGES.
3.

PROVIDE ICE DAM UNDERLAYMENT WHERE REQ'D BY CODE.
4.

BUILDER SHALL PROVIDE ROOF VENTILATION SYSTEM AS REQ'D BY CODE AND IN COMPLIANCE WITH NEIGHBORHOOD ASSOCIATION RULES/COVENANTS.
5.

PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING AT GRADE.
6.

ALL ROOF SADDLES/CRICKETS SHALL BE PLYWOOD SHEATHED WITH BUILDING PAPER AND SHINGLES.
7.

FIREPLACE FLUE SHALL BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY. MIN. 3'-0" PENETRATION ABOVE ROOF.
8.

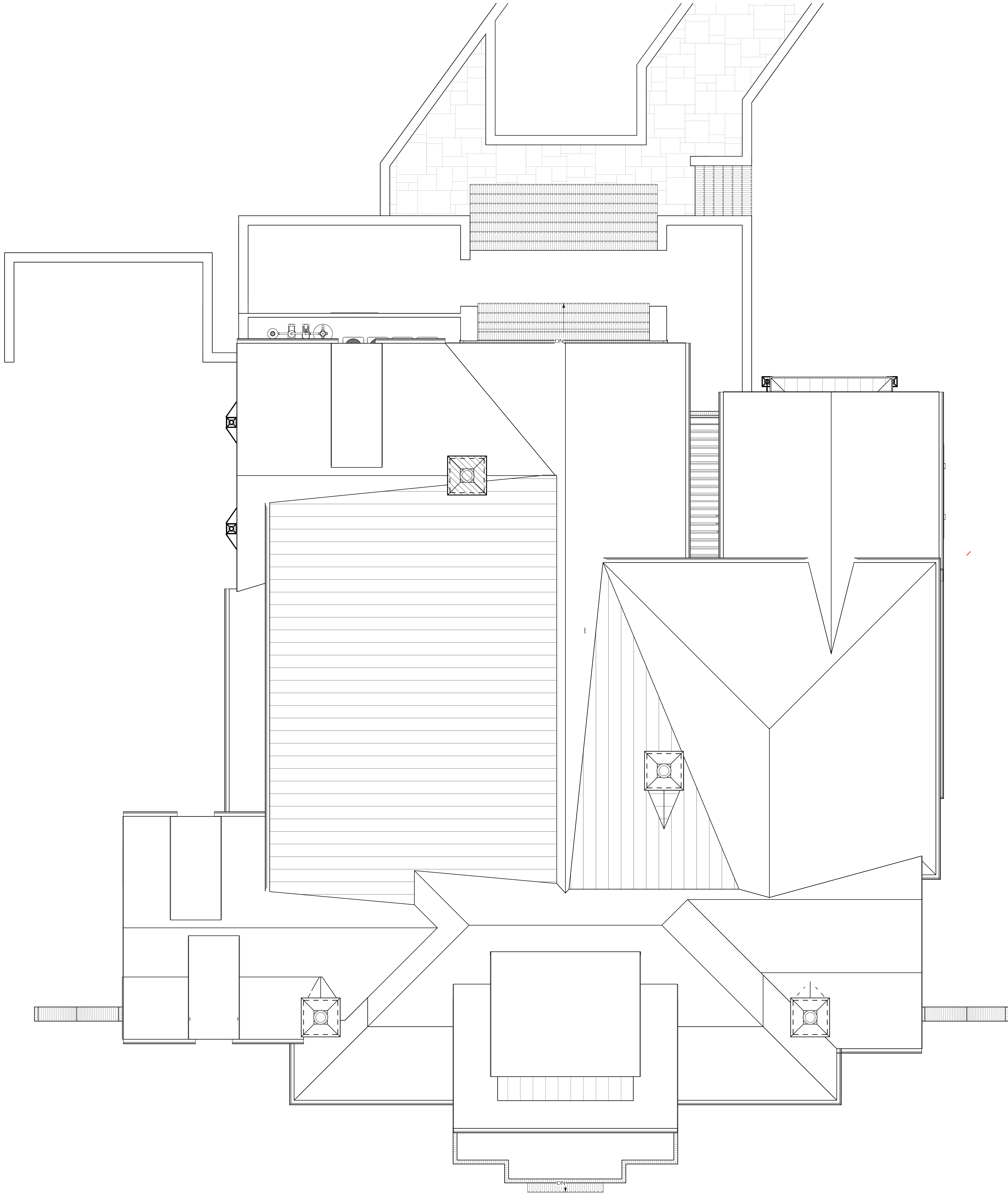
CONTINUOUS RIDGE VENTS SHALL BE BAFFLED TO PREVENT BACKFLOW.
9.

PROVIDE METAL FLASHING AT ALL ROOF TO WALL CONDITIONS- TYPICAL.
10.

ACCENT ALUMINUM CORNERS TYPICAL UNLESS OTHERWISE NOTED.
11.

SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF ALL PLUMBING/MECHANICAL VENTS, ATTIC BOX VENTS AND CHIMNEY PENETRATIONS ON REAR FACING SLOPE OF ROOF.
12.

STRUCTURAL COMPONENTS (HIP & VALLEY RAFTERS, RIDGE BOARDS) SHALL BE DESIGNED/SPEC'D BY LUMBER ENGINEER



1 ROOF PLAN
1/4" = 1'-0"



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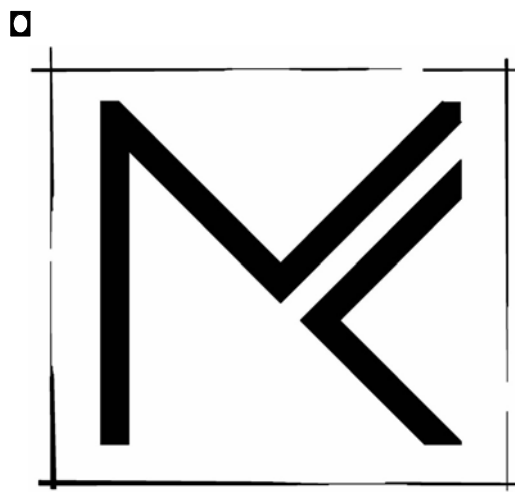
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DRAWN BY: LJH
DATE: 02/26/26

NO.	DESCRIPTION	DATE

SHEET
A8
ROOF
PLAN



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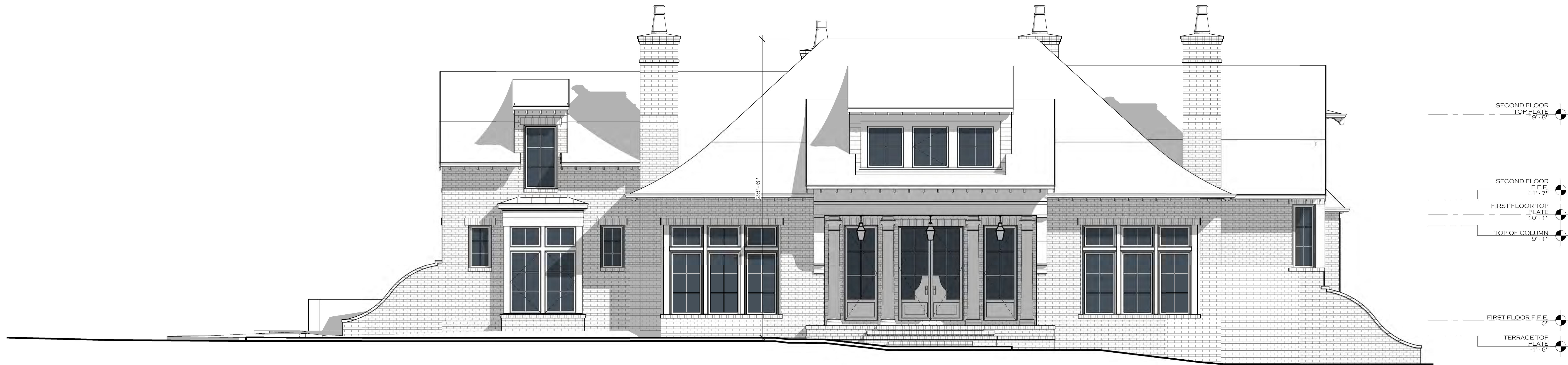
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NO.	DESCRIPTION	DATE

SHEET
A9
EXTERIOR
ELEVATIONS



① FRONT ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"

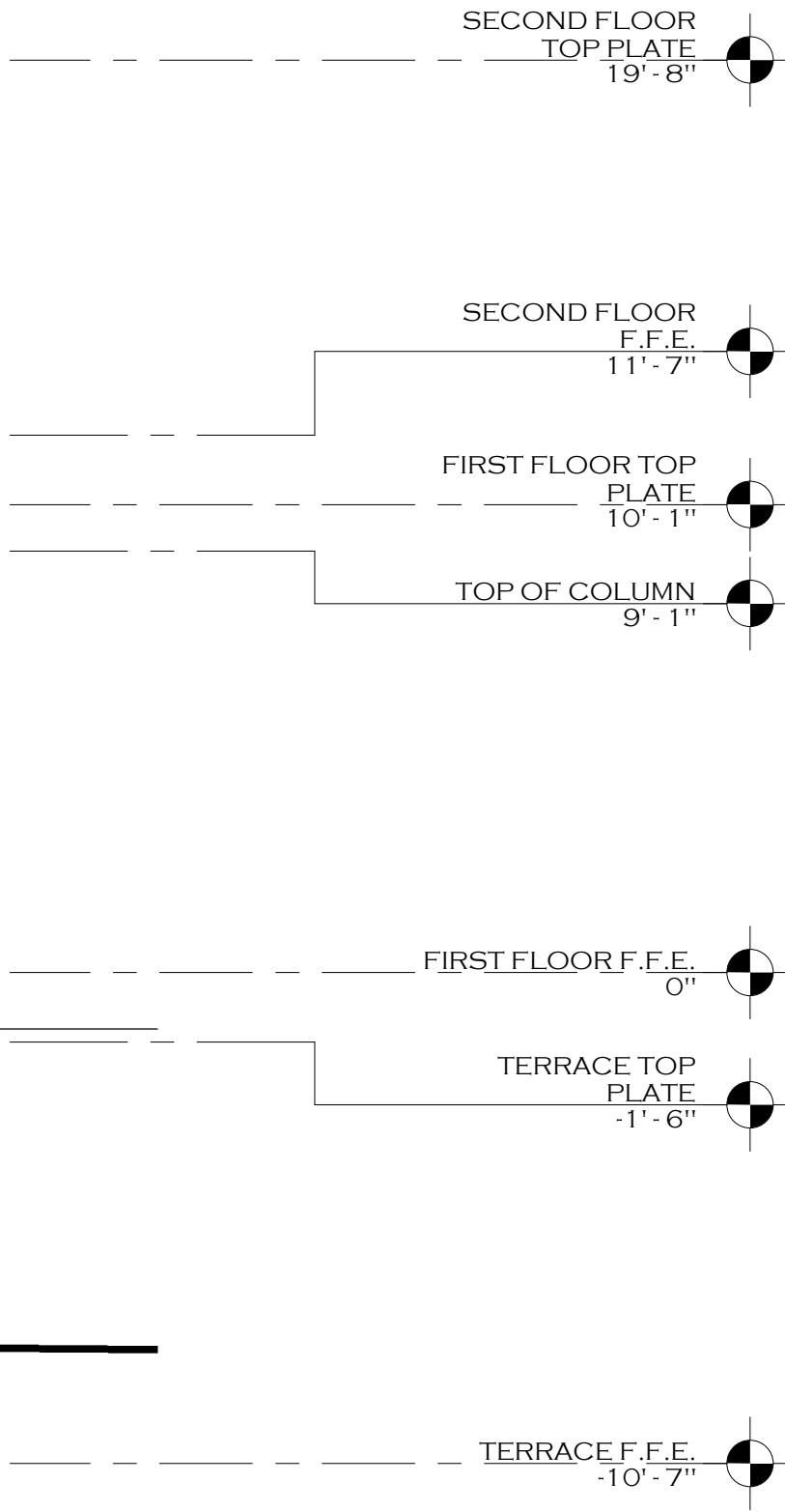


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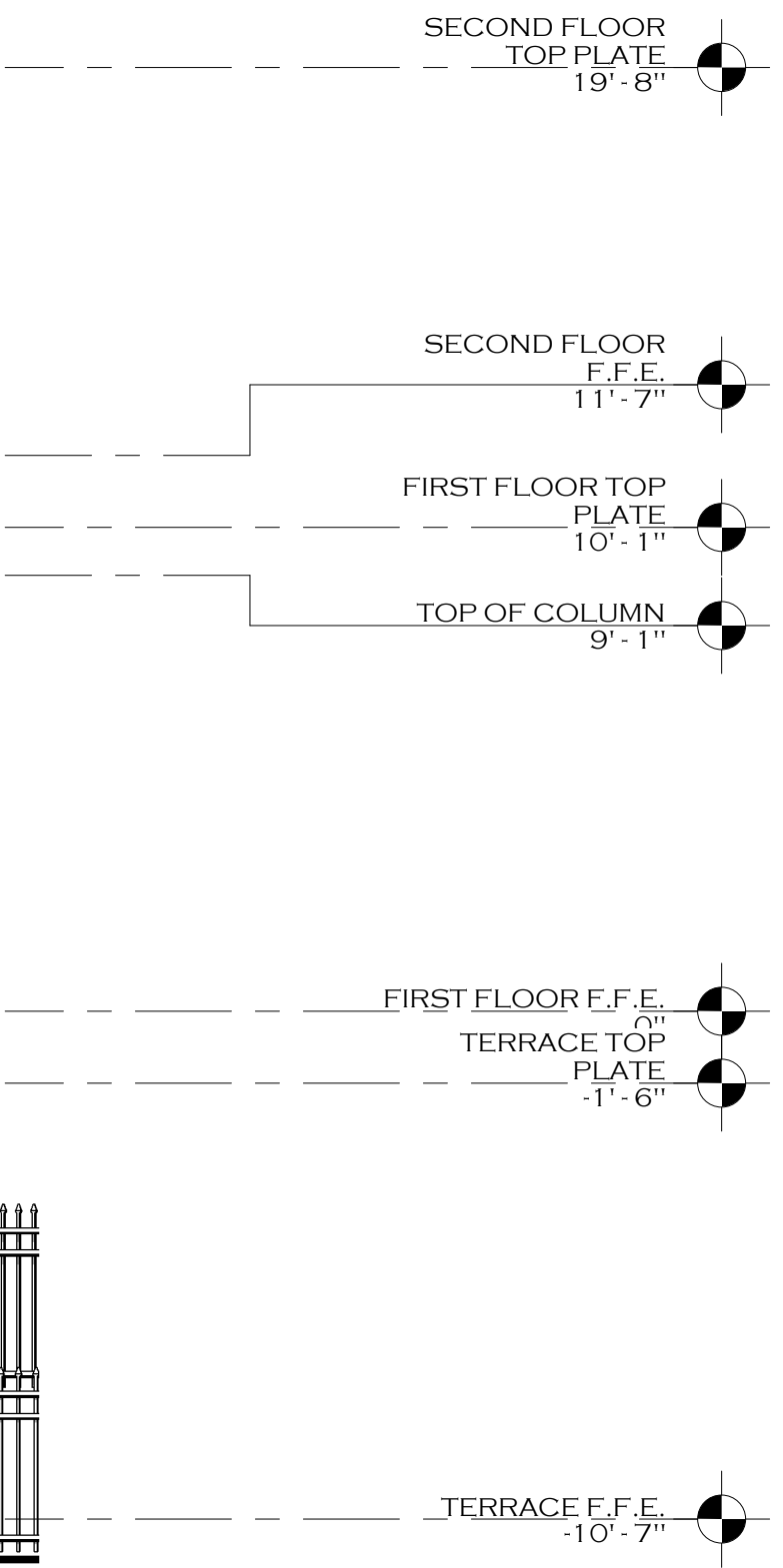
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[illegible]

SHEET
A10
EXTERIOR
ELEVATIONS



① REAR ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"