



ATTENDANCE

- __ Rhonda Kendrick-5/22
- __ Melinda Glenn-9/25
- __ Clayton Penhallegon(Chair)-6/22
- __ Myra Riles-4/24
- __ Allyson Whittaker (vice-Chair)-
9/24
- __ Marcus Breeden-10/24
- __ Mike Holt-10/23

NEXT MEETING

June 20th, 2023

HISTORIC PRESERVATION COMMISSION

AGENDA

Tuesday, May 23, 2023

6 P.M.

- I. CALL TO ORDER
- II. APPROVAL OF MINUTES (4/25/23)
- III. OLD BUSINESS
 - A. None
- IV. NEW BUSINESS
 - A. Public Hearing(s)

ITEM

COA-2023-016: 126 N. Broad St: Applicant Chip Hall is requesting a Certificate of Appropriateness to replace windows on existing structure. .07 Acres

COA-2023-015: 214 E. Water St: Applicant Chip Hall is requesting a Certificate of Appropriateness to replace windows on the existing structure.

- V. ADJOURN

**Historic Preservation Commission
Minutes
April 25, 2023 6:00 p.m.**

MEMBERS PRESENT: Allyson Whittaker, Clayton Penhallegon, Rhonda Kendrick, Melinda Glenn, Mike Holt

MEMBERS ABSENT: Myra Riles, Marcus Breeden

OTHERS PRESENT: Steve O'Neil, Jessica Hicks, Deryl Ouzts,

I I. CALL TO ORDER

Chairman Penhallegon called the meeting to order at 6:00 p.m.

I II. APPROVAL OF MINUTES OF PREVIOUS MEETING (4/4/23)

Commissioner Glenn made a motion to approve the minutes from the April 4th, 2023, meeting. Commissioner Whittaker seconded it. The motion passed unanimously.

I III. OLD BUSINESS (Tabled from April 4th Meeting)

COA-2023-011 | 220 Troupe St: Applicant Bainbridge Little Theater is requesting a Certificate of Appropriateness for a Sign Update. Bainbridge Little Theatre is wanting to replace the current marquee with a modern electronic marquee. This property is .21 Acres.

After clarification about the capabilities of the proposed LED sign Commissioner Penhallegon read the requested opinion of the city attorney Tom Conger. Chairman Penhallegon made a finding of act that the proposed LED sign is not in harmony with the character of the historic district.

A motion was made by Commissioner Glenn to deny the application for an LED sign at 220 E. Troupe St. Commissioner Whittaker seconded the motion and the vote to deny passed unanimously.

I IV. NEW BUSINESS

Plans were brought forth for guidance on a proposed commercial building at 717 Shotwell St. The architectural plans were reviewed and discussed. The commission agreed that the front porch need a bit more mass and grandeur to make it proportional to the rest of the building. Steve O'Neil said he would pass along the recommendation to the architect and developer.

I V. ADJOURNMENT: There being no more business, Commissioner Holt moved to adjourn the meeting and Commissioner Whittaker seconded. The motion unanimously passed.

BY:

Chairman Allyson Whittaker

ATTEST:

Secretary, Jessica Hicks

CERTIFICATE OF APPROPRIATENESS APPLICATION

This form must be turned in 15 days prior to the next scheduled meeting before the H.P.C. Committee can consider any requests for approval of any changes affecting the exterior appearance or demo of any building located within a designated local historic district in the City of Bainbridge.

PROPERTY ADDRESS	126 NORTH BROAD STREET
-------------------------	------------------------

APPLICANT	NAME: CHIP HALL - HALL CONTRACTING	PHONE: 229-442-0311
	MAILING ADDRESS: 329 E. WATER STREET - SUITE 1	
	CITY: BAINBRIDGE	STATE: GA

PROPERTY OWNER	NAME: JOHN HERRING - AI GLOBAL	PHONE: 561-436-3454
	MAILING ADDRESS:	
	CITY:	STATE:

Check here if same as Applicant

OCCUPANT	NAME:	PHONE:
	MAILING ADDRESS:	
	CITY:	STATE:

Check here if same as Applicant

Nature of proposed work to be done (check all that apply)

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Remodeling/Addition | <input type="checkbox"/> New Construction | <input type="checkbox"/> Moving Building | <input type="checkbox"/> Awnings |
| <input type="checkbox"/> Siding Alteration/Change | <input type="checkbox"/> Demolition | <input type="checkbox"/> Sign | <input type="checkbox"/> Roof Alteration |
| <input checked="" type="checkbox"/> Door/Window Alteration | <input type="checkbox"/> Shutters Addition/Change | <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Other _____ | | | |

Describe proposed work in detail (additional pages may be attached, if necessary) Pulling out old windows and installing new windows

Once the C.O.A. has been approved by the Commission, the applicant has 15 days to obtain a building permit (if applicable) and 45 days to begin construction

Applicant's Signature	<u>4/21/23</u> Date
-----------------------	------------------------

<p style="color: red; text-align: center; margin: 0;">FOR OFFICE USE ONLY</p> <p>Classification: <u>Remodel</u></p> <p>Application #: _____</p> <p>Date Received: <u>4/21/23</u></p> <p>Map & Parcel #: _____</p>	<p style="color: red; margin: 0;">APPLICATION FEES</p> <p>\$25.00 Application Fee for following:</p> <table style="width: 100%; border: none;"> <tr> <td>Remodeling/Addition</td> <td>Awnings</td> </tr> <tr> <td>New Construction</td> <td>Roof Alteration</td> </tr> <tr> <td>Moving Building</td> <td>Accessory Structure</td> </tr> <tr> <td>Siding Alteration/Change</td> <td>Fence</td> </tr> <tr> <td>Sign</td> <td><u>Door/Window Alteration</u></td> </tr> <tr> <td>Shutters Addition/Change</td> <td>Other</td> </tr> </table> <p>\$75.00 Application Fee:</p> <p style="margin-left: 40px;">Demolition</p>	Remodeling/Addition	Awnings	New Construction	Roof Alteration	Moving Building	Accessory Structure	Siding Alteration/Change	Fence	Sign	<u>Door/Window Alteration</u>	Shutters Addition/Change	Other	<p style="color: red; text-align: center; margin: 0;">FOR OFFICE USE ONLY</p> <table style="width: 100%; border: none;"> <thead> <tr> <th style="text-align: left; font-size: small;">ACTION</th> <th style="text-align: left; font-size: small;">DATE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Approved</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Approved w/ Conditions</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Denied</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Withdrawn</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Staff Approval</td> <td>_____</td> </tr> </tbody> </table>	ACTION	DATE	<input type="checkbox"/> Approved	_____	<input type="checkbox"/> Approved w/ Conditions	_____	<input type="checkbox"/> Denied	_____	<input type="checkbox"/> Withdrawn	_____	<input type="checkbox"/> Staff Approval	_____
Remodeling/Addition	Awnings																									
New Construction	Roof Alteration																									
Moving Building	Accessory Structure																									
Siding Alteration/Change	Fence																									
Sign	<u>Door/Window Alteration</u>																									
Shutters Addition/Change	Other																									
ACTION	DATE																									
<input type="checkbox"/> Approved	_____																									
<input type="checkbox"/> Approved w/ Conditions	_____																									
<input type="checkbox"/> Denied	_____																									
<input type="checkbox"/> Withdrawn	_____																									
<input type="checkbox"/> Staff Approval	_____																									

O.C.G.A. 48-5-264.1 NOTICE

You are hereby notified that pursuant to O.C.G.A. 48-5-264.1 (a), representatives of the Decatur County Tax Assessor’s Office, with proper I.D. may enter upon your property during normal business hours, for the purpose of collecting accurate data or any verifications thereof due to permits issued, Returns filed, Revaluations (partial or whole). Neighborhood reviews, sale price verification, land covenants, land splits, 3 year reviews and Appeal reviews. This includes all residential properties, manufactured homes, agricultural, commercial and industrial properties. Should you have any questions, please contact our office.

Summary

Parcel Number B0260004
 Location Address 126 BROAD ST
 Legal Description 504 425 126 BROAD ST
 (Note: Not to be used on legal documents)
 Class C3-Commercial
 (Note: This is for tax purposes only. Not to be used for zoning.)
 Tax District Bainbridge (District 02)
 Millage Rate 30.842
 Acres 0.07
 Homestead Exemption No (S0)
 Landlot/District N/A



Owner

JENACK III LLC
 13860 WELLINGTON TRACE
 SUITE 38-204
 WELLINGTON, FL 33414

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	FF-COM: 250.00	Front Feet	0	35	14	0.01	0
Commercial	FF-COM: 350.00	Front Feet	2,520	30	84	0.06	0

Commercial Improvement Information

Description	Restaurant Cafeteria J097
Value	\$87,289
Actual Year Built	1905
Effective Year Built	1991
Square Feet	4656
Wall Height	12
Wall Frames	Bearing Wall
Exterior Wall	Br On Br/Cb/Tile
Roof Cover	Tar & Gravel
Interior Walls	50% Sheetrock 50% Painted Masonry
Floor Construction	Concrete On Groundsteel Joists
Floor Finish	Carpet
Ceiling Finish	50% Acoustical Tile 50% Pine
Lighting	Recessed Florescent Fixture
Heating	Cent. Heat & Air
Number of Buildings	1

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/22/2022	504 425		\$315,000	Remodeled After Sale	THOMAS TYLER	JENACK III LLC
8/24/2020	463 937		\$15,000	Unqualified - Improved	THOMAS TYLER & SCHWAGER ERIC	THOMAS TYLER
8/19/2019	448 103		\$95,000	Fair Market - Improved	GILSTRAP SHIRLEY J	THOMAS TYLER & SCHWAGER ERIC
3/25/1993	P17 45		\$0	Unqualified - Improved	GILSTRAP ERNEST L & TOXIE C	GILSTRAP SHIRLEY J
5/2/1977	X10 514		\$40,000	Fair Market - Improved	EHRlich BERTRAM A & SIDNEY B	GISTRAP ERNEST L & TOXIE C
1/1/1974	G10 52		\$0	Unqualified - Improved	EHRlich MRS ROSALIE K	EHRlich BERTRAM A & SINEY B
5/25/1949	S5 329		\$0	Unqualified - Improved		EHRlich MRS ROSALIE K

Valuation

	2022	2021	2020	2019	2018
Previous Value	\$96,975	\$98,330	\$79,688	\$79,688	\$77,542
Land Value	\$9,686	\$9,686	\$9,686	\$9,120	\$9,120
+ Improvement Value	\$87,289	\$87,289	\$88,644	\$70,568	\$70,568
+ Accessory Value	\$0	\$0	\$0	\$0	\$0
= Current Value	\$96,975	\$96,975	\$98,330	\$79,688	\$79,688

Area Sales Report

Sale date range:

From: 05/03/2020 To: 05/03/2023

Sales by Area

1500

Feet

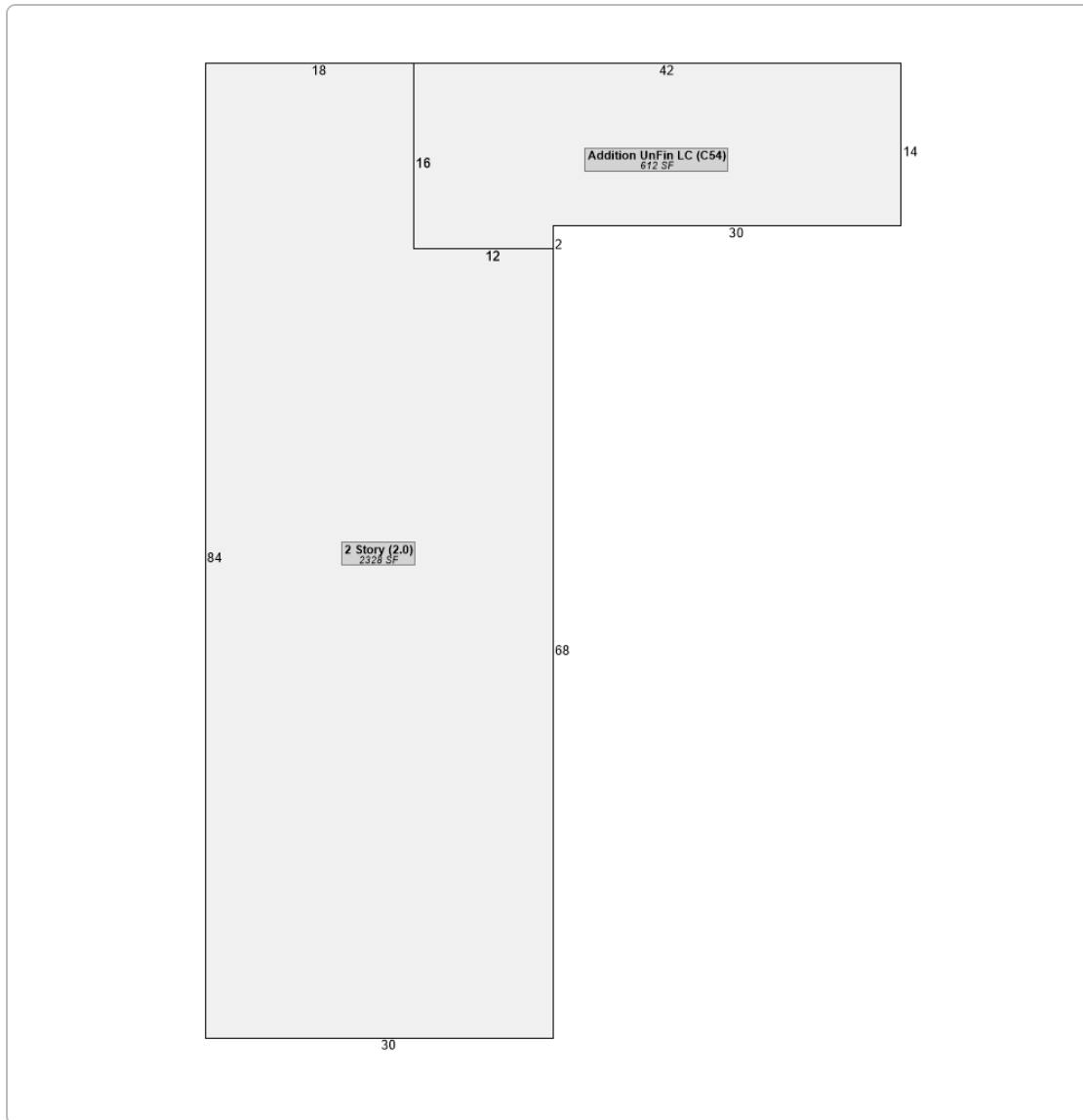


Sales by Distance

Photos



Sketches



No data available for the following modules: Rural Land, Conservation Use Rural Land, Forest Land Protection Act, Residential Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Permits.

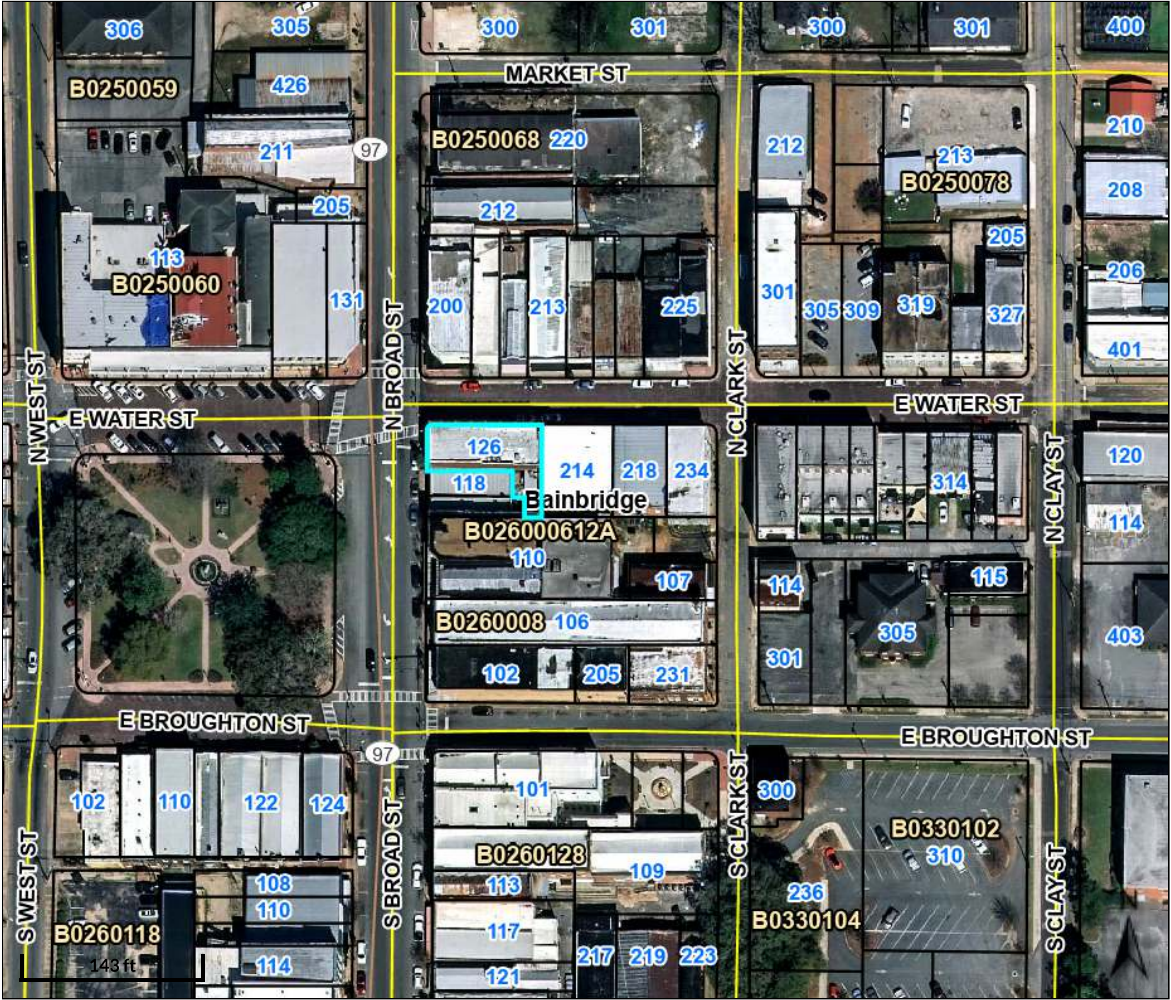
The Decatur County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

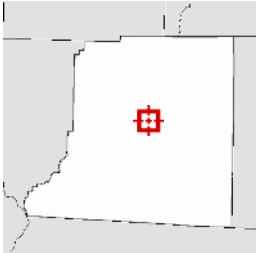
[Last Data Upload: 5/2/2023, 7:11:13 PM](#)

Developed by


Version 3.1.6



Overview



Legend

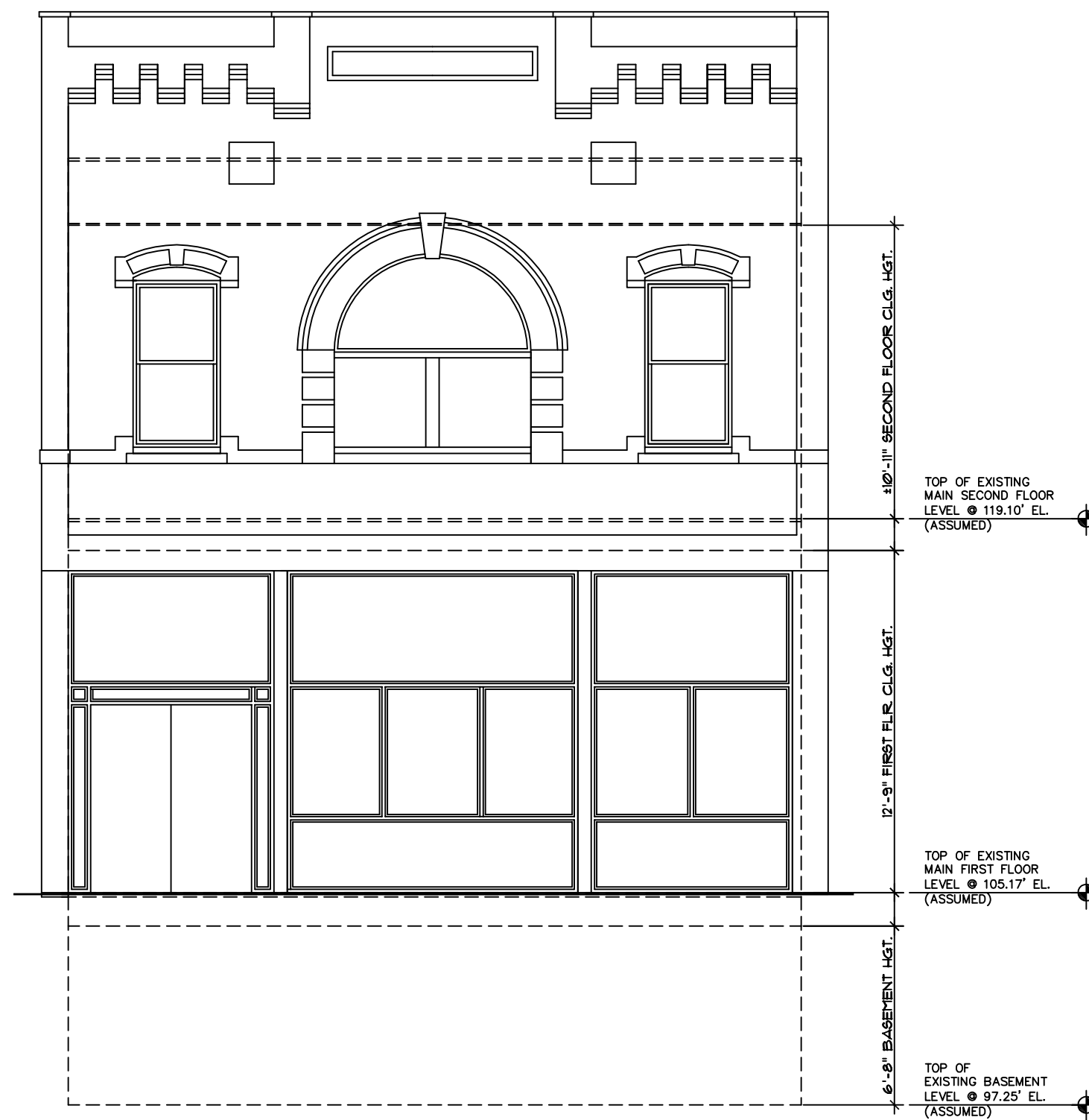
- Parcels
- Roads

Parcel ID	B0260004	Owner	JENACK III LLC	Last 2 Sales			
Class Code	Commercial		13860 WELLINGTON TRACE	Date	Price	Reason	Qual
Taxing District	Bainbridge		SUITE 38-204	9/22/2022	\$315000	RA	U
Acres	0.07		WELLINGTON, FL 33414	8/24/2020	\$15000	UI	U
		Physical Address	126 BROAD ST				
		Assessed Value	Value \$96975				

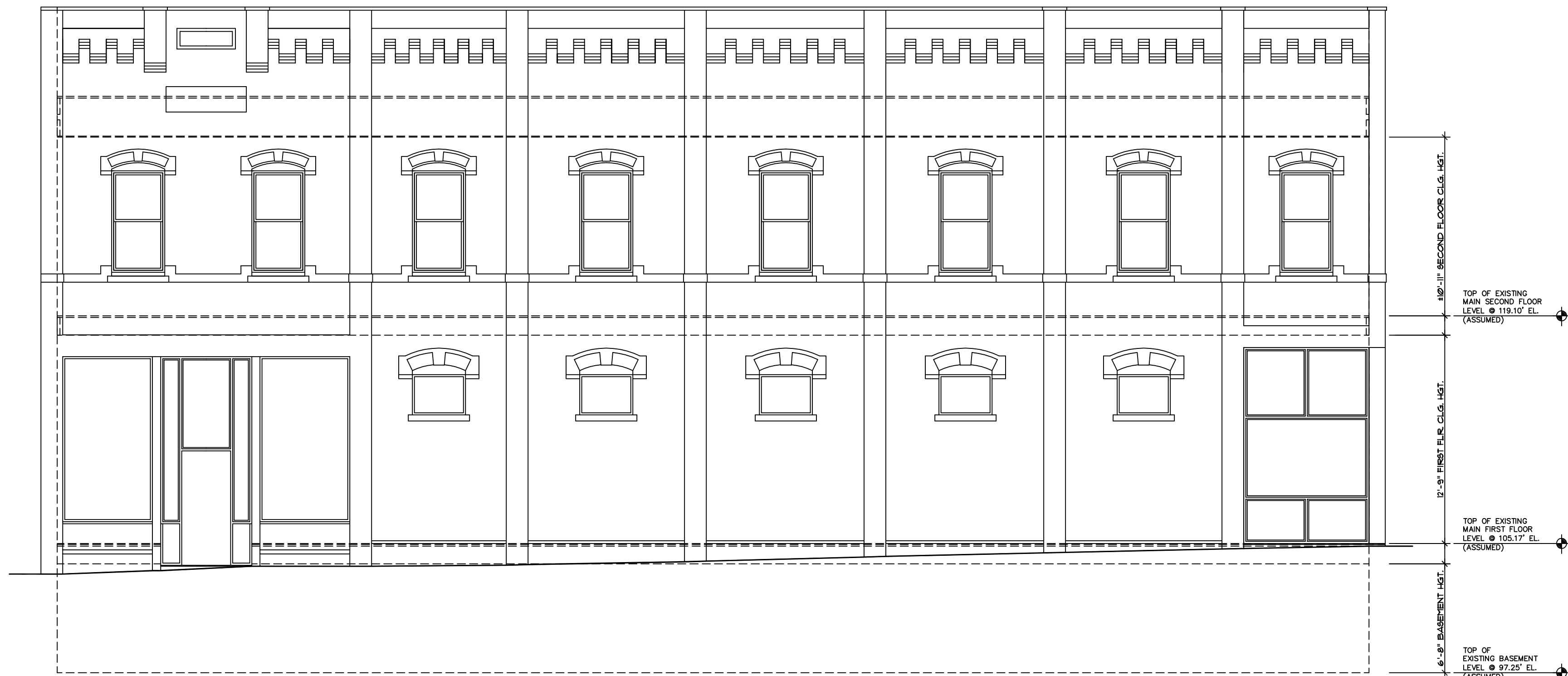
(Note: Not to be used on legal documents)

Date created: 5/3/2023
 Last Data Uploaded: 5/2/2023 7:11:13 PM

Developed by Schneider
 GEOSPATIAL



Existing
Broad Street Front Elevation



Existing
Water Street Side Elevation

126 Broad Street
BAINBRIDGE, GEORGIA
SCALE: 3/16"=1'-0"



Staff Recommendation

CITY OF BAINBRIDGE HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Address: 126 N. Broad St
Petitioner: Chip Hall
File #: COA-2023-016
Date: May 19th 2023

Historic District Map Classification: Historic

Nature of Request: COA-2023-016- 126 N. Broad Street: Chip Hall requests to make changes to windows in the facade.

APPLICABLE GUIDELINES & STAFF COMMENTS:

Section 4.1 Storefronts

- 4.1.1 Preserve (retain, restore and maintain) first any original storefront, and second those changes that have gained historic significance over time.
- 4.1.2 Retain (and repair) rather than replace deteriorated original features.
- 4.2.1 Preserve (retain, restore and maintain) original upper-story windows.

Staff Comments: The applicant has removed the existing upper floor windows and plans to replace them with modern 1 over 1 windows. The storefront windows and frames have been removed and he plans to replace with modern windows that match the styling of the original but trimmed out with aluminum.

***FIRST STEP, a commission member should make a "finding of fact" and express it in the form of a motion:

"I move that the City of Bainbridge Preservation Commission find as a fact that the proposed window changes at 126 N. Broad St, if constructed according to plans submitted 4/26/2023 **(is incongruous or not in harmony/is not incongruous or in harmony)** with the character of the historic district for reasons that the proposed changes to the windows are generally in harmony with the character of the adjoining properties."

(Specify all the factors that make the changes compatible, like height, setback, placement, fenestration, materials, architectural detailing, roof, form proportions, appurtenant features, placement, etc...,

****SECOND STEP, after this motion has been seconded, discussed and adopted, another motion is made or called for concerning the actual application.

"I move that the City of Bainbridge Preservation Commission (**grant or deny**) a certificate of appropriateness to Chip Hall for the proposed project at 126 N. Broad Street."

CERTIFICATE OF APPROPRIATENESS APPLICATION

This form must be turned in 15 days prior to the next scheduled meeting before the H.P.C. Committee can consider any requests for approval of any changes affecting the exterior appearance or demo of any building located within a designated local historic district in the City of Bainbridge.

PROPERTY ADDRESS	214 EAST WATER STREET
------------------	-----------------------

APPLICANT	NAME:	CHIP HALL - HALL CONTRACTING	PHONE:	229-442-0311
	MAILING ADDRESS:	329 E. WATER STREET SUITE 1		
	CITY:	BAINBRIDGE	STATE:	GEORGIA
			ZIP:	39817

PROPERTY OWNER	NAME:	DANETTE VAN TRUMP	PHONE:	404-519-9029
	MAILING ADDRESS:			
	CITY:		STATE:	
			ZIP:	
<input type="checkbox"/> Check here if same as Applicant				

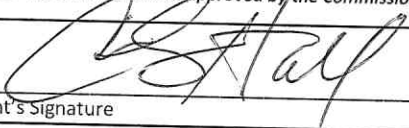
OCCUPANT	NAME:	N/A	PHONE:	
	MAILING ADDRESS:			
	CITY:		STATE:	
			ZIP:	
<input type="checkbox"/> Check here if same as Applicant				

Nature of proposed work to be done (check all that apply)

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Remodeling/Addition | <input type="checkbox"/> New Construction | <input type="checkbox"/> Moving Building | <input type="checkbox"/> Awnings |
| <input type="checkbox"/> Siding Alteration/Change | <input type="checkbox"/> Demolition | <input type="checkbox"/> Sign | <input type="checkbox"/> Roof Alteration |
| <input checked="" type="checkbox"/> Door/Window Alteration | <input type="checkbox"/> Shutters Addition/Change | <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Other _____ | | | |

Describe proposed work in detail (additional pages may be attached, if necessary) Pulling out old windows and installing new windows

Once the C.O.A. has been approved by the Commission, the applicant has 15 days to obtain a building permit (if applicable) and 45 days to begin construction

Applicant's Signature		Date	4/21/23
-----------------------	---	------	---------

FOR OFFICE USE ONLY	APPLICATION FEES	FOR OFFICE USE ONLY												
Classification: <u>Remodel</u>	\$25.00 Application Fee for following: Remodeling/Addition Awnings New Construction Roof Alteration Moving Building Accessory Structure Siding Alteration/Change Fence Sign <u>Door/Window Alteration</u> Shutters Addition/Change Other	<table border="0"> <tr> <th style="text-align: left;">ACTION</th> <th style="text-align: left;">DATE</th> </tr> <tr> <td><input type="checkbox"/> Approved</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Approved w/ Conditions</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Denied</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Withdrawn</td> <td>_____</td> </tr> <tr> <td><input type="checkbox"/> Staff Approval</td> <td>_____</td> </tr> </table>	ACTION	DATE	<input type="checkbox"/> Approved	_____	<input type="checkbox"/> Approved w/ Conditions	_____	<input type="checkbox"/> Denied	_____	<input type="checkbox"/> Withdrawn	_____	<input type="checkbox"/> Staff Approval	_____
ACTION		DATE												
<input type="checkbox"/> Approved	_____													
<input type="checkbox"/> Approved w/ Conditions	_____													
<input type="checkbox"/> Denied	_____													
<input type="checkbox"/> Withdrawn	_____													
<input type="checkbox"/> Staff Approval	_____													
Application #: <u>COA-2023-015</u> Date Received: <u>4/21/23</u> Map & Parcel #: <u>B0260003</u>	\$25 \$75.00 Application Fee: Demolition													

O.C.G.A. 48-5-264.1 NOTICE

You are hereby notified that pursuant to O.C.G.A. 48-5-264.1 (a), representatives of the Decatur County Tax Assessor’s Office, with proper I.D. may enter upon your property during normal business hours, for the purpose of collecting accurate data or any verifications thereof due to permits issued, Returns filed, Revaluations (partial or whole). Neighborhood reviews, sale price verification, land covenants, land splits, 3 year reviews and Appeal reviews. This includes all residential properties, manufactured homes, agricultural, commercial and industrial properties. Should you have any questions, please contact our office.

Summary

Parcel Number	B0260003
Location Address	214 E WATER ST
Legal Description	491 909 214-216 E WATER ST <i>(Note: Not to be used on legal documents)</i>
Class	C3-Commercial <i>(Note: This is for tax purposes only. Not to be used for zoning.)</i>
Tax District	Bainbridge (District 02)
Millage Rate	30.842
Acres	0.08
Homestead Exemption	No (S0)
Landlot/District	N/A



Owner

LONGLEAF OZ FUND LLC
1466 N DECATUR RD N E
ATLANTA, GA 30306

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	FF-COM:250.00	Front Feet	3,575	55	65	0.08	0

Commercial Improvement Information

Description	Retail Stores J117
Value	\$140,191
Actual Year Built	1885
Effective Year Built	1983
Square Feet	4452
Wall Height	12
Wall Frames	Bearing Wall
Exterior Wall	Stucco/Mas
Roof Cover	Tar & Gravel
Interior Walls	Panel
Floor Construction	Concrete On Groundsteel Joists
Floor Finish	75% Cpt/Hrdwd 25% Tile Vin Abs
Ceiling Finish	Acoustical Tile
Lighting	Recessed Florescent Fixture
Heating	Cent. Heat & Air
Number of Buildings	1

Permits

Permit Date	Permit Number	Type	Description
09/08/2021	0316	ELECTRIC	NEW 200 AMP SERIVCE BUILD

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
2/7/2022	491 909	D100	\$145,000	Fair Market - Improved	HALL CHARLES WINDELL JR	LONGLEAF OZ FUND LLC
3/23/2021	474 289	D100	\$100,000	Fair Market - Improved	DORVAL YURY	HALL CHARLES WINDELL JR
11/6/2018	435 353	D100	\$80,000	Unqualified - Improved	DODD JOHNIE EDWARD	DORVAL YURY
2/27/2015	380 232	D 100	\$26,000	Fair Market - Improved	GILSTRAP SHIRLEY J	DODD JOHNIE EDWARD
3/25/1993	P17 45	D 100	\$0	Unqualified - Improved	GILSTRAP EARNESTL & SHIRLEY J	GILSTRAP SHIRLEY J
9/30/1987	Y14 474	D100	\$40,000	Fair Market - Improved	GROLLMAN JOSEPH H	GILSTRAP EARNEST L & SHIRLEY J
9/8/1987	X14 557	D100	\$0	Unqualified - Improved	GROLLMAN JOSEPH M	GROLLMAN JOSEPH H
4/7/1971	J9 391	D100	\$0	Unqualified - Improved	JONES FRANK S	GROLLMAN JOSEPH M

Valuation

	2022	2021	2020	2019	2018
Previous Value	\$64,601	\$82,310	\$45,418	\$45,418	\$31,123
Land Value	\$8,525	\$8,525	\$8,525	\$8,525	\$8,525
+ Improvement Value	\$140,191	\$56,076	\$56,076	\$36,893	\$36,893
+ Accessory Value	\$0	\$0	\$0	\$0	\$0
= Current Value	\$148,716	\$64,601	\$64,601	\$45,418	\$45,418

Area Sales Report

Sale date range:

From:

04/24/2020

To:

04/24/2023

Sales by Area

1500

Feet



Sales by Distance

Photos



Sketches



No data available for the following modules: Rural Land, Conservation Use Rural Land, Forest Land Protection Act, Residential Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes.

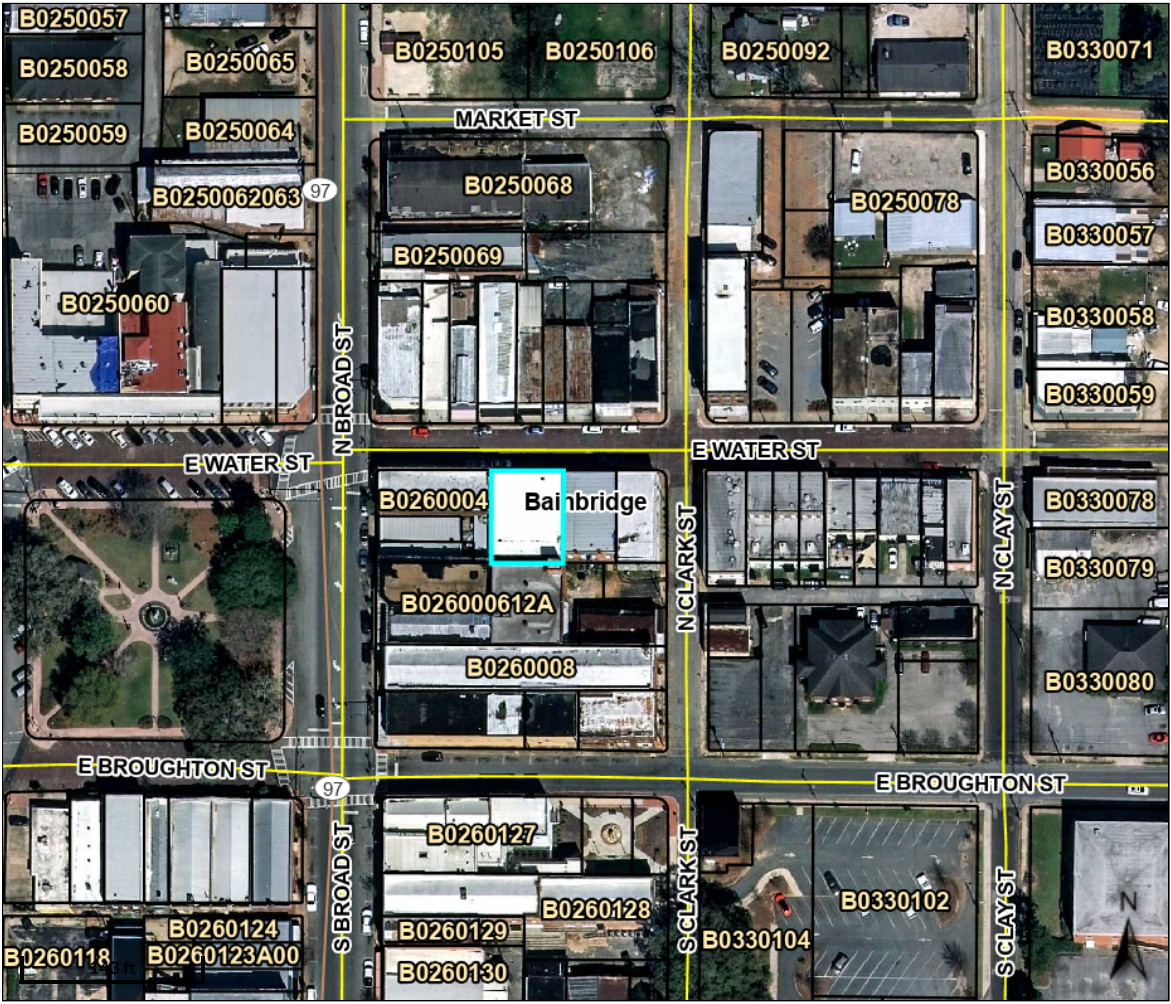
The Decatur County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

[Last Data Upload: 4/21/2023, 7:09:24 PM](#)

Developed by
 Schneider
GEOSPATIAL

Version 3.1.4



Legend
 □ Parcels
 — Roads

Parcel ID	B0260003	Owner	LONGLEAF OZ FUND LLC	Last 2 Sales			
Class Code	Commercial		1466 N DECATUR RD N E	Date	Price	Reason	Qual
Taxing District	Bainbridge		ATLANTA, GA 30306	2/7/2022	\$145000	FM	Q
Acres	0.08	Physical Address	214 E WATER ST	3/23/2021	\$100000	FM	Q
		Assessed Value	Value \$148716				

(Note: Not to be used on legal documents)

This layer is maintained by the City of Bainbridge, for questions or comments reach out to:

Steve O'Neil Community & Economic Development Director
 O: 229-400-9303 C: 229-220-9975
 101 S Broad St/P O Box 158 Bainbridge, GA 39818 www.bainbridgecity.com

Date created: 4/24/2023
 Last Data Uploaded: 4/21/2023 7:09:24 PM

RENOVATION & MODIFICATION TO WATER STREET HISTORIC BUILDING

214 EAST WATER STREET
BAINBRIDGE, GEORGIA 31768

STRUCTURAL NOTES

GENERAL NOTES

- The governing Code for this Project is the 2018 International Building Code with Georgia 2022 Amendments. This Code prescribes which edition of each referenced standard applies to this Project.
- To the best of our knowledge, the Structural Drawings and Specifications comply with the applicable requirements of the governing Building Code.
- Construction is to comply with the requirements of the governing Building Code and all other applicable Federal, State, and Local Codes, Standards, Regulations and Laws.
- The Structural Documents are to be used in conjunction with the Architectural Documents. Use these Notes in conjunction with the Project Specifications. If a conflict exists, the more stringent governs.
- See Project Specifications for testing.
- Details labeled "typical" apply to all situations that are the same or similar to those specifically referenced, whether or not they are keyed in at each location. Questions regarding the applicability of typical details shall be resolved by the Architect.
- Openings shown on Structural Drawings are only pictorial. See the Architectural and M.E.P. drawings for the size and location of openings in the structure.
- Contractors who discover discrepancies, omissions or variations in the Contract Documents during bidding shall immediately notify the Architect. The Architect will resolve the condition and issue a written clarification.
- The General Contractor shall coordinate all Contract Documents with field conditions and dimensions and Project Shop Drawings prior to construction. Do not scale drawings; use only printed dimensions. Report any discrepancies in writing to the Architect prior to proceeding with work. Do not change size or location of structural members without written instructions from the Structural Engineer of Record.
- The Contractor shall protect adjacent property, his own work and the public from harm. The Contractor is solely responsible for construction means and methods, and jobsite safety including all OSHA requirements.
- The Structure is designed to be structurally sound when completed. Prior to completion, the Contractor is responsible for stability and temporary bracing, including, but not limited to, masonry walls. Wherever the Contractor is unsure of these requirements, the Contractor shall retain a Georgia Licensed Engineer to design and inspect the temporary bracing and stability of the structure.

13. Design Wind Loads

Governing Code	2018 International Building Code / ASCE 7-16
Basic Wind Speed	$V_{ult} = 115$ mph $V_{std} = 90$ mph
Building Risk Category	II
Wind Exposure	B
Internal Pressure Coefficient	GCp1 = +/- 0.18
Design Wind Pressure for Components & Cladding	See Drawing S0.3
Directionality Factor	$K_d = 0.85$
Mean Roof Height	26'-0"
Wall Wind Pressure	-31.9 / 25.8 psf

14. Design Seismic Loads

Governing Code	2018 International Building Code / ASCE 7-16
Risk Category	III
Seismic Importance Factor	$I_e = 1.25$
Site Class	D
Mapped Spectral Accelerations:	$S_S = 0.079$ g $S_1 = 0.054$ g
Design Spectral Response Acceleration:	$S_{DS} = 0.084$ g $S_{D1} = 0.086$ g
Seismic Design Category	A
Basic Seismic Force - Resisting System	Masonry walls with Wood Trusses
Seismic Design Coefficient	$C_s = 0.0131$
Response Modification Factor	R = 8
Analysis Procedure	Equivalent Lateral Force Procedure

SHOP DRAWINGS AND OTHER SUBMITTALS

- Refer to Division 1 of the Specifications for submittal procedures and requirements. Refer to the applicable Specification Sections for technical content requirements. Incomplete submittals will be returned without review.
- Submit specific components, such as columns, footings, etc., in a single package. Submit similar floors together.
- On first submittal, clearly flag and cloud all differences from the Contract Documents. On resubmittals, flag and cloud all changes and additions to previous submittal; only clouded items will be reviewed.
- Submittals for special structural, load-carrying items that are required by Codes or Standards to resist forces must be prepared by, or under the direct supervision of, a Delegated Engineer. Examples include Prefabricated Wood Components such as Wood Trusses and Structural Insulated Panel and Exterior Enclosure Systems.
- A Delegated Engineer is defined as a Georgia Licensed Engineer who specializes in and undertakes the design of Structural Components or Structural Systems included in a specific submittal prepared for this Project and is an employee or officer of, or consultant to, the Contractor or Fabricator responsible for the submittal. The Delegated Engineer shall sign, seal and date the submittal, including calculations and drawings. See Specifications for more specific criteria.

- The Trade Contractor is responsible for confirming and correlating dimensions at the job sites, for tolerances, clearances, quantities, fabrication processes and techniques of construction, coordination of the work with other trades and full compliance with the Contract Documents.
- The General Contractor/Construction Manager shall review and approve submittals and shall sign and date each drawing prior to submitting to the Architect. This approval is to confirm that the Submittal is complete, complies with the Submittal Requirements and is coordinated with field dimensions, other trades, erection sequencing and constructability.
- The Structural Engineer reviews submittals to confirm that the submittal is in general conformance with the design concept presented in the Contract Documents. Quantities and dimensions are not checked. Notations on submittals do not authorize changes to the contract sum. Checking of the submittal by the Structural Engineer shall not relieve the Contractor of responsibility for deviations from the Contract Documents and from errors or omissions in the submittal.
- In addition to the above, the Structural Engineer's review of Delegated Engineer submittals is limited to verifying that the specified structural submittal has been furnished, signed and sealed by the Delegated Engineer and that the Delegated Engineer has understood the design intent and used the specified Structural Criteria. No detailed check of calculations will be made. The Delegated Engineer is solely responsible for his/her design, including but not limited to the accuracy of his/her calculations and compliance with the applicable codes and standards.

SHALLOW FOUNDATIONS

- Footings sizes and reinforcing are based on an assumed allowable soil bearing capacity of 2000 psf. All footings shall bear on compacted fill prepared per the Geotechnical Report.
- Subgrade preparation shall be field controlled and tested by a Licensed Soils Engineer in accordance with the Geotechnical Report. At completion, that Engineer shall prepare and submit to the Owner, Architect, Contractor and Structural Engineer a signed and sealed letter indicating that the recommendations of the Geotechnical Report have been followed.
- Center all footings under their respective columns or walls, u.o.n.
- Top of all footings is 2'-0" below the ground floor level, u.o.n.

EXCAVATION, BACKFILL AND DEWATERING

- The Contractor is solely responsible for all excavation procedures including lagging, shoring, and protection of adjacent property, structures, streets and utilities in accordance with the requirements of the local building department and OSHA regulations. Do not excavate within one foot of the angle of repose of any soil bearing foundation unless the foundation is properly protected against settlement.
- Do not backfill against walls until 7 days after the walls are braced by the structure or are temporarily braced. Do not backfill cantilevered retaining walls until concrete is 28 days old. Do not backfill until after completion and inspection of any waterproofing.
- The Contractor is responsible for the disposal of all accumulated water in a manner that does not inconvenience or damage the work.

REINFORCED CONCRETE

- Comply with ACI 301 and 318.
- Provide structural concrete with a minimum ultimate compressive design strength in 28 days as follows:

Element	Strength
Thicken Slabs / Slabs on Grade	4,000 psi
Foundations	4,000 psi

- Contractor shall provide one set of concrete test cylinders for each placement of concrete to verify the concrete strength. The four (4) test cylinders should be provided and tested as follows:
 - 1 Test Cylinder break at 7 days
 - 2 Test Cylinders break at 28 days
 - 1 Test Cylinder break at 54 days or hold
- Use normal weight concrete for all structural members. u.o.n.

- Provide ASTM A-615 Grade 60 reinforcing steel. Reinforcing shall be accurately placed, rigidly supported and firmly tied in place, with appropriate bar supports and spacers. Lap continuous reinforcing 48 bar dia. Lap bottom steel over supports and top steel at midspan (u.o.n.). Hook discontinuous ends of all top bars and all bars in walls, u.o.n. provide cover over reinforcing as follows:

Element	Bottom	Top	Sides
Foundations	3"	2"	3"
Thicken Slabs / Slabs on Grade	2"	1"	2"

- Where specified, provide plain, cold-drawn electrically-welded wire reinforcement conforming to ASTM A-185. Supply in flat sheets only. Lap splice one cross wire spacing plus two inches.
- Utilities shall not penetrate beams or columns but may pass through slabs and walls individually, uon. For openings 24" long or less, cut reinforcing and replace alongside opening with splice bars of equivalent area with 48 bar dia. lap. Prepare and submit shop drawings for openings longer than 24". For rectangular openings 12" long or longer, add 1#5 x 6' mid depth diagonal at all 4 corners.
- Where reinforcing steel congestion permits, conduit and pipes up to 1" diameter may be embedded in concrete per ACI 318, Section 6.3. Space at 3 diameters o.c. Place between outer layers of reinforcing if conduits are significantly congested, additional reinforcing perpendicular to piping may be required. Requests to embed larger pipes should be accompanied by a detailed description and be submitted to the architect for evaluation.
- Provide construction joints in accordance with ACI 318, Section 6.4. Provide keyways and adequate dowels. Submit drawings showing location of construction joints and direction of pour for review.
- Provide 3/4" chamfer for all exposed corners.
- Provide reinforcing steel placer with a set of Structural Drawings for field reference. Inspect reinforcing steel placing from structural drawings

CONCRETE MASONRY

- Construct masonry in accordance with ACI 530/ASCE 5, "Building Code Requirements for Concrete Masonry Structures"; and ACI 530.1/ASCE 6, "Specifications for the Design and Construction of Load-Bearing Concrete Masonry".
- The structure is supported by bearing walls, u.o.n. Erect masonry prior to casting concrete columns within bearing walls or casting beams and slabs supported by bearing walls.
- Use 50% solid, nominal 8x8x16 and 4x4x16, concrete masonry units conforming to ASTM C90. Block net area compressive strength shall be 3750 psi. Lay up units in running bond. Sawcut units which are not in multiples of 8". Units shall be at least 8" long. Bond corners by lapping ends 8" in successive vertical courses. Design of walls is based on a fm of 2500 psi.
- Use Type S mortar in accordance with ASTM C270 except use Type M mortar below grade. Head and bed joints shall be 3/8" for the thickness of the face shell. Webs are to be fully mortared in all courses of piers, columns and pilasters; in the starting course; and where an adjacent cell is to be grouted. Remove mortar protrusions extending 1/2" or more into cells to be grouted.
- Use standard (9 gauge) horizontal joint reinforcing in every other course. Joint reinforcing and anchors in exterior walls shall conform to ASTM A 153 Class B2, with a coating thickness of 1.50 oz/sf; conform to ASTM A 641 in interior walls. Overlap discontinuous ends 6". Use prefabricated corners and tees. Use truss type, except use ladder type in walls with vertical reinforcing.
- Use fine grout conforming to ASTM C-476, with a minimum compressive strength of 2500 psi in 28 days. Aggregate to conform to ASTM C404 for fine grout, with slump of 8" to 10". Grout all masonry containing reinforcing, all cells of 4 hour rated walls, and where indicated on the drawings. Allow mortar to cure 24 hours prior to grouting. Provide cleanout openings at the base of cells containing reinforcing steel to clean the cell and to tie the vertical bar to the dowel. In high-lift grouting, use 5'-0" (max.) lifts, with 1/2 hour to 1 hour between lifts. Vibrate each lift and reconsolidate the previous lift.
- Use ASTM A-615 Grade 60 reinforcing steel. Reinforce walls where indicated on the drawings and at all intersections, each side of openings and at the ends of walls. Use bar spacers at 10 ft. o.c. where grout pour height exceeds 10 ft.
- At bond beam corners and intersections, place 1 #5 x 2'-6" T & B corner bar, with 30" legs each way, at the exterior face.
- Reinforced masonry wall construction shall be inspected by an Engineer or Architect in accordance with ACI 530.1/ASCE 6.
- Where anchor bolts, wedge anchors or anchors set in epoxy are set in a masonry wall, fill cells with grout for bolted course, one course above and two courses below.
- Provide lintels or headers with min. 8" bearing over all masonry openings.
- Use pressure-treated wood for wood in contact with masonry.

EXPANSION ANCHORS

- Use wedge-type expansion anchors such as the Hilti Kwik Bolt II, ITW Ramset Red Head Trubolt Wedge, Powers Rawl Power-Stud, Simpson Strong-Tie Wedge-All or accepted equivalent. Follow manufacturer's specifications for use and installation.
- Confirm the absence of reinforcing steel by drilling a 1/4" diameter pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Provide anchor embedment, spacing and edge distance as shown on the Drawings.

CHEMICAL ADHESIVE FOR ANCHORING REINFORCING BARS, THREADED BARS AND ANCHOR BOLTS

- Use an epoxy, acrylic or polyester resin adhesive system such as the Hilti Hilti HY150, ITW Ramset/Red Head Epoxon A7 or C6 Injection System, Powers Rawl Power-Fast System, Simpson Strong-Tie AT or ET Allied Fastener Allied Gold A-1000, or accepted equivalent. Follow Manufacturer's Specifications for use and installation.
- Confirm the absence of reinforcing steel by drilling a 1/4" diameter pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Refer to manufacturer's installation instructions for appropriate drill size. Thoroughly clean hole including removal of dust prior to filling with epoxy.
- Provide anchor embedment, spacing and edge distance as shown on the Drawings.
- Threaded rods are A-36 galvanized steel, u.o.n.

POWDER ACTUATED FASTENERS

- Use powder actuated fastening systems such as those manufactured by Hilti, ITW Ramset/Red Head, Rawl, or an accepted alternate having ICBO, SBCCI, or Miami-Dade County Product Control Approval. Install in accordance with Manufacturer's Specifications. Provide a minimum of two fasteners per connection.
- Provide a minimum penetration in accordance with manufacturer's specifications but not less than 1-1/8" in concrete, u.o.n.
- Provide a minimum anchor spacing and edge distance of 3" in concrete and a minimum anchor spacing of 1" and edge distance of 1/2" in steel.

SHEET NUMBERING SYSTEM

S0.1 Series:	Notes
S1.0 Series:	Plans
S2.0 Series:	Sections & Elevations
S3.0 Series:	Masonry Details



1382 Timberlane Road, Suite B
Tallahassee, Florida 32308
850.404.9001
SEG PROJECT #23-008
To the best of my knowledge, the Plans & Specifications comply with applicable minimum Building Codes.
This Document has been electronically Signed & Sealed by Carson D. Hicks using a Digital Signature. Printed Copies of this Document are not Considered Signed & Sealed and the Signatures must be verified on any electronic copies.

ARCWORKS, LLC
architecture / interiors / planning

205 N Broad Street,
Bainbridge, GA 39817
850.559.1953
229.495.3002
design@arcworksgroup.com

COPYRIGHT © 2022
ARCWORKS, LLC
ALL RIGHTS RESERVED.
NO PART OF THESE
DRAWINGS MAY BE
REPRODUCED IN PRINT
DESIGN OR ANY MANNER
WITHOUT PERMISSION IN
WRITING FROM
ARCWORKS, LLC.

Carson D. Hicks, P.E.
GA P.E. No. 44558

Renovation & Modification to:
WATER STREET
HISTORIC BUILDING

214 E. WATER STREET
BAINBRIDGE, GEORGIA 31768

SUBMITTAL			
PHASE	DATE	DRAWN	CHECK

REVISIONS	
#	REMARKS

PROJECT NUMBER
AW22010

PHASE

SHEET TITLE
STRUCTURAL
NOTES

SHEET NUMBER

S0.1

**Renovation & Modification to:
WATER STREET
HISTORIC BUILDING**

214 E. WATER STREET
BAINBRIDGE, GEORGIA 31768

SUBMITTAL			
PHASE	DATE	DRAWN	CHECK

REVISIONS	
#	REMARKS

PROJECT NUMBER
AW22010

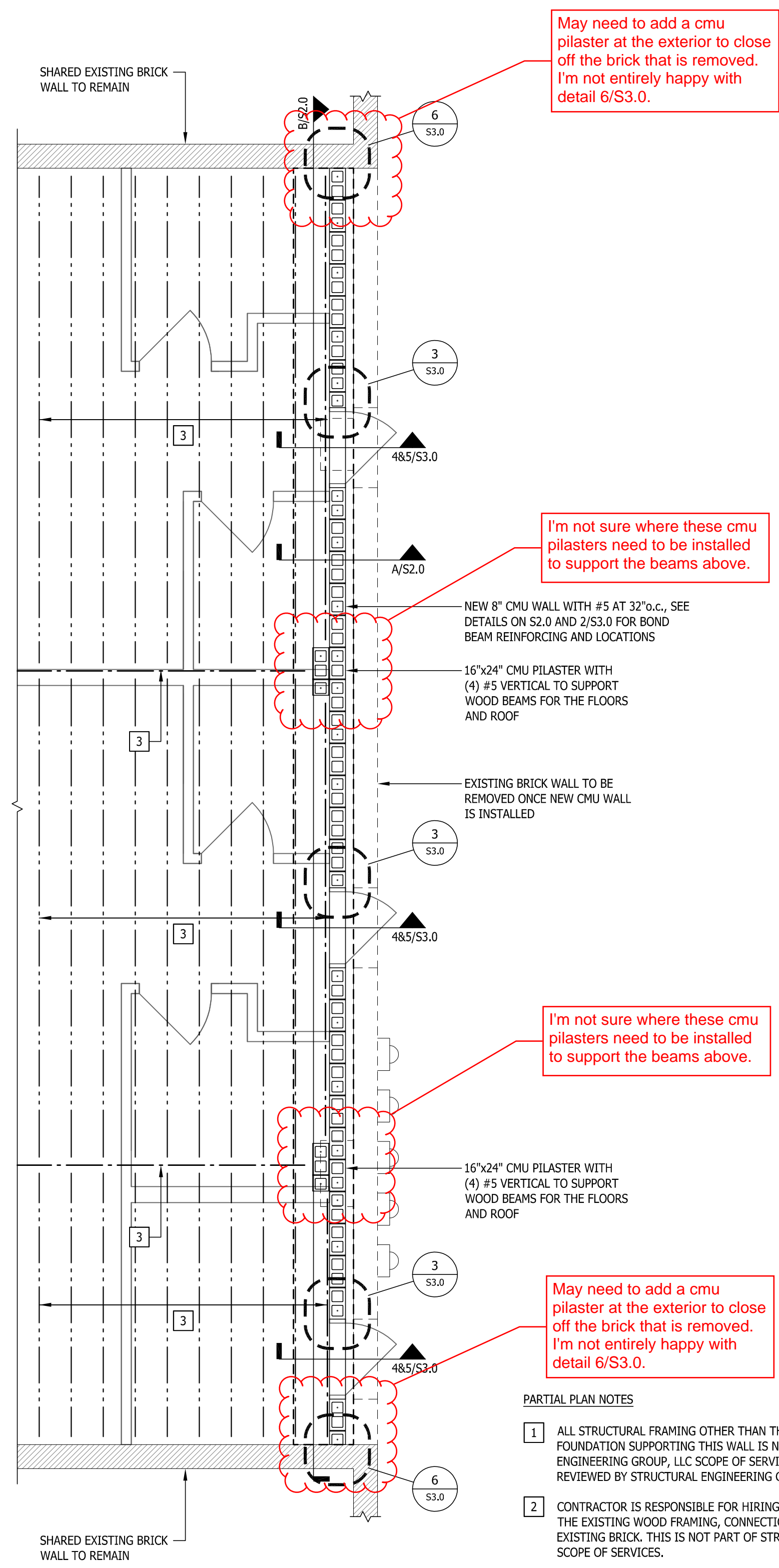
PHASE

SHEET TITLE

FIRST & SECOND FLOOR PLANS

SHEET NUMBER

S1.0



May need to add a cmu pilaster at the exterior to close off the brick that is removed. I'm not entirely happy with detail 6/S3.0.

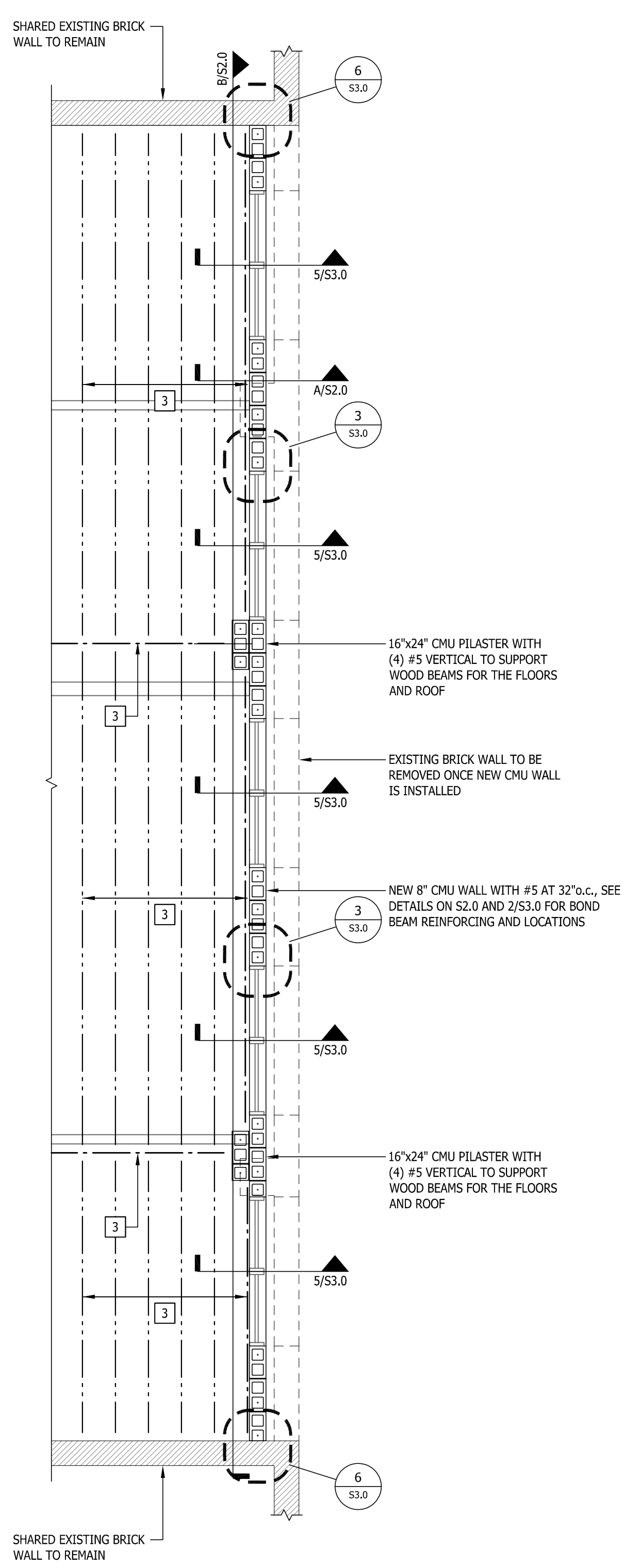
I'm not sure where these cmu pilasters need to be installed to support the beams above.

I'm not sure where these cmu pilasters need to be installed to support the beams above.

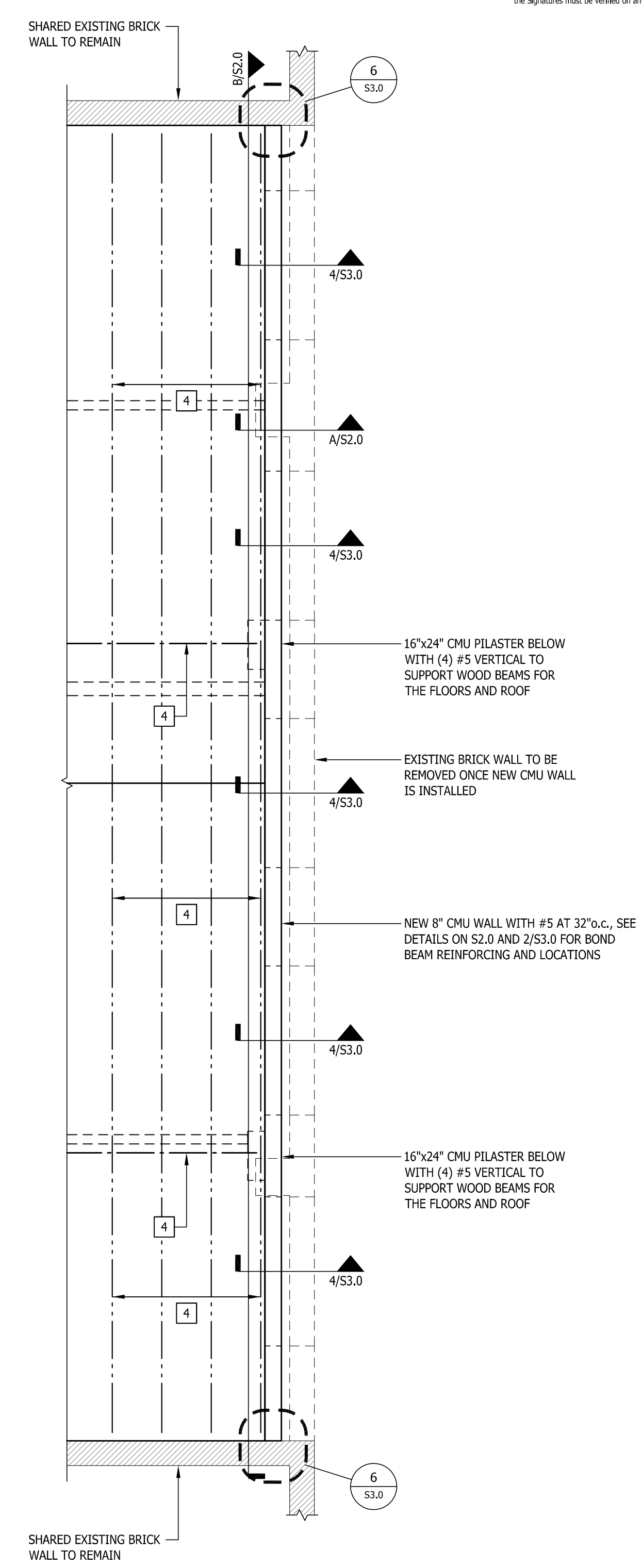
May need to add a cmu pilaster at the exterior to close off the brick that is removed. I'm not entirely happy with detail 6/S3.0.

- PARTIAL PLAN NOTES**
- ALL STRUCTURAL FRAMING OTHER THAN THE NEW 8" CMU WALL AND THE FOUNDATION SUPPORTING THIS WALL IS NOT INCLUDED IN STRUCTURAL ENGINEERING GROUP, LLC SCOPE OF SERVICES AND HAVE NOT BEEN DESIGNED OR REVIEWED BY STRUCTURAL ENGINEERING GROUP, LLC PERSONNEL.
 - CONTRACTOR IS RESPONSIBLE FOR HIRING A STRUCTURAL ENGINEER TO REVIEW THE EXISTING WOOD FRAMING, CONNECTIONS, ROOF TRUSSES, WOOD BEAMS OR EXISTING BRICK. THIS IS NOT PART OF STRUCTURAL ENGINEERING GROUP, LLC SCOPE OF SERVICES.
 - WOOD FLOOR JOIST, WOOD BEAM AND PLYWOOD FLOOR DECKING BY OTHERS.
 - WOOD TRUSSES, WOOD BEAM AND PLYWOOD ROOF DECKING BY OTHERS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE DESIGN AND INSTALLATION OF TEMPORARY SHORING THE EXISTING STRUCTURE DURING CONSTRUCTION.

A FIRST FLOOR PARTIAL PLAN



B SECOND FLOOR PARTIAL PLAN



C ROOF PARTIAL PLAN

SUBMITTAL			
PHASE	DATE	DRAWN	CHECK

REVISIONS	
#	REMARKS

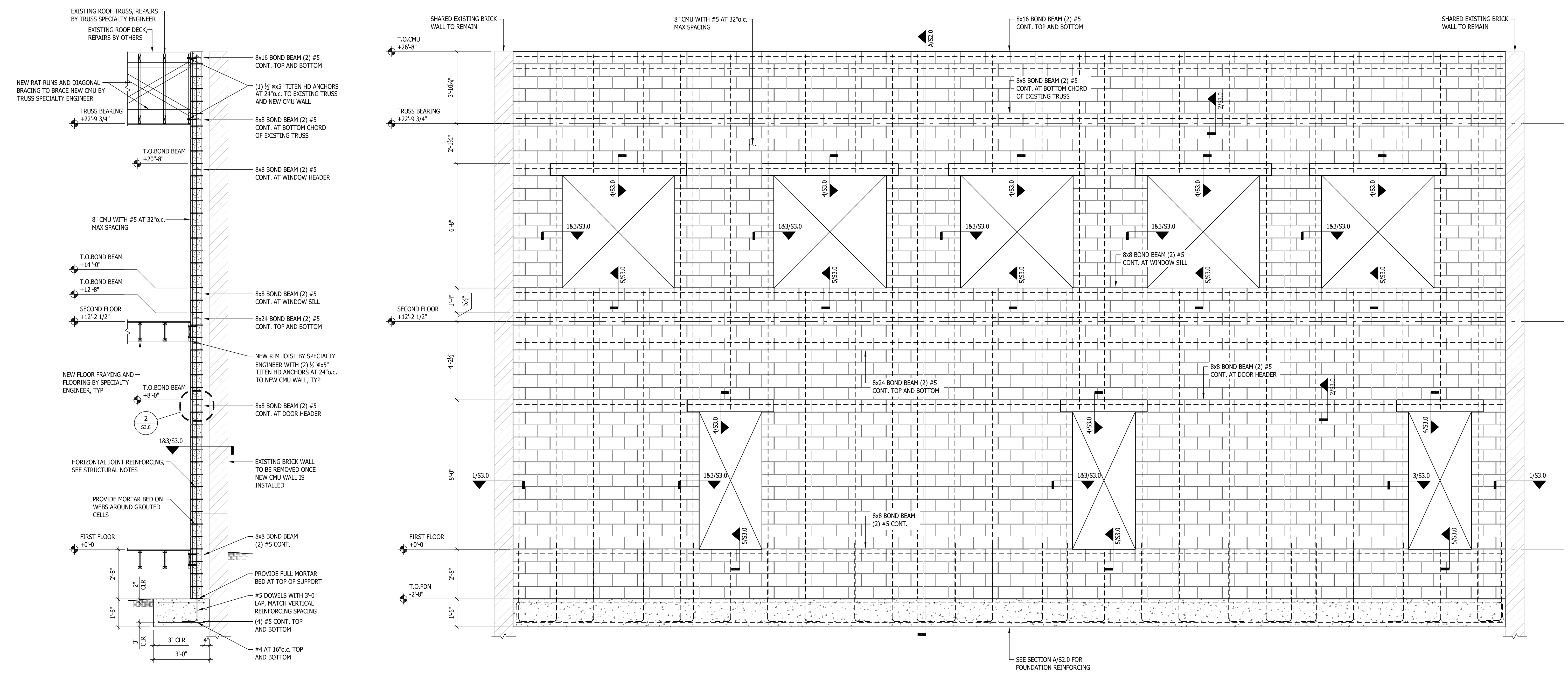
PROJECT NUMBER
AW22010

PHASE

SHEET TITLE
SECTION & ELEVATION
FOR NEW CMU

SHEET NUMBER

S2.0



A SECTION AT NEW CMU WALL

B NEW CMU WALL ELEVATION



1
EXISTING FRONT ELEVATION
 A1.2 1/4" = 1'-0"

ARCWORKS, LLC
 architecture / interiors / planning
 100 Madison Street,
 Thomasville, GA 31792
 1.229.403.7425
 205 N Broad Street
 Bainbridge, GA 31817
 troy@arcworksgroup.com



TROY ANTHONY STENCEL, ARCHITECT
 GEORGIA ARCHITECT #RA134398

Renovation & Modification to:
WATER STREET
HISTORIC BUILDING
 214 E. WATER STREET
 BAINBRIDGE, GEORGIA 31768

SUBMITTAL

PHASE	DATE	DRAWN	CHECK

REVISIONS

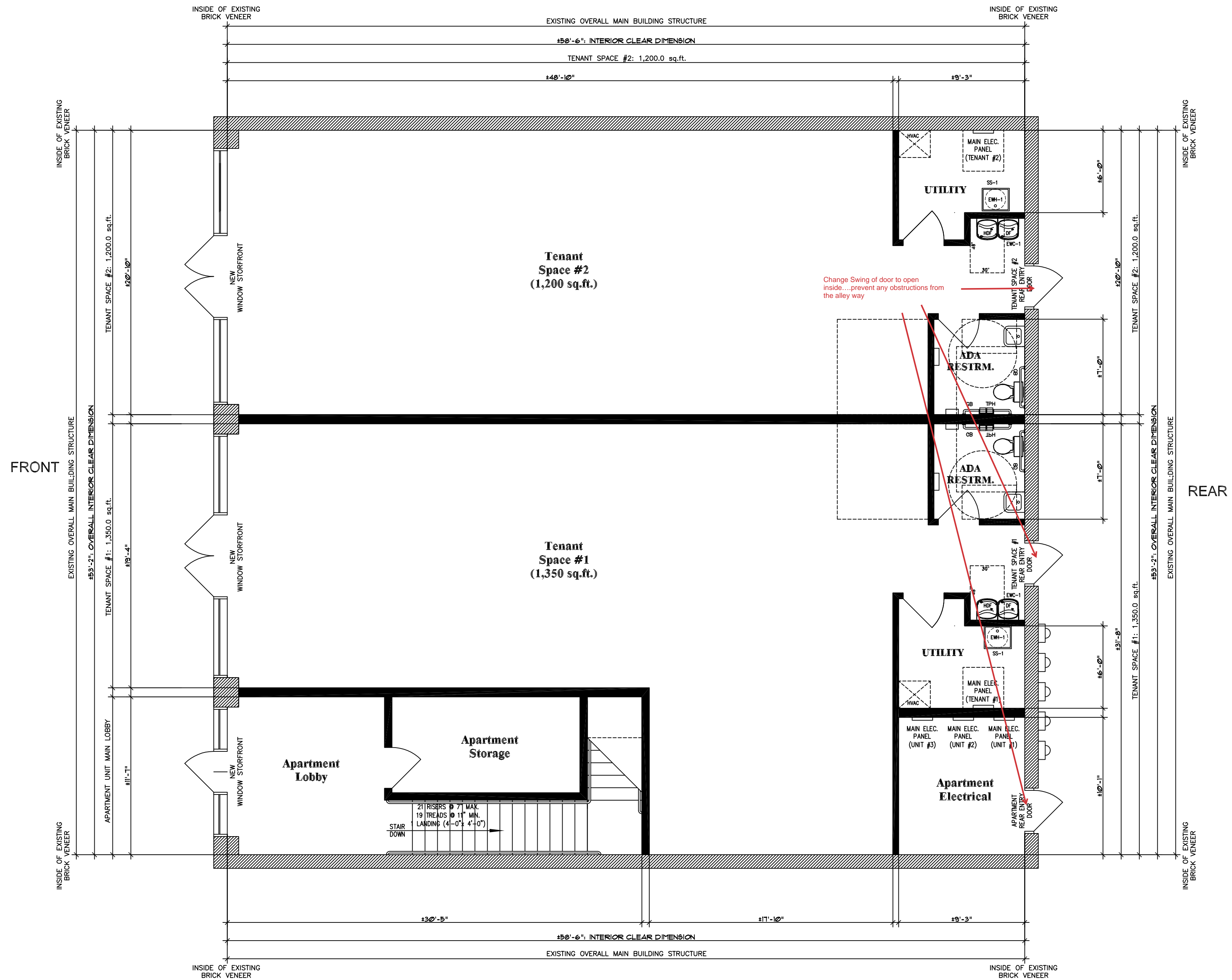
#	DATE	REMARKS

PROJECT NUMBER
 AW22010

PHASE
 RELEASE FOR REVIEW

SHEET TITLE
 EXISTING
 WATER STREET
 ELEVATION

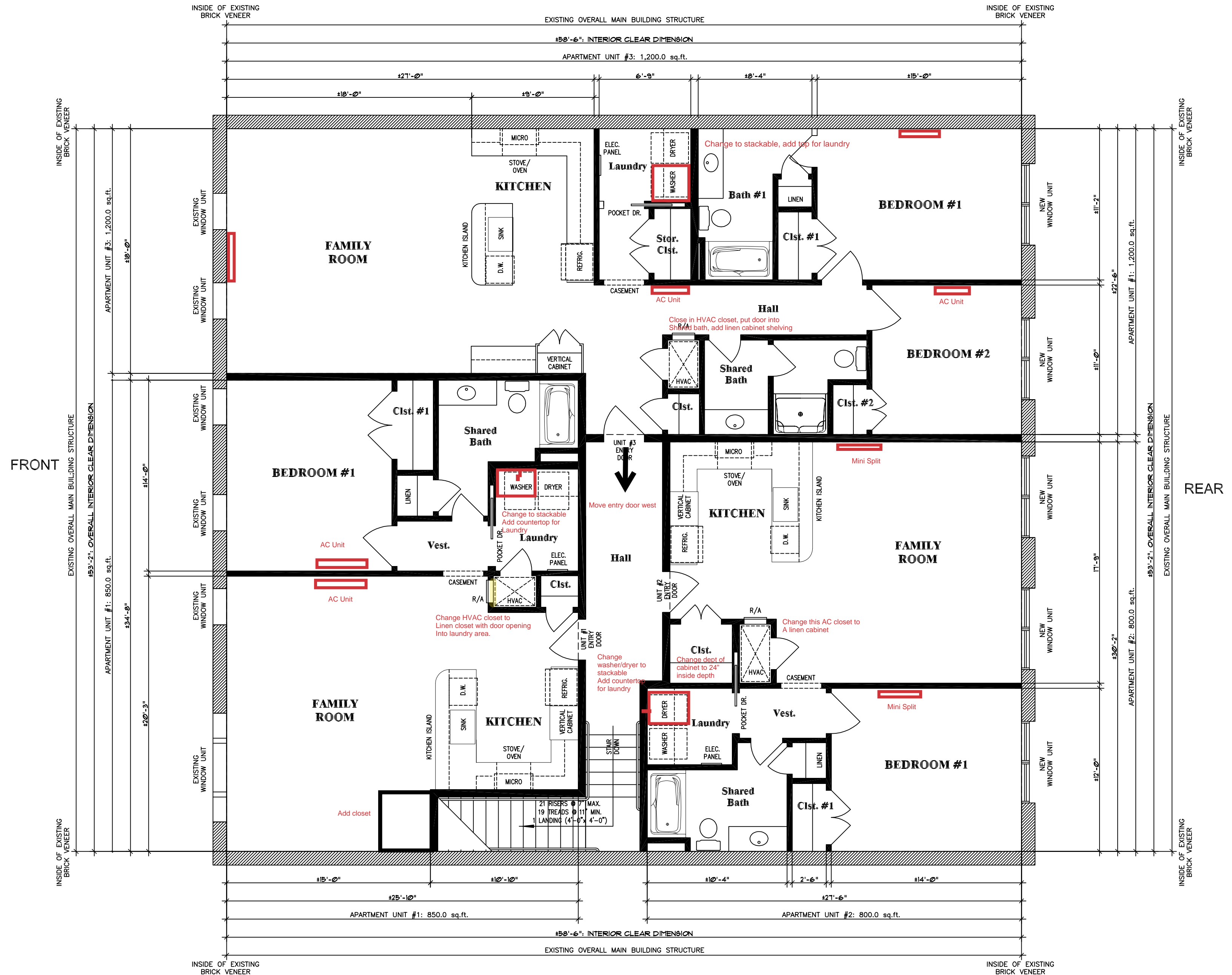
SHEET NUMBER
A1.2



**New Tenant Space Layouts
First Floor Level**

**214 E. Water Street
BAINBRIDGE, GEORGIA**

SCALE: 3/16"=1'-0"



**New Apartment Unit Layouts
Second Floor Level**

**214 E. Water Street
BAINBRIDGE, GEORGIA**

SCALE: 3/16" = 1'-0"



Staff Recommendation

CITY OF BAINBRIDGE HISTORIC PRESERVATION COMMISSION
REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Address: 214 E. Water St
Petitioner: Chip Hall
File #: COA-2023-015
Date: May 19th 2023

Historic District Map Classification: Historic

Nature of Request: COA-2023-015- 214 E. Water Street: Chip Hall requests to make changes to windows in the facade.

APPLICABLE GUIDELINES & STAFF COMMENTS:

Section 4.1 Storefronts

- 4.1.1 Preserve (retain, restore and maintain) first any original storefront, and second those changes that have gained historic significance over time.
- 4.1.2 Retain (and repair) rather than replace deteriorated original features.
- 4.2.1 Preserve (retain, restore and maintain) original upper-story windows.

Staff Comments: The applicant has removed the existing upper floor windows and plans to replace them with modern 1 over 1 windows. The storefront windows and frames have been removed and he plans to replace with modern windows that match the styling of the original but trimmed out with aluminum.

***FIRST STEP, a commission member should make a "finding of fact" and express it in the form of a motion:

"I move that the City of Bainbridge Preservation Commission find as a fact that the proposed window changes at 214 E. Water St, if constructed according to plans submitted 4/26/2023 (**is incongruous or not in harmony/is not incongruous or in harmony**) with the character of the historic district for reasons that the proposed changes to the windows are generally in harmony with the character of the adjoining properties."

(Specify all the factors that make the changes compatible, like height, setback, placement, fenestration, materials, architectural detailing, roof, form proportions, appurtenant features, placement, etc...,

****SECOND STEP, after this motion has been seconded, discussed and adopted, another motion is made or called for concerning the actual application.

"I move that the City of Bainbridge Preservation Commission **(grant or deny)** a certificate of appropriateness to Chip Hall for the proposed project at 214 E. Water Street."