

Long-Range Facilities Plan (LRFP)
Final Report August 2024

Contents Outline

- 1 Team, Committee, & Process Timeline
- 2 Background Data: Aging Facilities, Educational Adequacy, Enrollment Projections, & Student Potential Analysis
- 3 Survey Results
- 4 Recommendations, Facility Actions, & Potential Timeline
- 5 Frequently Asked Questions



Project Process & Timeline

Project Visioning

October 2023

FMP Committee
composition &
engagement schedule

Data Collection

November 2023 to
February 2024

Demographics & Enrollment
Projections

Housing Study

Facility: Condition, Capacity,
& Educational Adequacy

Committee Meetings & Community Engagement

#1: January 31, 2024

#2: February 28, 2024

#3: March 27, 2024

#4: May 22, 2024

Community Meeting & Survey:
April 30 to May 7, 2024

Board & Council Meetings

January 2024
Process & Timeline
Introduction

March 2024
Facility Options Review

August 2024
Final Report Presentation

Background Data

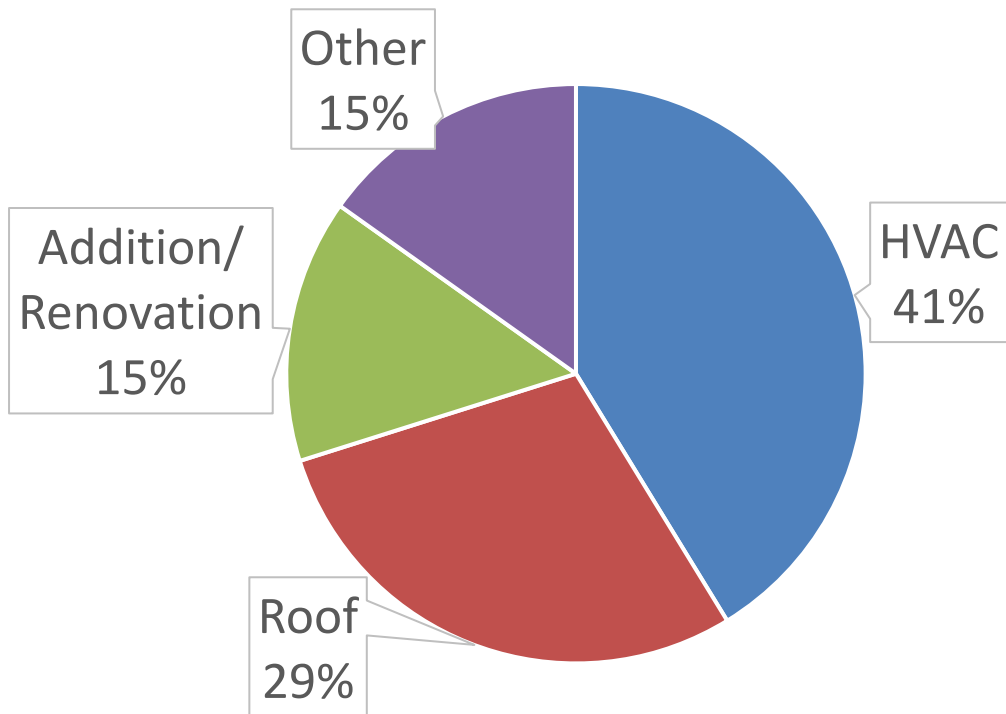
Greeneville City Schools Facilities' Year Built

Campus	Year Built
Greeneville High School	1950
Highland Elementary School	1953
EastView Elementary School	1956
Greeneville Middle School	1964
Tusculum View Elementary School	1966
Hal Henard Elementary School	1981

Greeneville High School is 74 years old.
Hal Henard Elementary School is 43 years old.
The average school age is 62 years old.

Building Condition

Using an industry standard model of budgeting 2% current replacement value for annual capital renewals, **GCS would need to budget \$4.6M per year** to maintain \$231M in facilities. If you include the Greene Tech Center the total increases to ~\$6M annually.



Location	Prioritized Need	% Total
All Locations - Replace HVAC and controls	\$ 15,700,000	34%
Greeneville HS	\$ 6,940,755	15%
Greene Tech Center	\$ 4,749,660	10%
Greeneville MS	\$ 4,374,000	10%
EastView ES	\$ 3,437,845	8%
Hal Henard ES	\$ 3,237,000	7%
Highland ES	\$ 2,927,500	6%
Tusculum View ES	\$ 2,276,685	5%
George Clem Operations Center	\$ 1,264,250	3%
Niswonger Performing Arts Center	\$ 700,000	2%
2023-24 Capital Project Priorities	\$ 45,607,695	



Educational Adequacy

Educational Adequacy



Support

Function

Flexible

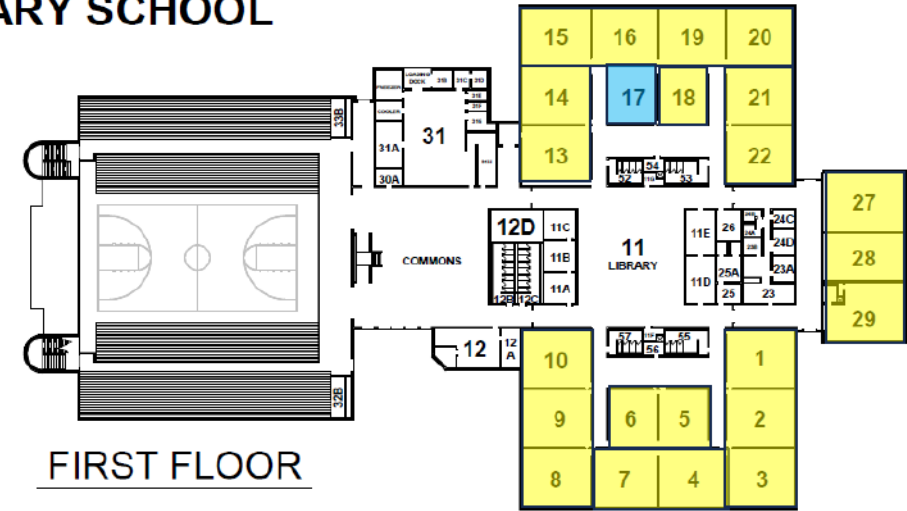
Accessible



Educational Adequacy

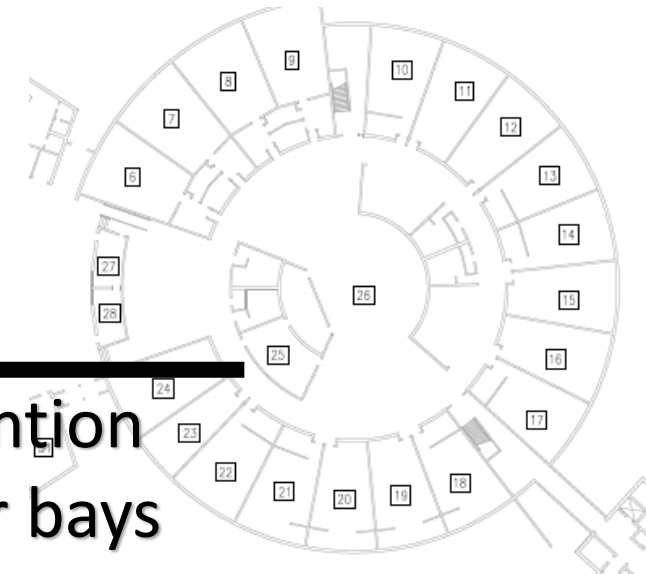
Hal Henard Elementary School, Tusculum View Elementary School & the Middle School were designed as “open-concept” schools without dedicated classrooms for most students throughout the day, creating ongoing logistical and acoustic challenges for students and teachers. **Student support & intervention spaces are mostly in makeshift spaces; closets, corners, & behind curtains.**

HAL HENARD ELEMENTARY SCHOOL



GCS MS

Intervention
in locker bays



Headcount Enrollment

Historical Headcount – Excluding TOPS

Historical Enrollment - District-wide

Grade	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22	2022-23	2023-24
PreK3	19	18	18	1	1	14	7	22	22	9
PreK4	96	91	98	101	104	102	106	92	92	115
K	177	187	174	191	212	211	199	220	228	215
1	206	189	183	175	188	218	202	195	226	225
2	202	208	193	187	169	204	211	202	197	211
3	215	220	207	185	197	180	199	207	207	191
4	234	223	214	214	194	206	177	194	223	215
5	197	241	217	217	217	205	201	173	199	209
6	194	210	247	235	230	235	190	201	182	209
7	209	199	217	249	233	234	233	199	195	183
8	217	215	195	230	255	237	221	238	195	190
9	222	229	231	211	237	261	237	239	244	222
10	242	231	235	227	214	234	260	232	233	253
11	225	241	216	234	219	202	218	248	229	237
12	183	203	232	190	235	211	200	200	253	226
K - 12 Total	2,723	2,796	2,761	2,745	2,800	2,838	2,748	2,748	2,811	2,786
Grand Total	2,838	2,905	2,877	2,847	2,905	2,954	2,861	2,862	2,925	2,910

Source: Greeneville City Schools

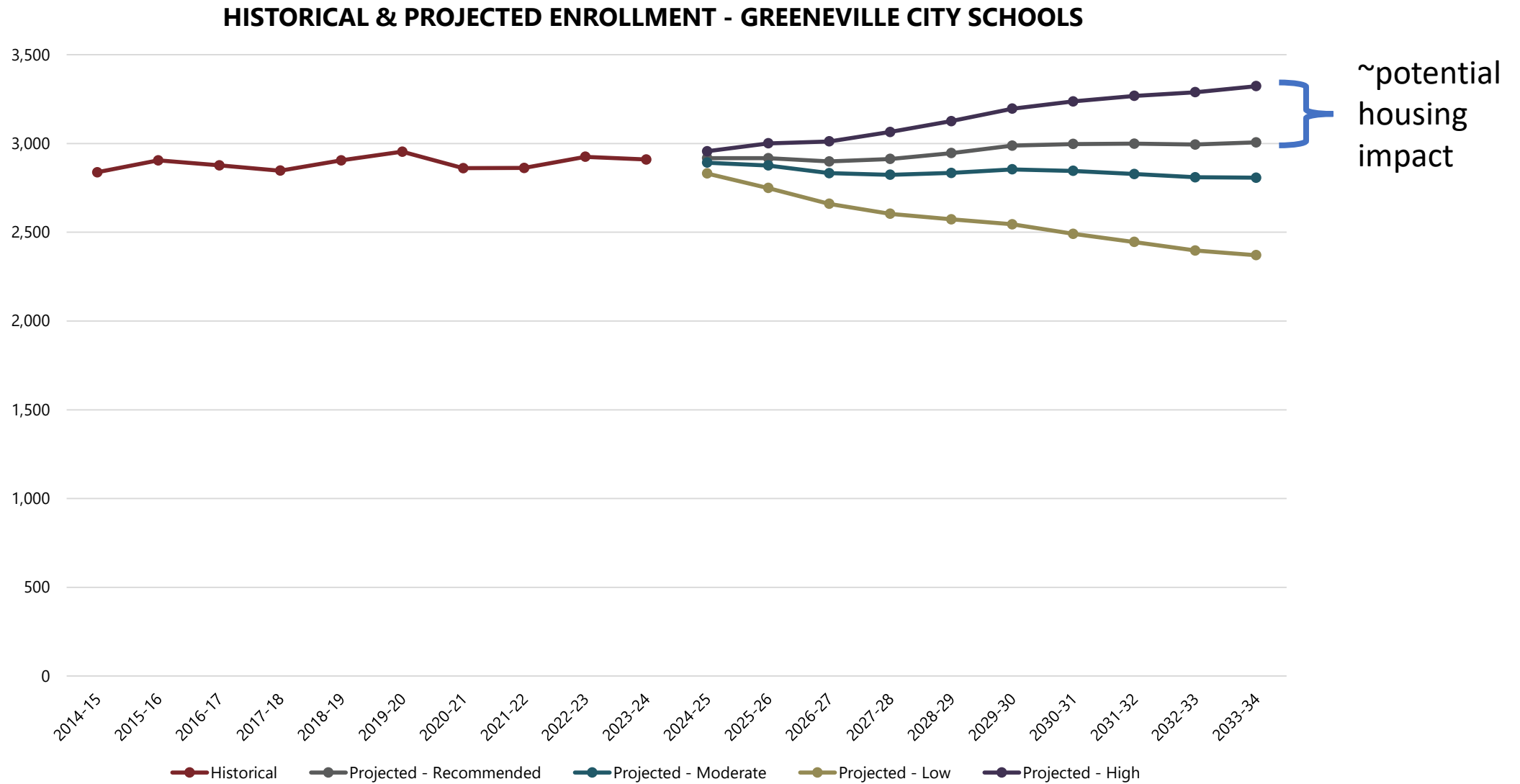
Historical Enrollment - District-wide

Grade	2014-15	2015-16	2016-17	2017-18	2018-19	2019-20	2020-21	2021-22	2022-23	2023-24
PreK	115	109	116	102	105	116	113	114	114	124
K - 5	1,231	1,268	1,188	1,169	1,177	1,224	1,189	1,191	1,280	1,266
6 - 8	620	624	659	714	718	706	644	638	572	582
9 - 12	872	904	914	862	905	908	915	919	959	938
K - 12 Total	2,723	2,796	2,761	2,745	2,800	2,838	2,748	2,748	2,811	2,786
Grand Total	2,838	2,905	2,877	2,847	2,905	2,954	2,861	2,862	2,925	2,910

Source: Greeneville City Schools



Projected Headcount – Excluding TOPS



Projected Headcount – Excluding TOPS

Projected Enrollment - Recommended - District-wide

Grade	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32	2032-33	2033-34
PreK3	9	9	9	9	9	9	9	9	9	9
PreK4	115	115	115	115	115	115	115	115	115	115
K	199	205	195	199	199	199	199	199	199	199
1	215	200	205	195	200	200	200	200	200	200
2	224	214	199	205	195	199	199	199	199	199
3	212	226	216	199	206	196	200	200	200	200
4	201	220	237	227	209	216	206	209	209	209
5	215	198	219	234	225	209	213	203	209	209
6	220	225	209	230	246	236	219	225	214	219
7	210	220	226	210	231	247	237	220	226	215
8	181	208	218	223	207	229	245	235	217	224
9	207	198	227	238	244	226	250	267	256	237
10	223	208	198	227	239	245	227	251	268	257
11	252	222	207	197	226	238	243	226	249	267
12	235	249	219	205	195	224	235	241	224	247
K - 12 Total	2,794	2,793	2,775	2,789	2,822	2,864	2,873	2,875	2,870	2,882
Grand Total	2,918	2,917	2,899	2,913	2,946	2,988	2,997	2,999	2,994	3,006

Source: Cooperative Strategies

Projected Enrollment - Recommended - District-wide

Grade	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32	2032-33	2033-34
PreK	124	124	124	124	124	124	124	124	124	124
K - 5	1,266	1,263	1,271	1,259	1,234	1,219	1,217	1,210	1,216	1,216
6 - 8	611	653	653	663	684	712	701	680	657	658
9 - 12	917	877	851	867	904	933	955	985	997	1,008
K - 12 Total	2,794	2,793	2,775	2,789	2,822	2,864	2,873	2,875	2,870	2,882
Grand Total	2,918	2,917	2,899	2,913	2,946	2,988	2,997	2,999	2,994	3,006

Source: Cooperative Strategies



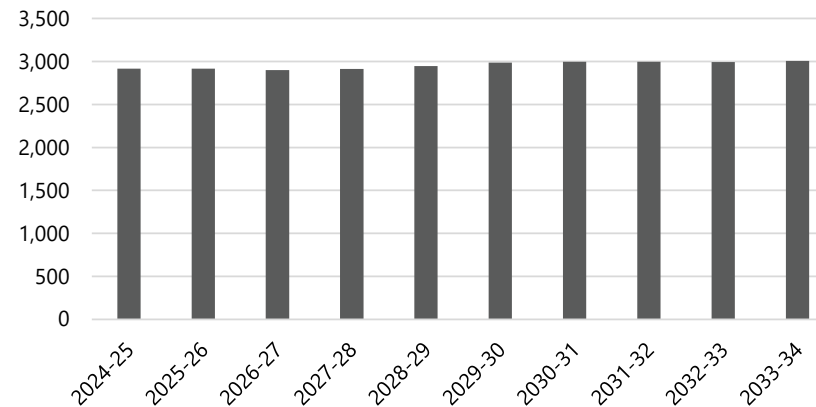
Projected Headcount – Excluding TOPS by School

Projected Enrollment - Recommended - by School

School	2024-25	2025-26	2026-27	2027-28	2028-29	2029-30	2030-31	2031-32	2032-33	2033-34	Trend
Eastview Elementary School	378	379	377	390	381	375	375	373	374	374	
Hal Henard Elementary School	445	442	450	441	432	428	428	426	428	428	
Highland Elementary School	151	149	151	137	138	137	136	135	136	136	
Tusculum View Elementary School	416	417	417	415	407	403	402	400	402	402	
Greeneville Middle School	611	653	653	663	684	712	701	680	657	658	
Greeneville High School	917	877	851	867	904	933	955	985	997	1,008	
Grand Total	2,918	2,917	2,899	2,913	2,946	2,988	2,997	2,999	2,994	3,006	

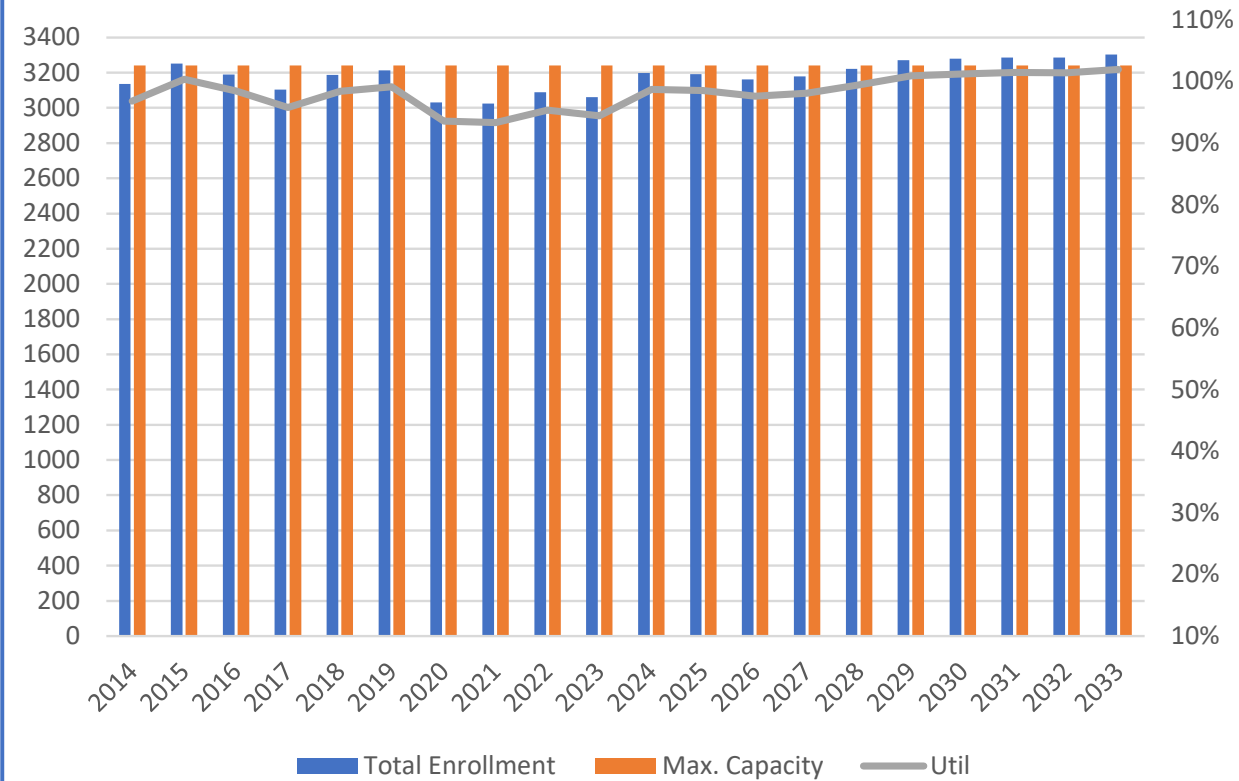
Source: Cooperative Strategies

PROJECTED ENROLLMENT - RECOMMENDED - DISTRICT-WIDE

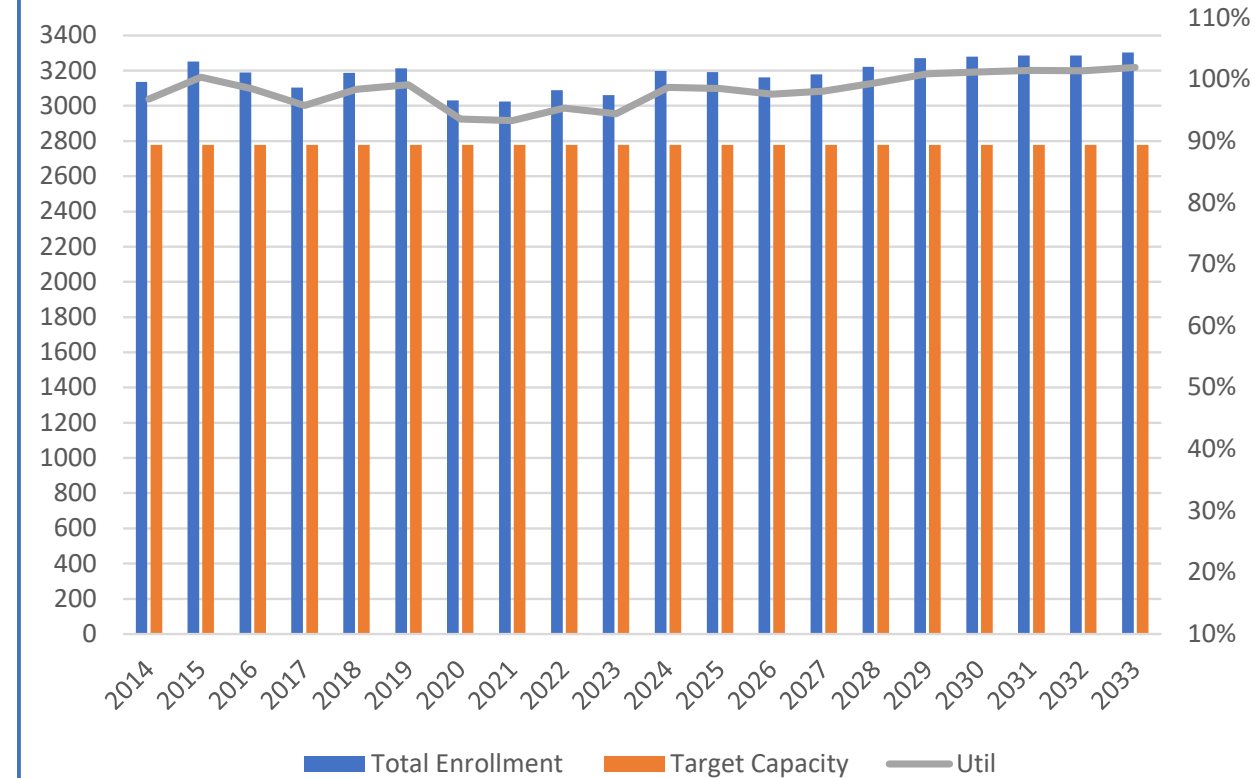


Utilization: Capacity vs. Enrollment

District Max. Capacity vs Enrollment



District Target Capacity vs Enrollment



Decision Process for Individual Facility and Considerations for Update to District Portfolio

► DECISION MATRIX

PHYSICAL CONDITION	POOR (\$\$\$)	Discontinue Use & Surplus Consolidate with Another School Replacement (Right Sized)	Major Renovation Replacement	Major Renovation Replacement (Right Sized) + Boundary Changes Permanent Addition Relief School
	FAIR (\$\$)	Renovation Life-Cycle Renewal	Renovation Life-Cycle Renewal	Renovation Life-Cycle Renewal + Boundary Changes Permanent Addition Relief School
	GOOD (\$)	General Maintenance + Boundary Changes Install Attractive Program Repurpose Facility for Non-Ed. Use	General Maintenance	General Maintenance + Boundary Changes Remove Attractive Program Permanent Addition Relief School
		LESS THAN 85%	85% - 105%	GREATER THAN 105%
UTILIZATION (ENROLLMENT VS. PERMANENT CAPACITY)				

Decision Process

- Update to five-year facilities master plan process affords GCS the ability to evaluate priorities and facilities' needs.
- Consider the benefits and challenges of various investment strategies for an individual campus given its condition and utilization.
- Do priorities need to be adjusted based on facilities' needs identified over the past several years?



Student Potential Analysis

Student Potential Analysis: Introduction

Measures the impact that housing has on student enrollment

- Different methodology from enrollment projections



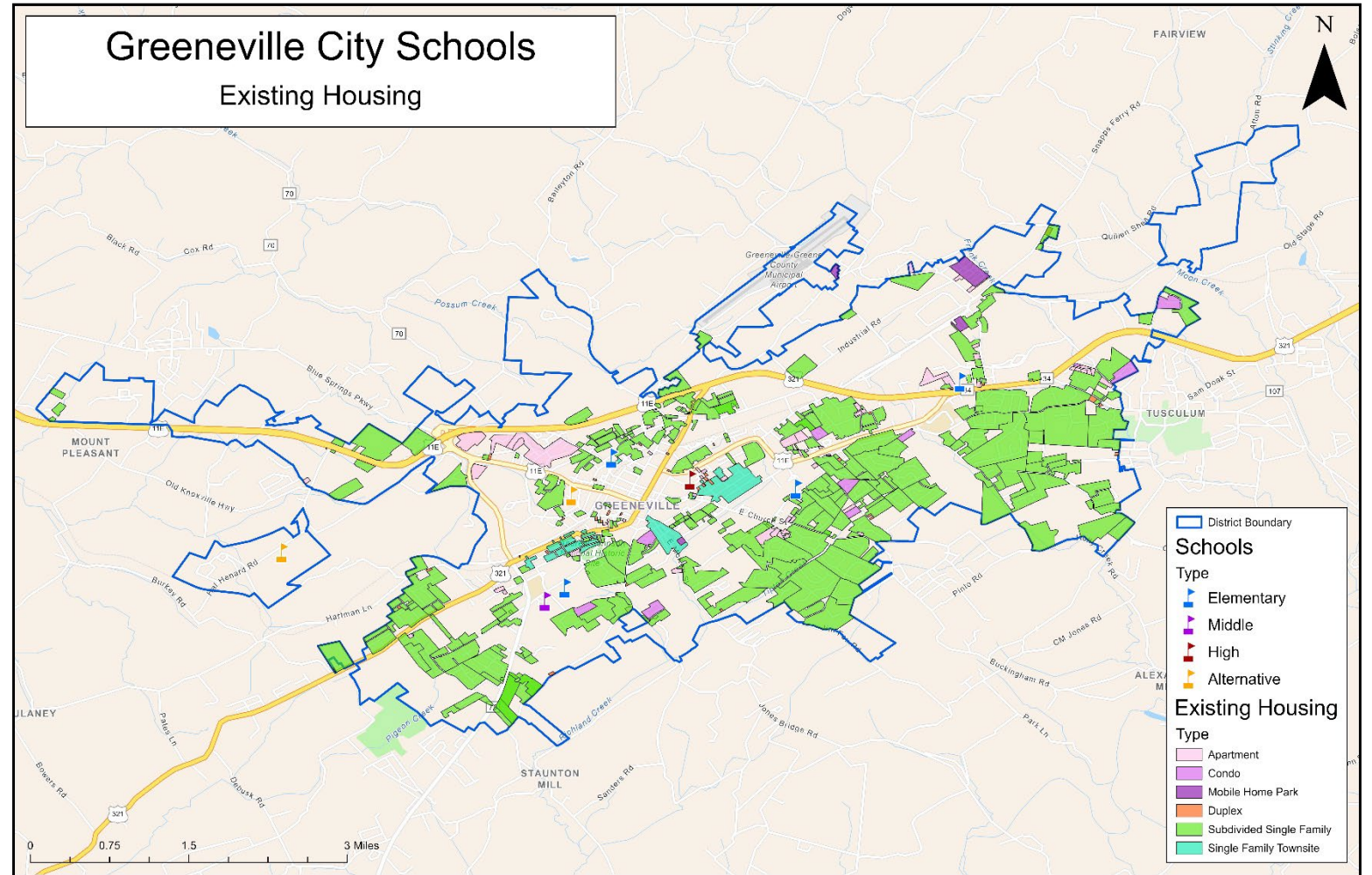
EXAMPLE STREET TO DEMONSTRATE METHODOLOGY

Study is based on student yields

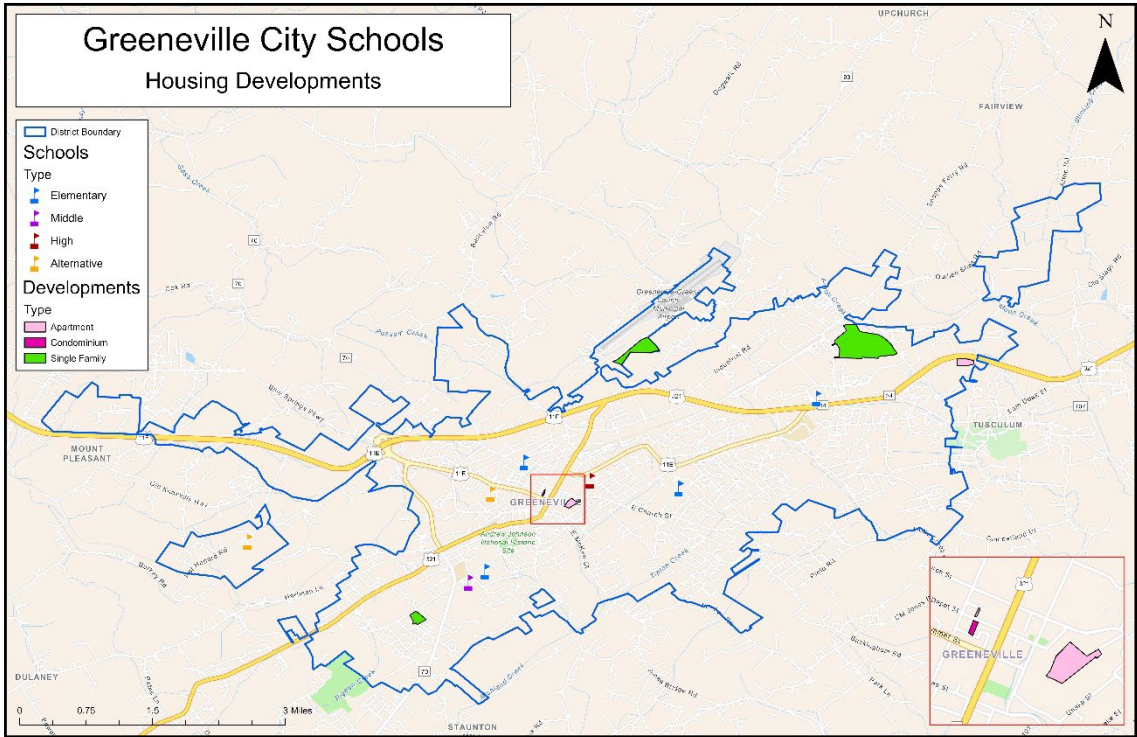
- Ratio of students divided by housing units
- 5 students / 10 homes = 0.5 students/unit

Student Potential Analysis: Housing

Housing Type	23-24 Units	23-24 Students	23-24 Yield
Apartment	1,167	171	0.15
Condominium	327	29	0.09
Duplex	78	9	0.12
Mobile Home Park	287	99	0.34
Subdivided Single-Family	4,604	1,316	0.29
Non-Subdivided Single-Family	1,319	431	0.33
SF Townsite	425	103	0.24
TOTAL	8,207	2,158	0.26



Student Potential Analysis: Development



Development Information					2023-24 Boundary	Units at Build Out	Potential K-12 Enrollment
Map ID	Name	Housing Type	Project Status	Timeline	Elementary		
335	Academy St.	Apartment	Approved	Estimated Completion: 2024	Hal Henard ES	10	2
336	Depot St.	Apartment	Approved	Estimated Completion: 2024	Highland ES	3	1
337	Harlan St	Apartment	Planned	Estimated Completion: 2024	Tusculum View ES	72	11
338	Depot St.	Condominium	Approved	Estimated Completion: 2024	Highland ES	9	1
339	Johnson Farms	Single-Family	Active	Estimated Completion: 2028	Tusculum View ES	384	110
340	Red Tail Landing	Single-Family	Active	Estimated Completion: 2025	Hal Henard ES	17	5
341	Whitehouse Rd.	Single-Family	Planned	Estimated Completion: 2030	Highland ES	218	63
Total:						713	193



Facilities' Summary

Facilities' Summary

Basic Building Information						Condition	Capacity	
Campus	Grade Level	Year Built	Years of Reno / Additions	Acres / School Usage Area	Current GSF	2024 Present Replacement Value	Max Capacity	Target Capacity
EastView ES	Pre-K to 5th Grade	1956	1977, 2000	6.5	45,451	\$15,226,085	390	348
Hal Henard ES	Pre-K to 5th Grade	1981	1981	4.1	78,672	\$26,355,120	390	348
Highland ES	Pre-K to 5th Grade	1953	1958, 1977	1.9	22,643	\$7,585,405	195	174
Tusculum View ES	Pre-K to 5th Grade	1966	2000	4	62,238	\$20,849,730	390	348
Greeneville MS	6th to 8th Grade	1964	2001	10.9	97,400	\$42,661,200	750	660
Greeneville HS*	9th to 12th Grade	1950	1974, 1990, 2003, and 2005	12.1	237,534	\$118,767,000	1125	900
Subtotal				39.5	543,938	\$231,444,540	3,240	2,778
Greene Tech Center		1973		9				
TOPS								
				48.5	543,938			

*includes the NPAC

Campus	Enrollment				Utilization	
	2023-2024 Enrollment	2033-34 Projected Enrollment	Growth / Decline	% Growth (decline)	2023 Utilization (Enroll/)	2033 Projected Utilization
EastView ES	367	374	7	1.9%	94%	96%
Hal Henard ES	448	428	-20	-4.5%	115%	110%
Highland ES	160	136	-24	-15.0%	82%	70%
Tusculum View ES	415	402	-13	-3.1%	106%	103%
Greeneville MS	582	658	76	13.1%	78%	88%
Greeneville HS*	938	1008	70	7.5%	83%	90%
Subtotal	2,910	3,006	96	3.3%	90%	93%



Facilities Challenges



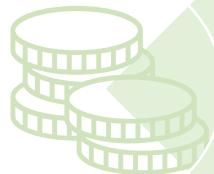
Aging systems (HVAC, roofs, etc.) / deferred maintenance



Educational inadequacies



Access to athletic spaces

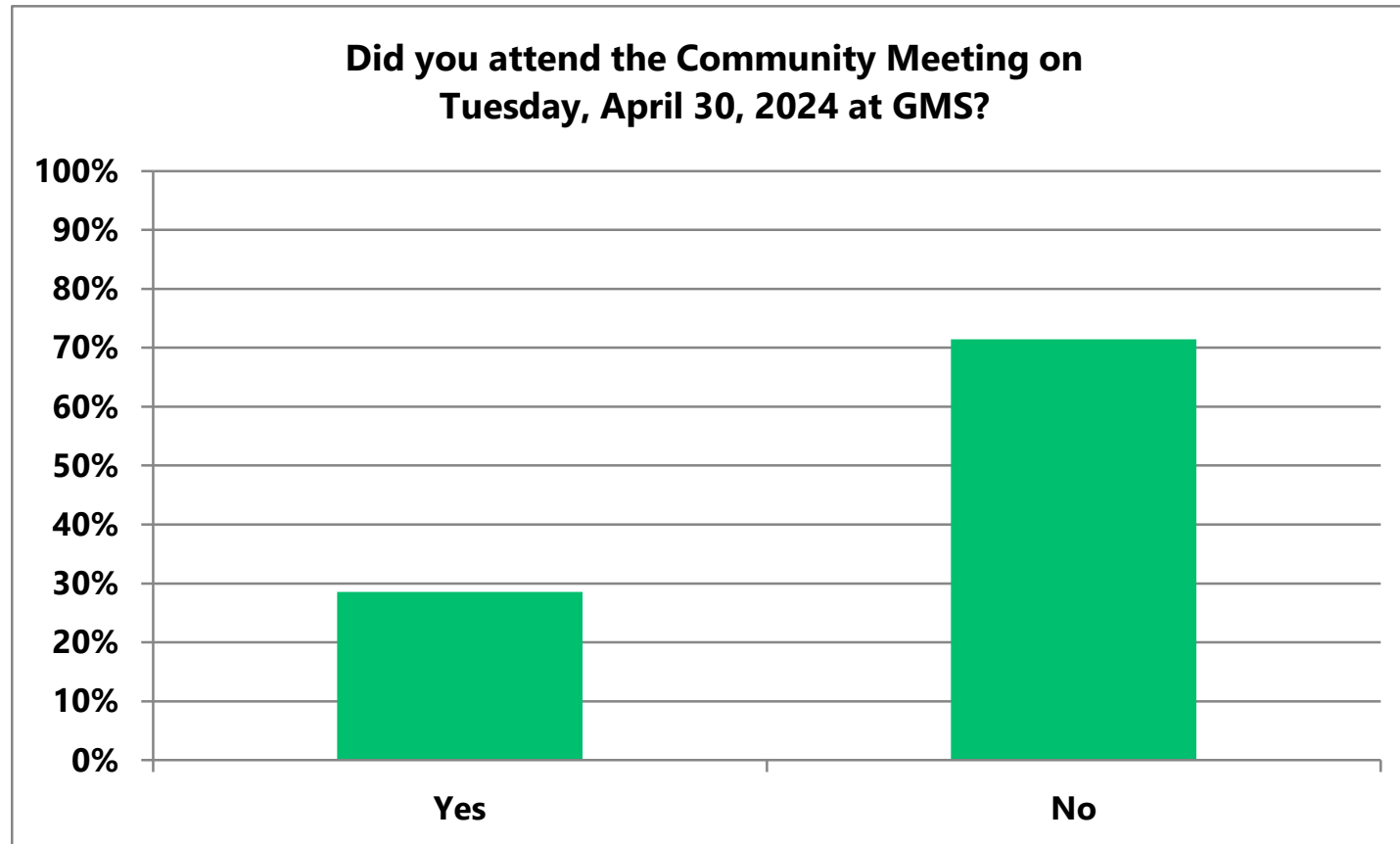


Limited facilities budget

Survey Results

Attendance & Survey Participation

Did you attend the Community Meeting on Tuesday, April 30, 2024 at GMS?		
	Percent	Count
Yes	29%	117
No	71%	293



Option 1: Build a new HS on the new site

\$\$\$\$

\$120M+

Utilizes new site to ensure a HS has all appropriate fields & CTE.

Converts MS to ES capacity.

Renovates open concept ES & closes Highland ES due to condition and significantly low enrollment while **balancing enrollment across all ES.**

New Site

Build a new HS on the new site

Current High School

MS moves into the current HS

Current Middle School

Rebuild or renovate open-concept facilities. Use for an ES.

Elementary Schools

Rebalance ES boundaries

Renovate Hal Henard & Tusculum View

Close Highland

Maintain Eastview



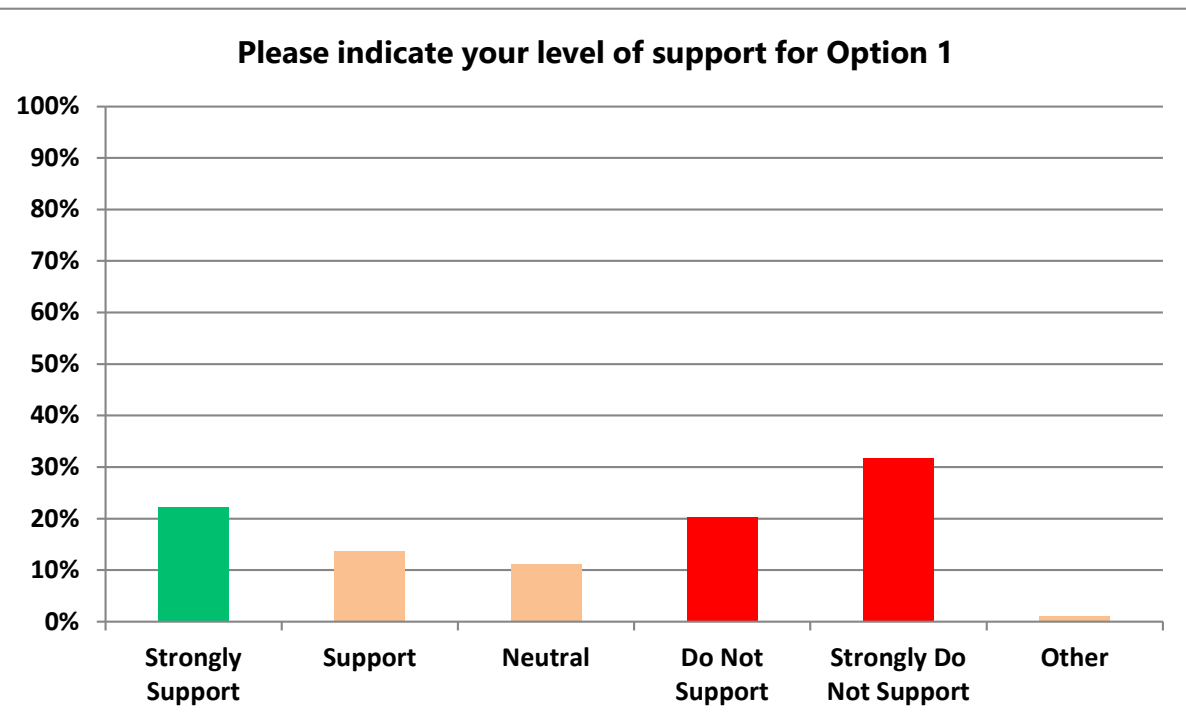
Option #1

OPTION #1 Benefits	OPTION #1 Challenges
Addresses educational inadequacies by providing a better middle school environment while increasing MS capacity	Financial
More class options and opportunities for students	Student safety
Least amount of disruptions	Potential lack of community support / buy in (travel to work)
A long-term solution to CTE and high school athletics	Infrastructure
Everything on one site	Moving away from Walter State
Safety	Lack of athletic facilities at the middle school
	Touches all grades and all schools
	Eastview renovations
	Central location / tradition



Option #1 Results & Comment Summary

Please indicate your level of support for Option 1		
	Percent	Count
Strongly Support	22%	91
Support	14%	56
Neutral	11%	46
Do Not Support	20%	83
Strongly Do Not Support	32%	130
Other	1%	4



Summary of Comments
Cost of a new school (27)
Keep the high school at its current location (13)
Loss of access to CTE and College Courses at Walter State (9)
Concerns about the land for the new high school being adequate (traffic level, traffic pattern, and size) (5)
Dislike the idea of a middle school taking over the old high school (2)

Option 2: Build a new MS on the new site



\$80M+

Utilizes new site to build a new MS.

Maintains current HS.

Renovates open concept ES & closes Highland ES due to condition and significantly low enrollment while **balancing enrollment across all ES.**

New Site

Build a new MS on the new site

Current High School

Maintain current HS

Current Middle School

Rebuild or renovate open-concept facilities. Use for an ES.

Elementary Schools

Rebalance ES boundaries

Renovate Hal Henard & Tusculum View

Close Highland

Maintain Eastview



Option #2

OPTION #2 Benefits	OPTION #2 Challenges
Addresses space & educational inadequacies at middle school	Expensive, but less than Option #1
Minimizes student disruption	Location of athletic spaces
New Middle School, CTE and all athletics	Roads
New school building with all new amenities	No comprehensive high school (CTE still off site)
New Middle School is less expensive than new High School	New traffic patterns will need to be addressed
Greater accessibility of athletic fields for Middle School students	
High School stays in the heart of Greeneville	
More cost effective than Option #1	
Less traffic than high school	
Current middle school could house students during transition	

Amendments:

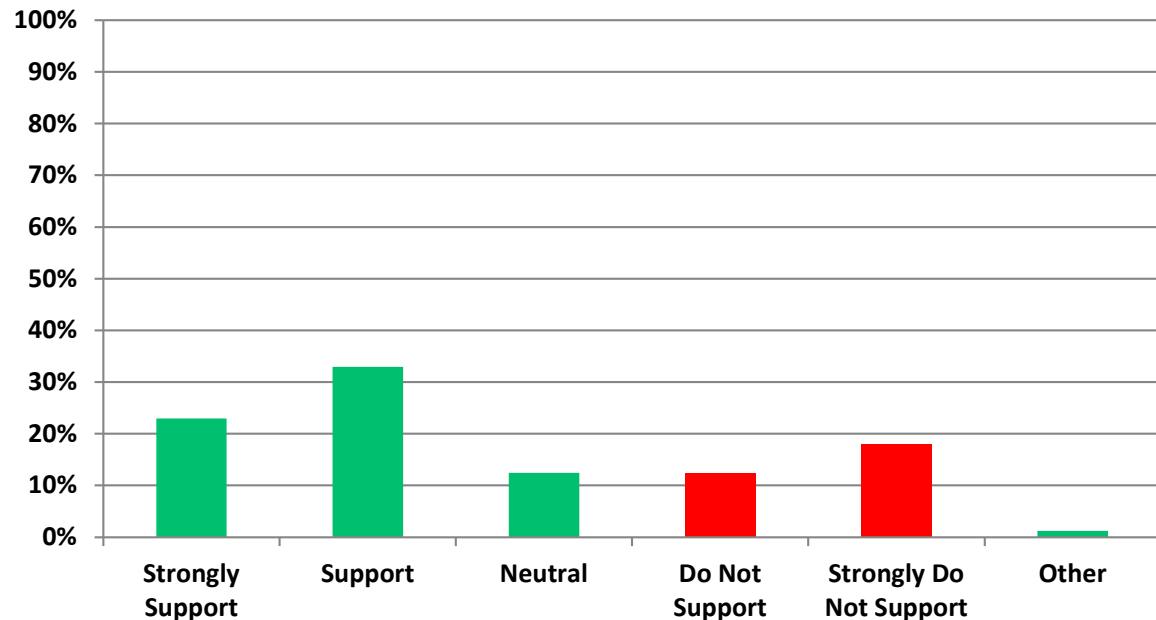
- **Repurpose Hal Henard, rezoned elementary schools go to renovated Middle School**
- **Middle School could be repurposed for an Early Learning Center**



Option #2 Results & Comment Summary

Please indicate your level of support for Option 2		
	Responses	Count
Strongly Support	23%	94
Support	33%	135
Neutral	12%	51
Do Not Support	12%	51
Strongly Do Not Support	18%	74
Other	1%	5

Please indicate your level of support for Option 2



Summary of Comments

The middle school is in need of renovations/a new build (9)
Approves the cost-effectiveness of this option (8)
Desire to use funds to renovate the middle school and elementary schools before addressing issues at the high school (7)
Concerns about the tax increase (4)
Confusion as to why there would be two elementary schools close to each other (4)
Desire to build athletic facilities at the same location (4)
Curious if the district will consider an intermediate school or change the grade levels for buildings (3)
Wondering where a solution for CTE fits in (3)

Option 3: Build new athletic fields on the new site

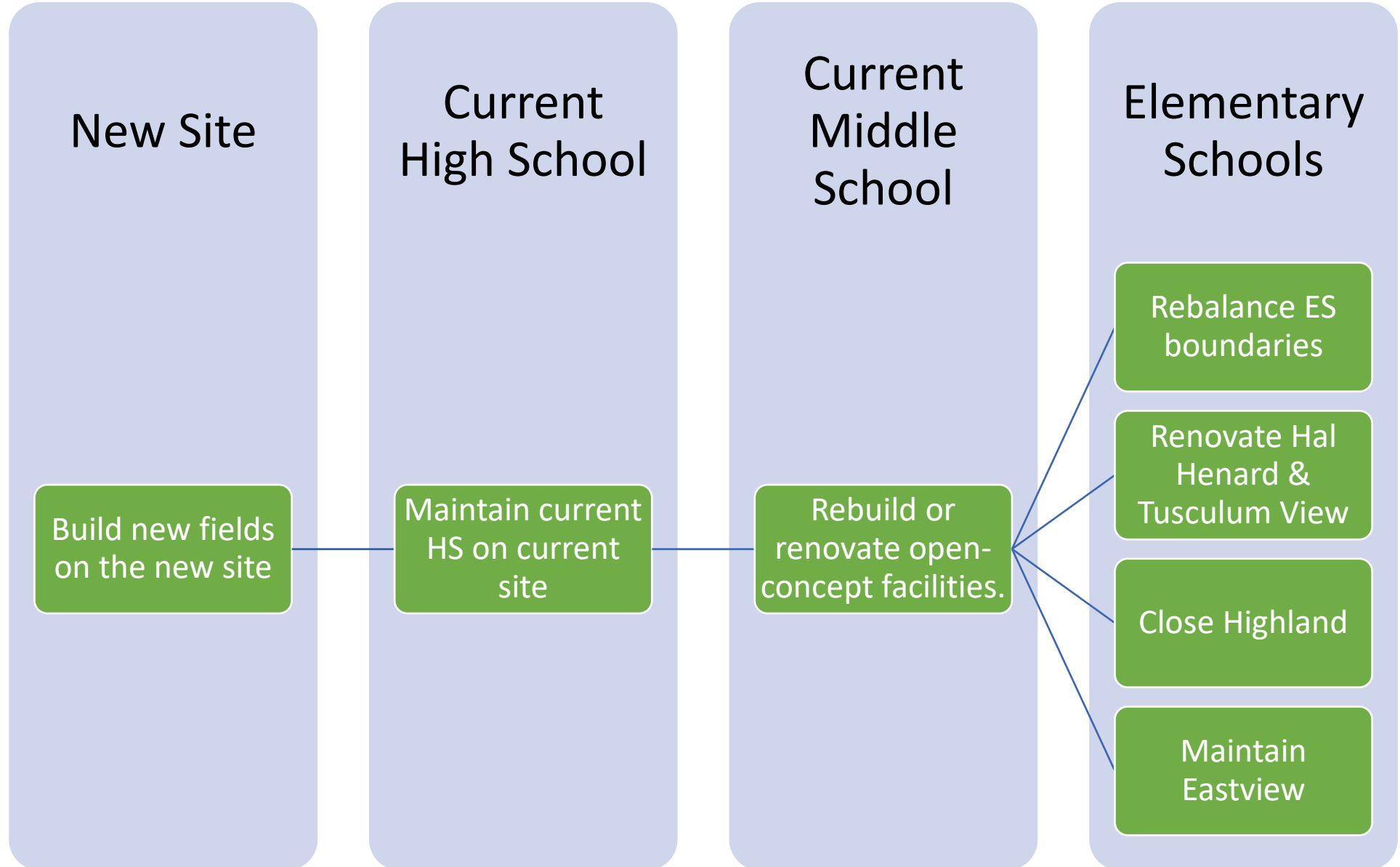


\$60M+

Utilizes new site for athletic fields and potentially other community use.

Maintains current HS.

Renovates open concept ES & closes Highland ES due to condition and significantly low enrollment while **balancing enrollment across all ES.**



Option #3

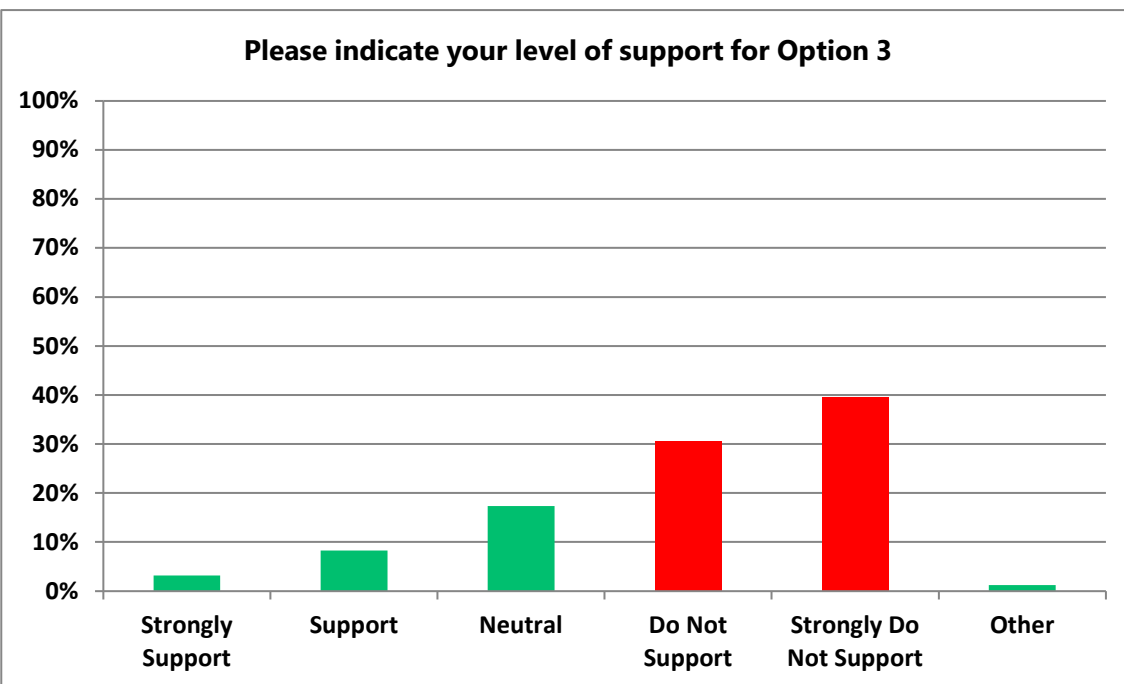
OPTION #3 Benefits	OPTION #3 Challenges
Addresses immediate needs and most pressing issues	Transportation for Middle School and High School athletics
Most cost efficient	Even with renovation will this improve our current situation?
More manageable chunks	Not enough budget
Connects community (residential and commercial)	Less money, little benefits, little vision
Use with new site being athletic fields	Location/travel for students
	Doesn't address system-wide needs
	More challenges than benefits

Amendments: re-examine Hardin Park athletic capabilities; 53 acres mixed use (public/private)



Option #3 Results & Comment Summary

Please indicate your level of support for Option 3		
	Percent	Count
Strongly Support	3%	13
Support	8%	34
Neutral	17%	71
Do Not Support	30%	125
Strongly Do Not Support	40%	162
Other	1%	5



Summary of Comments
Dislike the priority of athletic facilities over academic spaces (19)
Does not address the needs of students (11)
Does not address overall concerns for the district buildings (10)
Concerns about cost and where money is being used (7)

Option 4: No portfolio change, address deferred maintenance



\$40M+*

Utilizes new site for athletic fields and potentially other community use.

New Site

Athletic fields and/or community use

Current High School

Maintain current HS on current site

Current Middle School

Renovate open-concept section of the MS

Elementary Schools

Renovate open-concept schools (Tusculum View & Hal Henard)

**~\$45M was identified by GCS for priority repairs & renovations in 2023-24.*



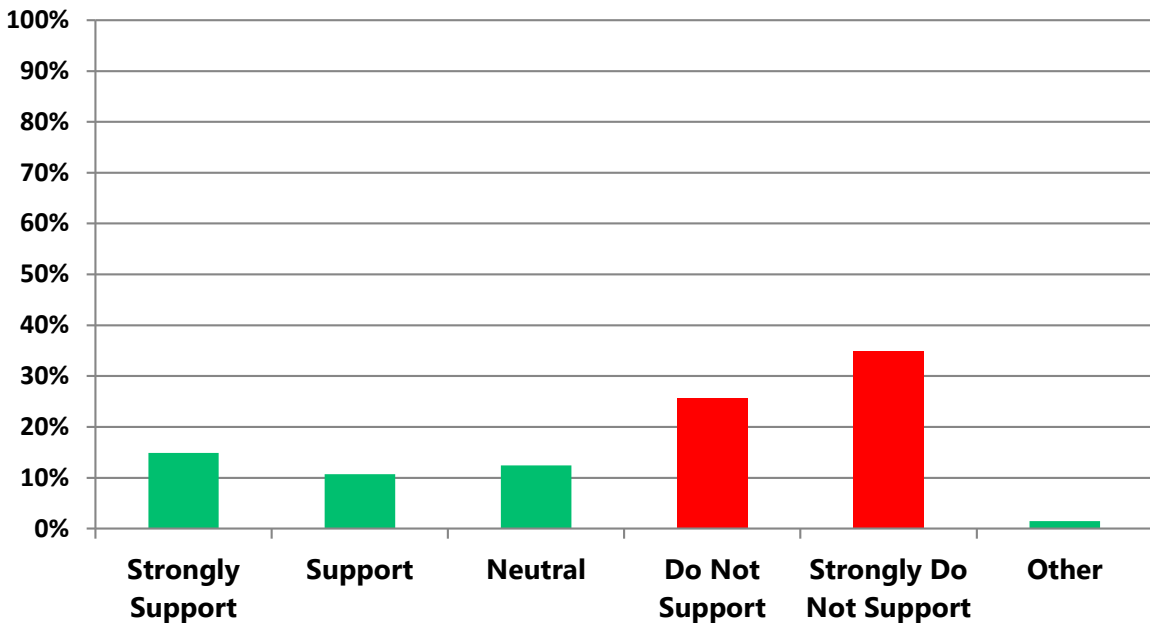
Option #4

OPTION #4 Benefits	OPTION #4 Challenges
Highland stays open	Does not address long term needs
	Band-aid fix that is expensive
	Lack of vision
	More expensive in the long term
	Doesn't address needs
	More challenges than benefits

Option #4 Results & Comment Summary

Please indicate your level of support for Option 4		
	Percent	Count
Strongly Support	15%	61
Support	11%	44
Neutral	12%	51
Do Not Support	26%	105
Strongly Do Not Support	35%	143
Other	1%	6

Please indicate your level of support for Option 4

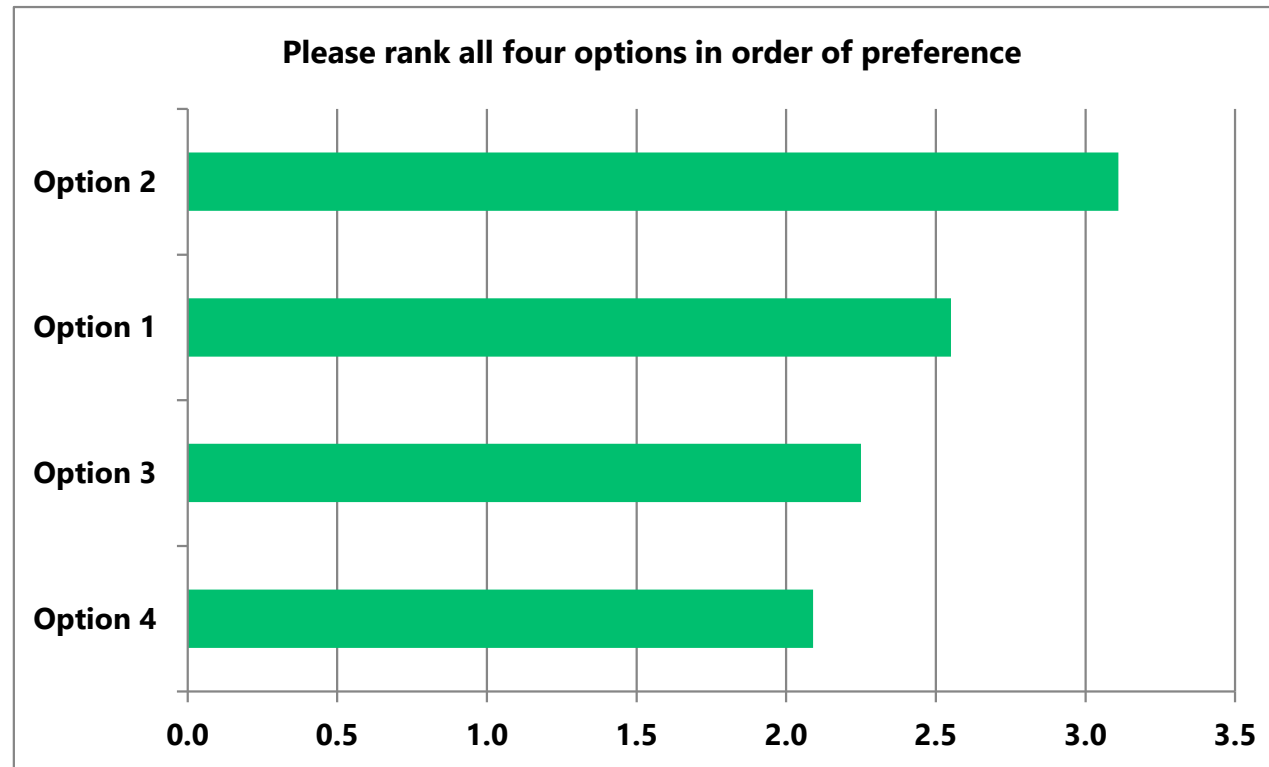


Summary of Comments

- Lack of understanding the use of land for athletic facilities alone (16)
- Not a long-term solution (15)
- Education and students need to be at the heart of these options, not athletics (7)
- Highland has more problems than benefits and should be closed (4)

Ranking of All 4 Options

Please rank all four options in order of preference.									
	1st		2nd		3rd		4th		Score
Option 1	31%	129	25%	102	11%	45	33%	134	2.6
Option 2	39%	158	37%	153	21%	86	3%	13	3.1
Option 3	7%	29	28%	113	49%	200	17%	68	2.3
Option 4	23%	94	10%	42	19%	79	48%	195	2.1



Additional comments about options and/or New solutions to challenges

Summary of Comments	
new middle school	14
property taxes will be too high	11
want to close highland	9
against moving the high school	8
property taxes have gone up too much too fast	5
would prefer solving more problems even if it means paying more	5
would prefer more options	4
dont want to use new land solely for athletics	3
new MS with fields	3
deal with long term problems now - do right by the students	2

Chat GPT Summary
1. Tax Burden Concerns: Many express worries about increased taxes, especially after recent property tax hikes. They question the necessity of further tax increases and propose alternatives like impact fees on new dwellings.
2. Education Prioritization: Several emphasize the importance of focusing on education needs over athletics, suggesting that any plan should prioritize school improvements rather than sports facilities.
3. Highland Elementary: There's a strong sentiment against closing Highland Elementary due to its historical significance, community importance, and the quality of education it provides. Suggestions include renovating instead of closing it.
4. Community Involvement: Concerns are raised about the lack of diversity in the planning committee, transparency in the decision-making process, and the exclusion of principals from the committee. Some call for more community input and involvement in the decision-making process.
5. Financial Considerations: Many express concerns about the financial implications of the proposed options, suggesting that the focus should be on more cost-effective solutions without burdening taxpayers further.
6. Middle School Priority: There's a consensus that addressing the needs of the middle school should be a priority, with some suggesting a combination of options for the best value.
7. Overall, the feedback reflects a desire for careful consideration of financial implications, community needs, and educational priorities in any decision regarding school improvements.



Potential Property Tax Adjustments for Debt Service

School Investment Debt Service Projections: Potential Tax Increase			
Property tax increase per \$100K of property value			
30 Year Loan**	Amount Borrowed	Annual Increase	Monthly Increase
	\$30,000,000	\$68	\$6
	\$60,000,000	\$135	\$11
	\$90,000,000	\$203	\$17
	\$120,000,000	\$270	\$23

*** Assumes 4% Interest Rate*



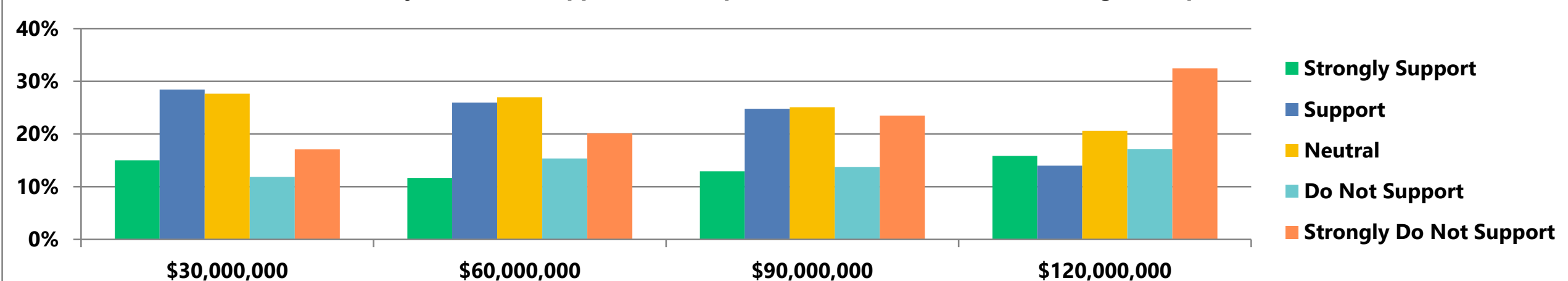
Bond support level

Please rate your level of support for each potential bond amount and resulting tax implications.

	Percent	Count	Percent	Count	Percent	Count	Percent	Count	Percent	Count
	Strongly Support		Support		Neutral		Do Not Support		Strongly Do Not Support	
\$30,000,000	15%	57	28%	108	28%	105	12%	45	17%	65
\$60,000,000	12%	44	26%	98	27%	102	15%	58	20%	76
\$90,000,000	13%	49	25%	94	25%	95	14%	52	23%	89
\$120,000,000	16%	60	14%	53	21%	78	17%	65	32%	123

	Total Count of Strongly/Support	Total Count of Strongly/Do Not Support
\$30,000,000	165	110
\$60,000,000	142	134
\$90,000,000	143	141
\$120,000,000	113	188

Please rate your level of support for each potential bond amount and resulting tax implications.



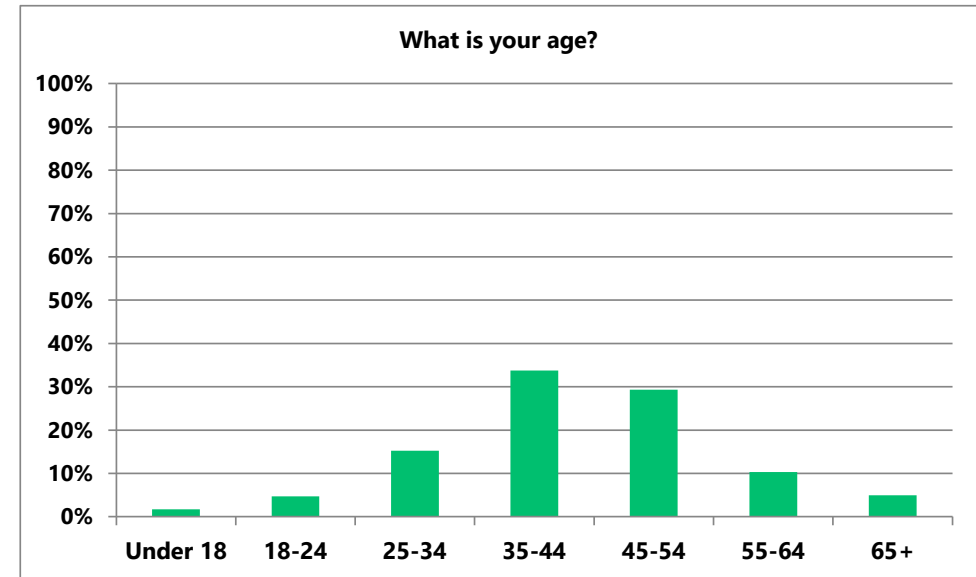
Additional facility, academic, or other concerns and considerations

Summary of Comments		Chat GPT Summary
concerned about taxes	7	<p>1. Need for Comprehensive Education Center: Establish a centralized facility catering to diverse educational needs, including tutoring centers, athletic training, computer labs, and safe spaces for students to focus on academics and personal growth.</p> <p>2. Academic Focus: Emphasize academic excellence alongside athletic achievements, ensuring that schools maintain high standards while providing state-of-the-art facilities.</p> <p>3. Traffic Flow and Campus Layout: Consider traffic flow and emulate successful school layouts while prioritizing on-campus athletic fields for convenience and safety.</p> <p>4. Financial Considerations: Explore alternative funding sources, such as impact fees on new construction, and address concerns about tax increases by prioritizing needs over wants and considering community input.</p> <p>5. Facility Maintenance and Upgrades: Maintain existing facilities, renovate as needed, and ensure equitable access to resources, including proper infrastructure for sports and academic activities.</p> <p>6. Community Engagement and Transparency: Increase community involvement through transparent decision-making processes, regular updates, and opportunities for feedback, ensuring that all stakeholders have a voice in shaping the future of education in Greeneville.</p>
highland is special and the community should be preserved, keep it open	7	
Technical training facilities	7	
accomodate sports in new spaces with good investment for all sports	3	
address education over athletics	3	
schools excel and they and the community should have nice buildings for all to be proud of	2	
tax new developments	2	
think long term and invest large enough to make a real impact	2	
traffic patterns	2	

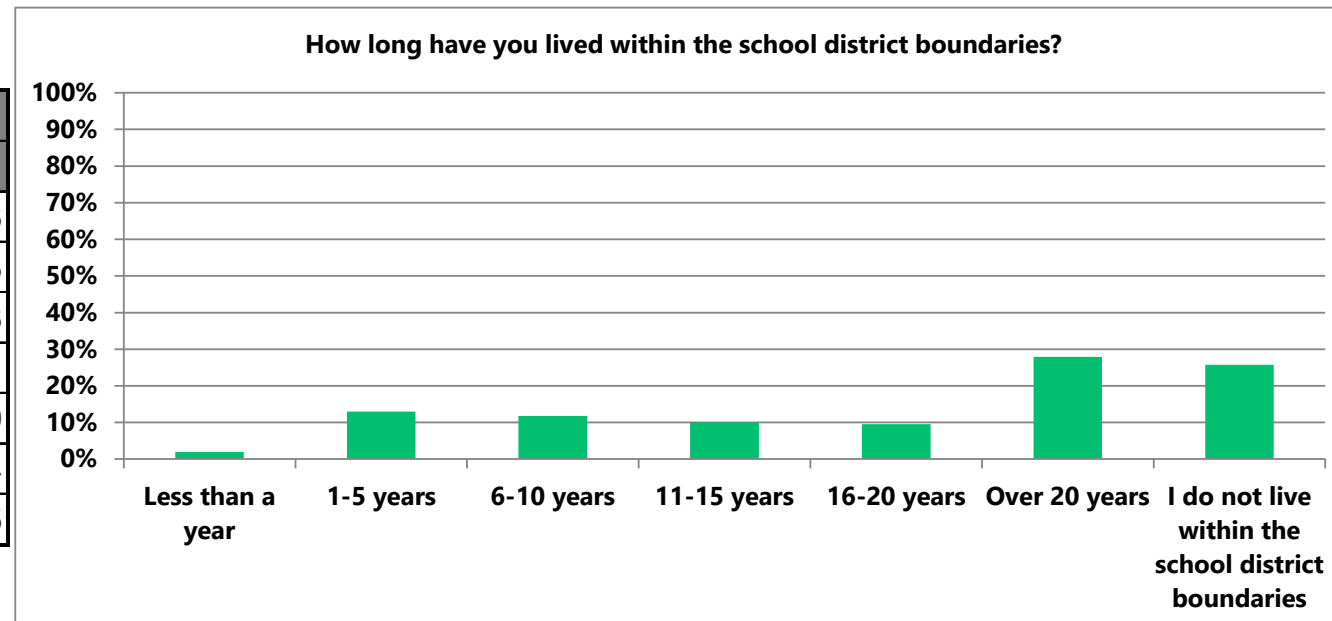


Demographics: Age & Residency

What is your age?		
	Percent	Count
Under 18	2%	7
18-24	5%	19
25-34	15%	62
35-44	34%	137
45-54	29%	119
55-64	10%	42
65+	5%	20

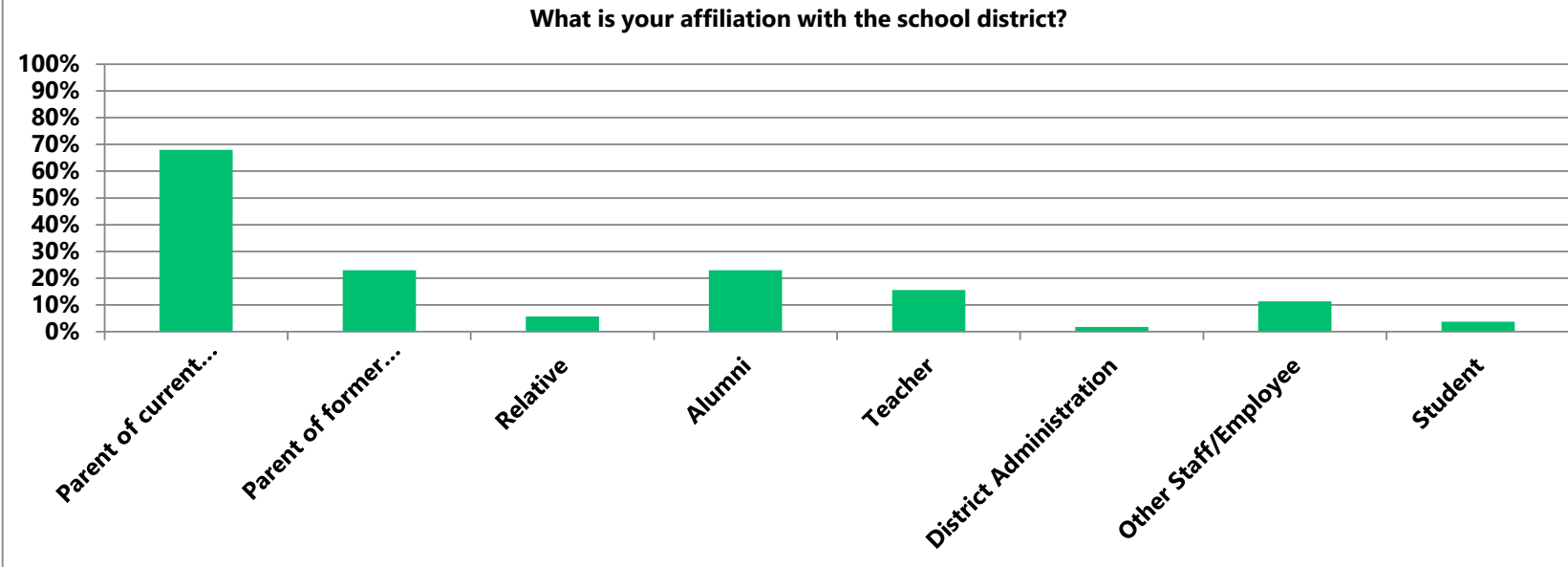


How long have you lived within the school district boundaries?		
	Percent	Count
Less than a year	2%	8
1-5 years	13%	53
6-10 years	12%	48
11-15 years	10%	41
16-20 years	10%	39
Over 20 years	28%	114
I do not live within the school district boundaries	26%	105

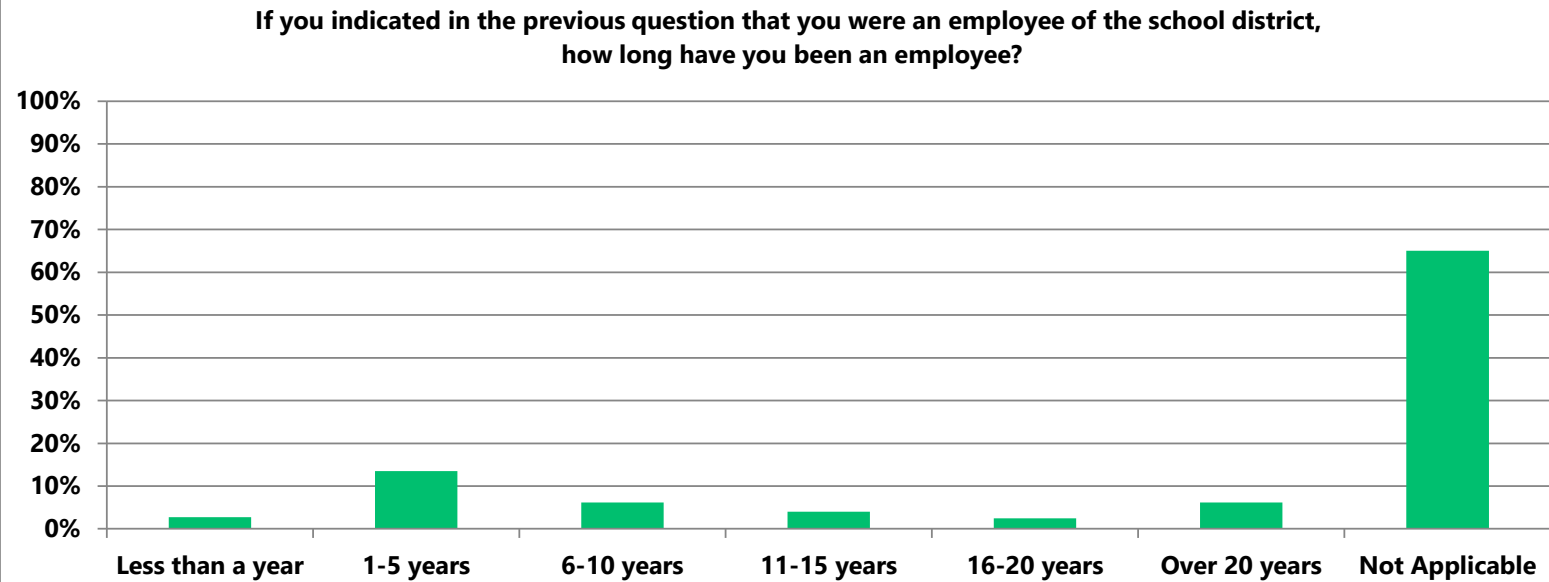


Demographics: Affiliation & Length of GCS Employment

What is your affiliation with the school district?		
	Responses	Count
Parent of current student(s)	68%	276
Parent of former student(s)/graduate(s)	23%	93
Relative	6%	23
Alumni	23%	93
Teacher	16%	63
District Administration	2%	7
Other Staff/Employee	11%	46
Student	4%	15



If you indicated in the previous question that you were an employee of the school district, how long have you been an employee?		
	Percent	Count
Less than a year	3%	9
1-5 years	14%	44
6-10 years	6%	20
11-15 years	4%	13
16-20 years	2%	8
Over 20 years	6%	20
Not Applicable	65%	212



Recommendations, Facility Actions, and Potential Timeline

Recommendations & Facility Actions: Pursue \$60m Bond in Phases

Balance
Enrollment

ALL elementary
schools

Renovations

Hal Henard ES
Tusculum View
ES
Greeneville MS

Classroom
Additions

Eastview ES
Hal Henard ES
Tusculum View
ES

Close after
renovations &
additions at
elementary
schools

Highland ES

General
Maintenance

Greenville HS

Work with City
to determine
best/highest
use

New Site

Recommendations & Facility Actions: Potential Timeline

New Elementary
School Boundaries:
Redistricting
Process &
Implementation

Process:
Winter/
Spring 2025
Implement:
Fall 2025

Preliminary Project
Management:

1. Determine Scope(s) to Budget of Renovations & Additions
2. Draft Educational Specifications
3. Condition Assessment & Life Cycle Systems Assessment on High School
4. Determine the next use of Highland Elementary School

Fall 2024 to
Spring 2025

Bond Campaign:
Information
Sessions & Surveys

Summer 2025
to Summer
2026

Bond Election

August 2026

Finalize
Educational
Specifications










Fall 2026

Elementary &
Middle School
Designs


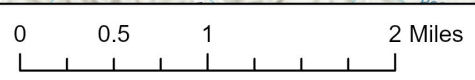
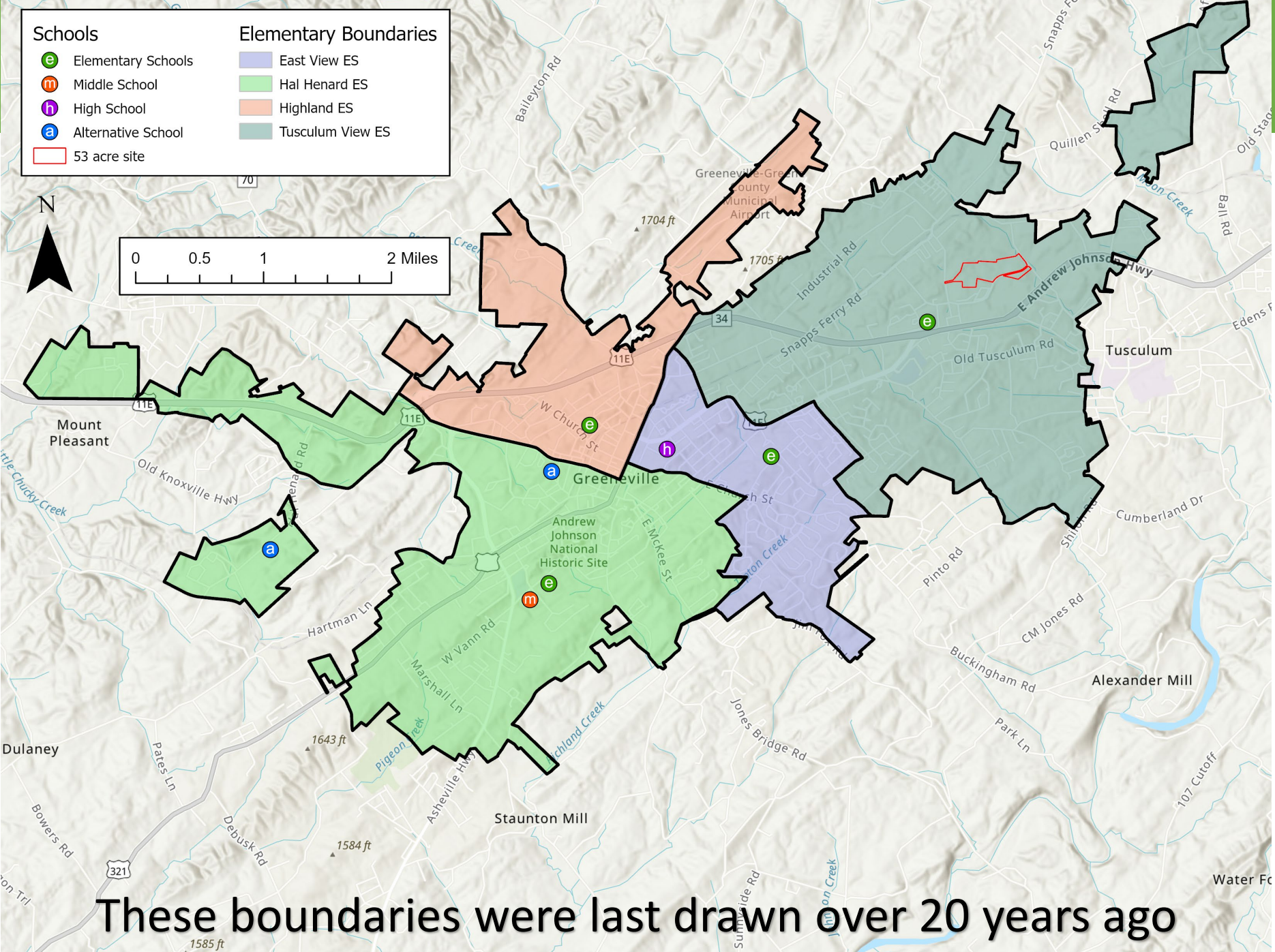
Spring 2027
to Fall 2028

Begin School
Construction:
Elementary &
Middle School
Renovations &
Additions

Spring/
Summer 2029

Schools		Elementary Boundaries	
	Elementary Schools		East View ES
	Middle School		Hal Henard ES
	High School		Highland ES
	Alternative School		Tusculum View ES
	53 acre site		

N

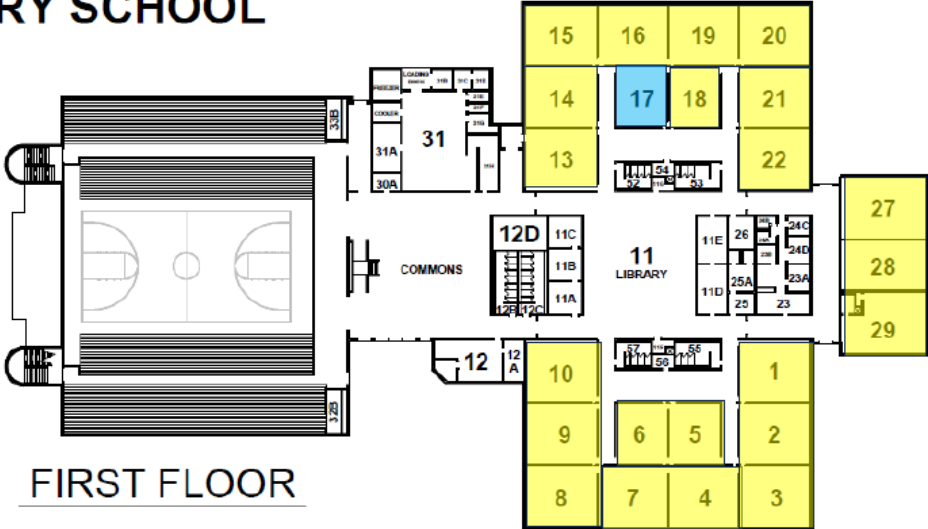




These boundaries were last drawn over 20 years ago

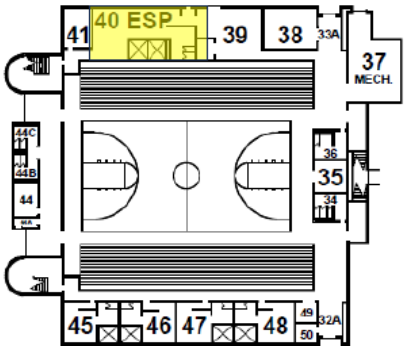


Hal Henard ES Floor Plan

HAL HENARD ELEMENTARY SCHOOL



FIRST FLOOR



GROUND FLOOR

Yellow shaded rooms are classrooms.
Blue shaded rooms are used for RTI.

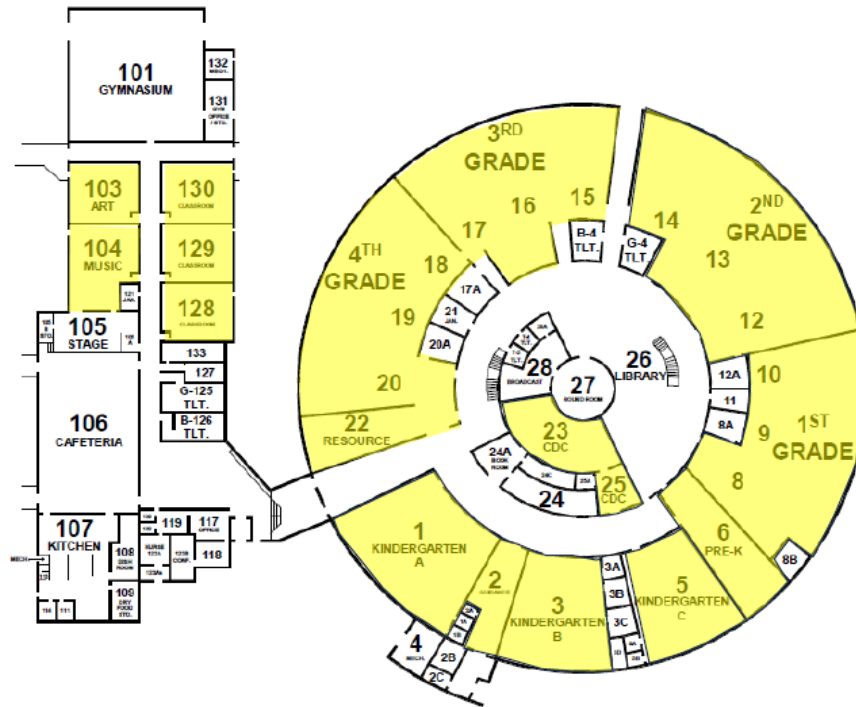


Tusculum View ES Floor Plan

TUSCULUM VIEW ELEMENTARY SCHOOL



SECOND FLOOR PLAN



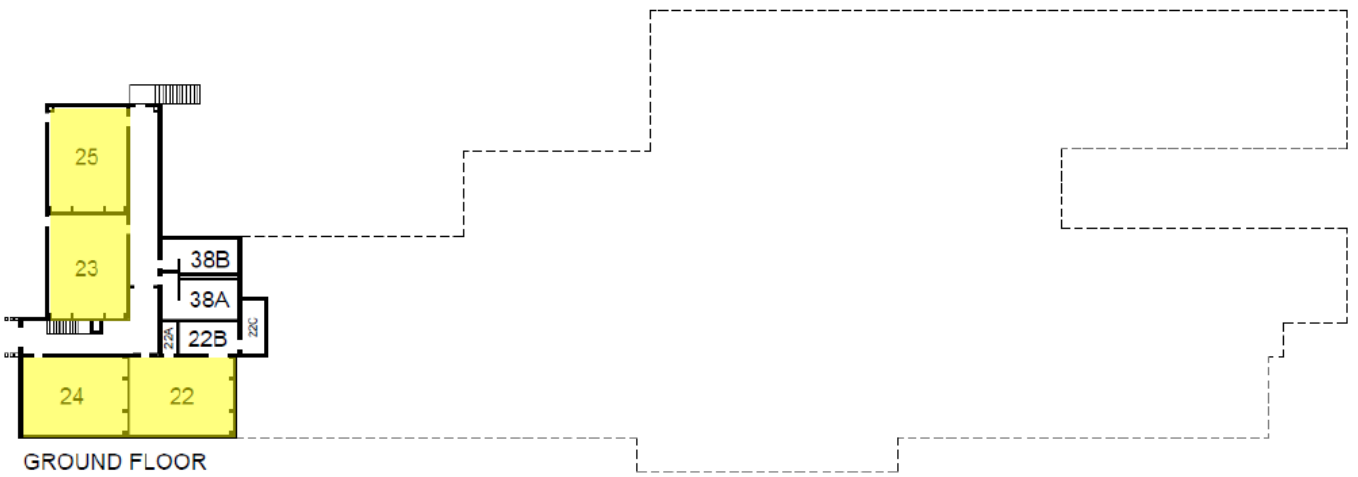
FIRST FLOOR PLAN

Rooms being used as classrooms are highlighted in yellow.
Rooms being used for RTI are highlighted in blue.



Eastview ES Floor Plan

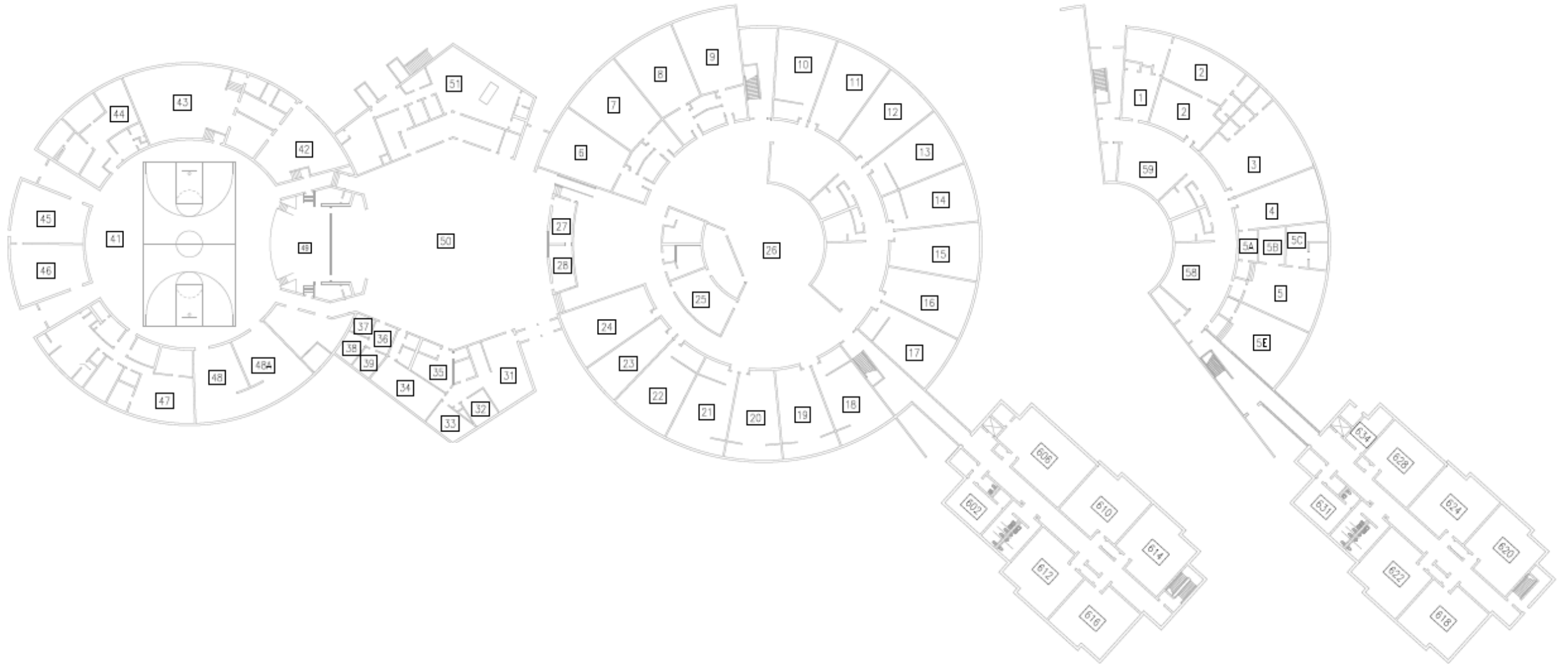
EASTVIEW ELEMENTARY

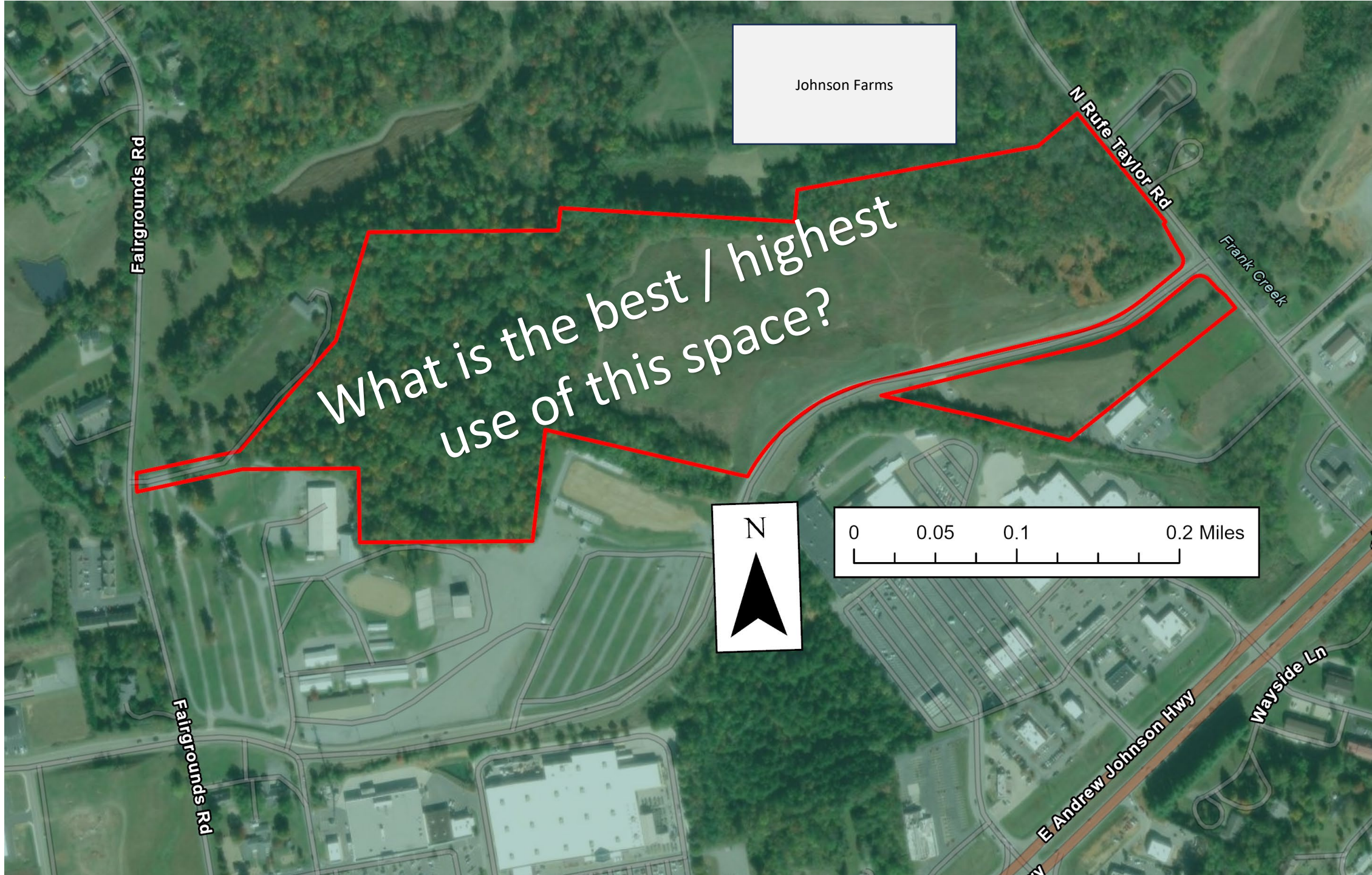


Rooms highlighted in yellow are used as classrooms.
Rooms highlighted in blue are used for RTI.



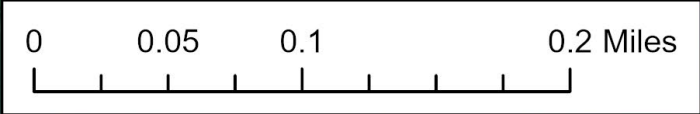
Greeneville Middle School Floor Plan





Johnson Farms

What is the best / highest use of this space?



Fairgrounds Rd

N Rufe Taylor Rd

Frank Creek

Fairgrounds Rd

E Andrew Johnson Hwy

Wayside Ln



Frequently Asked Questions

Frequently Asked Questions

1. What happens to Highland students? (boundaries, timeframe on closure, etc.)
2. What happens to the Highland facility?
3. What are the School District / City plans to mitigate interruption during construction?
4. What are the specific planned design and construction updates and what issues they will address?
5. What is the budget plan for each facility? In other words, how will funds be spent at each school?
6. What are the benefits of multiple major renovations (Hal Henard, Tusculum View, current Middle School) vs a new [Middle School] school at the new site?
7. What additional programs or initiatives will be available due to updated boundaries?
8. What additional per student investments will be made as a result of this plan?



Thank You!