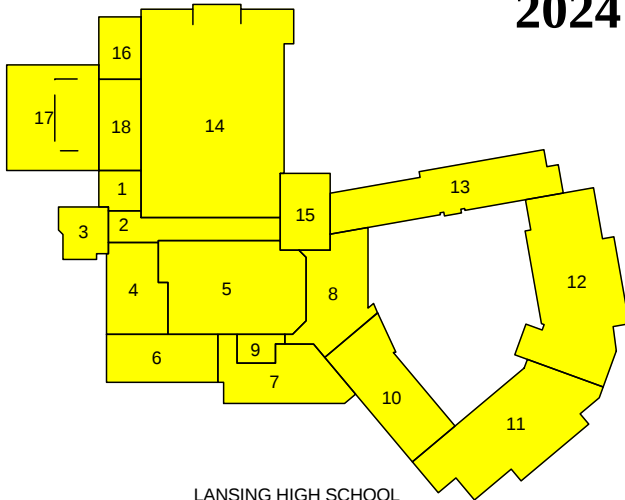
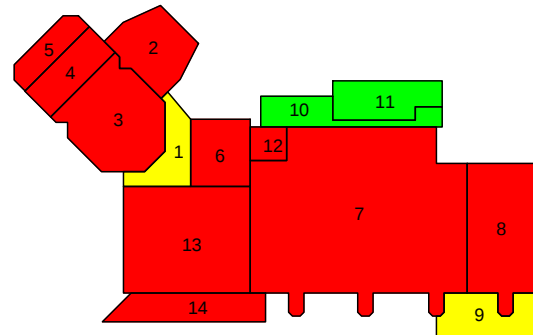


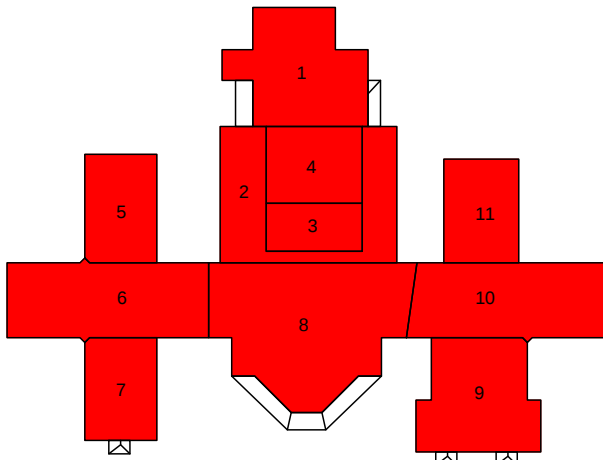
2024 LANSING PUBLIC SCHOOL CONDITION MAP



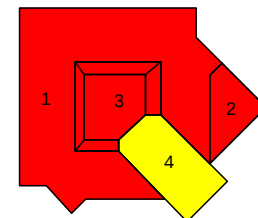
LANSING HIGH SCHOOL
AREA: 155,000 sf



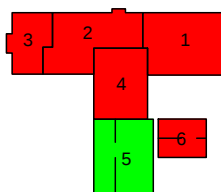
LANSING MIDDLE SCHOOL
AREA: 174,000 sf



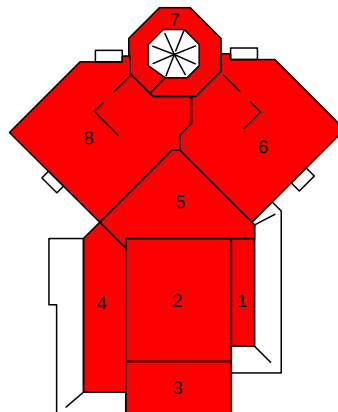
LANSING ELEMENTARY
AREA: 142,000 sf



LANSING EARLY CHILDHOOD
AREA: 43,000 sf



LANSING ADMIN
AREA: 24,000 sf



LANSING INTERMEDIATE
AREA: 95,000 sf



LANSING TRANS
AREA: 12,000 sf

Lansing KS Financial Summary Overview

School	Area	System	SF	Condition	Full Replace	EPDM overlay
Admin						
	Area 01	Mod Bit	5390	Poor	\$161,700	\$70,070
	Area 02	Mod Bit	4980	Poor	\$149,400	\$64,740
	Area 03	Mod Bit	2530	Poor	\$75,900	\$32,890
	Area 04	Mod Bit	4150	Poor	\$124,500	\$53,950
	Area 05	Metal	4840	Good	\$145,200	
	Area 06	Metal	2000	Poor	\$60,000	
Early Childhood						
	Area 01	Coated Mech EP	26320	Poor	\$789,600	
	Area 02	Coated Mech EP	3290	Poor	\$98,700	
	Area 03	Coated EPDM	7000	Poor	\$210,000	
	Area 04	Mod Bit	6350	Fair	\$190,500	\$82,550
Middle School						
	Area 01	AI Coated Mod B	3200	Fair	\$96,000	
	Area 02	Mod Bit	5230	Poor	\$156,900	\$67,990
	Area 03	Mod Bit	9350	Poor	\$280,500	\$121,550
	Area 04	Mod Bit	3600	Poor	\$108,000	\$46,800
	Area 05	Mod Bit	2460	Poor	\$73,800	\$31,980
	Area 06	Mod Bit	4340	Poor	\$130,200	\$56,420
	Area 07	Mod Bit	37660	Poor	\$1,129,800	\$489,580
	Area 08	Mod bit	10360	Poor	\$310,800	\$134,680
	Area 09	FA EPDM	4330	Fair	\$129,900	
	Area 10	FA EPDM	3590	Good	\$107,700	
	Area 11	FA EPDM	4280	Good	\$128,400	
	Area 12	Mod Bit	1330	Poor	\$39,900	\$17,290
	Area 13	Mod Bit	14660	Poor	\$439,800	\$190,580
	Area 14	Mod Bit	4650	Poor	\$139,500	\$60,450
	Area 15	FA EPDM	4180	Poor	\$125,400	
	Area 16	FA EPDM	750	Poor	\$22,500	
	Area 17	Gravel BUR	8120	Poor	\$243,600	
	Area 18	Gravel BUR	5240	Poor	\$157,200	
	Area 19	Gravel BUR	9700	Poor	\$291,000	
	Area 20	Gravel BUR	6530	Poor	\$195,900	
	Area 21	DuraLast	11430	Poor	\$342,900	
	Area 22	Mod Bit	5550	Poor	\$166,500	
	Area 23	Shingles	9860	Poor	\$295,800	
	Area 24	AI coated Mod B	3400	Poor	\$102,000	
Elementary						
	Area 01	Mod Bit	14410	Poor	\$432,300	\$187,330
	Area 02	Mod Bit	13130	Poor	\$393,900	\$170,690
	Area 03	Mod Bit	5000	Poor	\$150,000	\$65,000
	Area 04	Mod Bit	8000	Poor	\$240,000	\$104,000

	Area 05	Mod Bit	8470	Poor	\$254,100	\$110,110
	Area 06	Mod Bit	16430	Poor	\$492,900	\$213,590
	Area 07	Mod Bit	8020	Poor	\$240,600	\$104,260
	Area 08	Mod Bit	25400	Poor	\$762,000	\$330,200
	Area 09	Mod Bit	13500	Poor	\$405,000	\$175,500
	Area 10	Mod Bit	16060	Poor	\$481,800	\$208,780
	Area 11	Mod Bit	8430	Poor	\$252,900	\$109,590
Intermediate						
	Area 01	Mod Bit	2690	Poor	\$80,700	\$34,970
	Area 02	Mod Bit	14080	Poor	\$422,400	\$183,040
	Area 03	Mod Bit	5940	Poor	\$178,200	\$77,220
	Area 04	Mod Bit	7280	Poor	\$218,400	\$94,640
	Area 05	Mod Bit	8900	Poor	\$267,000	\$115,700
	Area 06	Mod Bit	17300	Poor	\$519,000	\$224,900
	Area 07	Mod Bit	5000	Poor	\$150,000	\$65,000
	Area 08	Mod Bit	17980	Poor	\$539,400	\$233,740
High School						
	Area 01	TPO	1800	Fair	\$54,000	
	Area 02	TPO	4640	Fair	\$139,200	
	Area 03	TPO	2640	Fair	\$79,200	
	Area 04	TPO	5680	Fair	\$170,400	
	Area 05	TPO	14100	Fair	\$423,000	
	Area 06	TPO	5800	Fair	\$174,000	
	Area 07	TPO	6960	Fair	\$208,800	
	Area 08	TPO	7400	Fair	\$222,000	
	Area 09	TPO	1300	Fair	\$39,000	
	Area 10	TPO	8590	Fair	\$257,700	
	Area 11	TPO	14060	Fair	\$421,800	
	Area 12	TPO	16470	Fair	\$494,100	
	Area 13	TPO	10870	Fair	\$326,100	
	Area 14	TPO	32760	Fair	\$982,800	
	Area 15	TPO	4160	Fair	\$124,800	
	Area 16	TPO	2860	Fair	\$85,800	
	Area 17	TPO	10560	Fair	\$316,800	
	Area 18	TPO	4180	Fair	\$125,400	
Infrared						
	Mod Bits		333060			\$16,653

Totals					
	Mod Bit Roofs (including IR scan)	333060		\$9,991,800	\$4,346,433
	All non-Mod Bit Roofs	278440		\$8,353,200	
	All Roofs	611500		\$18,345,000	



2024 Lansing Admin

Area 01

Poor condition

Mod Bit

5,390 sf

Ponding, skrim exposed, minor blistering, fish mouths

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing ponding water along perimeter.



Photo showing additional ponding water.



Photo showing hole in the field membrane. Repaired as part of the maintenance agreement.



Photo showing condition of the projection flashings.



Photo showing condition of the perimeter flashings.



Photo showing deterioration of the field around the units.



Photo showing blistering in the perimeter flashings.



Photo showing a hole in the projection flashings. Repaired as part of the maintenance agreement.



Photo showing condition of the expansion joint.

Area 02

Poor condition

Mod Bit

4,980 sf

Ponding, minor blistering, skein showing, vent stacks open (patched), fish mouths

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing cracking and deteriorating projection flashings.



Photo showing ponding water along perimeter.



Photo showing deteriorating existing patch.



Photo showing additional ponding water.

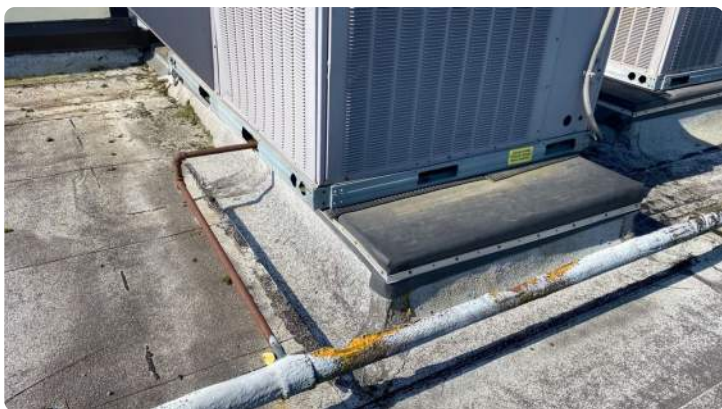


Photo showing condition of the projection flashings.



Photo showing deteriorating projection flashings.



Photo showing deteriorating field.



Photo showing deteriorating field.



Photo showing ponding water.



Photo showing cracks in lead covered vent stack. Repaired as part of the maintenance agreement.



Photo showing crack in the perimeter flashings.



Photo showing deteriorating field.

Area 03

Poor condition

Mod Bit

2,530 sf

Skrim showing, vents open (patched), minor blistering, fish mouths

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing granules piled up around drain.



Photo showing skim exposed in deteriorating field.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing deterioration under unit condensation line.



Photo showing skim exposed in cracking projection flashings.



Photo showing cracks in lead covered vent stack. Re-paired as part of the maintenance agreement.



Photo showing deterioration of the field.

Area 04

Poor condition

Mod Bit with tar coating

4,150 sf

Deteriorating coating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 04 roof.



Photo showing additional overview of Area 04 roof.



Photo showing condition of the perimeter gutter.



Photo showing deterioration of the coating.



Photo showing deterioration of the coating.



Photo showing condition of the projection flashings.

Area 05

Good condition

Metal

4,480 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 05 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the gutter edge.



Photo showing condition of the projection flashing.



Photo showing fasteners beginning to back out.



Photo showing adjacent shingle roof.

Area 06

Poor condition

Metal

2000 sf

Rust, deterioration

See Financial Summary for estimated replacement cost



Photo showing overview of Area 06 roof.



Photo showing condition of the gutter edge.



Photo showing condition of adjacent metal roof.



Photo showing deterioration of metal roof.



2024 Lansing Early Childhood

Area 01

Poor condition

26,320 sf

Mechanically Fastened EPDM with coating

Coating is peeling up and field is ponding water

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing deteriorating coating.



Photo showing condition of the perimeter flashings and loose membrane.



Photo showing deteriorating coating and loose membrane.



Photo showing deteriorating coating.



Photo showing condition of the perimeter flashings.



Photo showing additional overview of Area 01 roof.



Photo showing additional overview of Area 01 roof.



Photo showing a hole in the field membrane. Repaired as part of the maintenance agreement.



Photo showing a hole in the field membrane. Repaired as part of the maintenance agreement.



Photo showing a hole in the field membrane. Repaired as part of the maintenance agreement.



Photo showing repairs made to the field membrane.



Photo showing coating deteriorating along the perimeter flashings.



Photo showing a hole in the field membrane. Repaired as part of the maintenance agreement.



Photo showing repair made to the field membrane.



Photo showing coating deteriorating and loose membrane.

Area 02

Poor Condition

3,290 sf

Mechanically Fastened EPDM with coating

Coating is peeling up and field is ponding water

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing condition of the perimeter flashings.



Photo showing deteriorating coating.



Photo showing deteriorating coating.



Photo showing deteriorating coating.



Photo showing deteriorating coating.



Photo showing deteriorating coating.



Photo showing condition of the projection flashings.



Photo showing condition of the projection flashings.



Photo showing condition of the perimeter flashings.

Area 03

Poor Condition, highest concern on this building

7,000 sf

Fully Adhered EPDM with coating and metal panels to cover units

Coating is peeling up and the field is ponding water under the metal panels

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing area with loose membrane.



Photo showing additional overview of Area 03 roof.



Cover board pushing up



Photo showing a seam pulling loose.



Photo showing walk pads deteriorating.



Photo showing coating deteriorating under awning.



Photo showing coating deteriorating around drain.



Photo showing coating pulling up at seams.



Photo showing ponding water under awning.



Photo showing coating pulling up.



Cover board pushing up



Photo showing condition of the perimeter flashings.



Photo showing condition of the metal awning.



Photo showing additional condition of the metal awning.



Photo showing additional condition of the metal awning.



Photo showing condition of the central metal penthouse.

Area 04

Fair condition

6,350 sf

Mod bit with no projections

This roof is nearing the end of its useful life but appears to be performing currently

See Financial Summary for estimated replacement cost



Photo showing overview of Area 04 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the drain.



Photo showing minor ponding water along perimeter.



2024 Lansing Middle School

Area 01

Fair condition

3,200 sf

Aluminum Coated Mod Bit

Minor bubbles in coating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing additional overview of Area 01 roof.



Photo showing additional overview of Area 01 roof.



Photo showing condition of the perimeter flashings.



Photo showing minor blistering in field.

Area 02

Poor condition

5,230 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, minor blistering

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing skim showing through deteriorated roof.



Additional photo showing skim showing through deteriorated roof.



Photo showing wrinkles around drain and deteriorated field.



Photo showing a fishmouth in the deteriorated field and blistering.



Photo showing aluminum coating around drain.

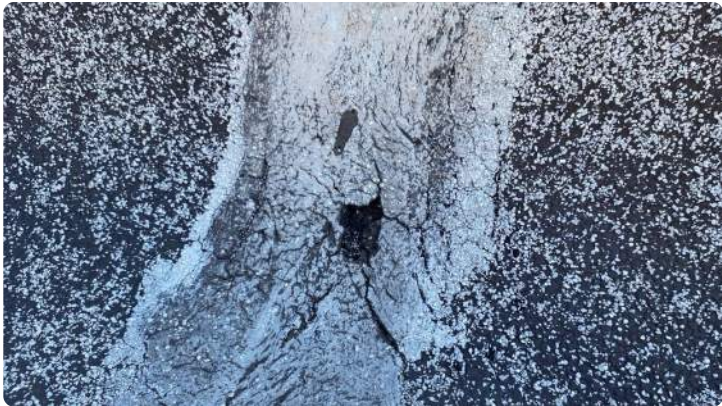


Photo showing a hole in the corner flashings.



Photo showing condition of the perimeter flashings and drain.



Photo showing additional hole in the perimeter flashings.

Area 03

Poor condition

9,350 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, minor blistering

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing skrim showing through deteriorated roof at seams.



Photo showing skrim showing through deteriorated roof at seams.



Photo showing skrim showing through deteriorated roof.



Photo showing granules from deteriorated roof piling up around drain.



Photo showing condition of the deteriorating perimeter flashings.



Photo showing scrim showing through deteriorated roof.



Photo showing scrim showing through deteriorated roof.

Area 04

Poor condition

3,600 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, minor blistering

See Financial Summary for estimated replacement cost



Photo showing overview of Area 04 roof.



Photo showing additional overview of Area 04 roof.



Photo showing scrim showing through deteriorated roof.



Photo showing blistering in the field.



Photo showing missing drain strainer.



Photo showing blistering in deteriorated field.



Photo showing perimeter flashing seam reinforcement beginning to deteriorate.

Area 05

Poor condition

2,460 sf

Mod Bit

Skrim showing, minor blistering

See Financial Summary for estimated replacement cost

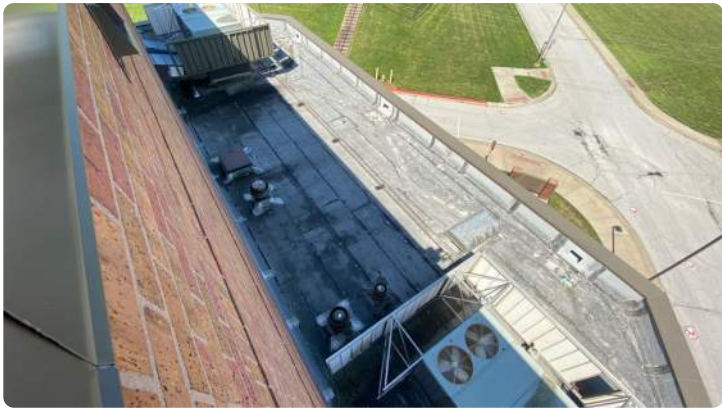


Photo showing overview of Area 05 roof.

Area 06

Poor condition high priority

4,340 sf

Mod Bit with Hypalon flashings

Skrim showing throughout, perimeter rubber flashing loose, no granular, gyp along base toe in failing on skylights, good slope

See Financial Summary for estimated replacement cost



Photo showing overview of Area 06 roof.



Photo showing scrim showing throughout deteriorated roof.



Photo showing scrim showing through deteriorated roof.



Photo showing granules from deteriorating roof piling up around drain.



Photo showing flashings pulling loose.



Photo showing loose granules from deteriorating roof piling up.



Photo showing loose perimeter flashing.



Photo showing condition of the perimeter flashings.



Photo showing alligatoring in field.



Photo showing deteriorating projection flashings.

Area 07

Poor condition

37,660 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, blistering Hypalon flashings failing

See Financial Summary for estimated replacement cost



Photo showing overview of Area 07 roof.



Photo showing additional overview of Area 07 roof.



Photo showing scrim showing through deteriorated roof.



Photo showing scrim showing through deteriorated roof.



Photo showing alligatoring in the projection flashings.



Photo showing skim showing through deteriorated roof at perimeter.



Photo showing skim showing through deteriorated roof and splitting.



Photo showing aluminum coated projection flashings.



Photo showing aluminum coated skylight flashings.



Photo showing condition of projection flashings.



Photo showing area with aluminum coating.



Photo showing additional area with aluminum coating.



Photo showing condition of the perimeter flashings.



Photo showing condition of the perimeter flashings.



Photo showing additional area with aluminum coating.



Photo showing overview of small roof section.



Photo showing alligatoring and a hole in the field.



Photo showing condition of drain in small section.



Photo showing skim showing through deteriorated roof.



Photo showing overview of small roof section.



Photo showing overview of additional small roof section.



Photo showing skim showing through deteriorated roof.



Photo showing condition of the perimeter flashings.



Photo showing deteriorating projection flashings.



Photo showing condition of small expansion joint section.

Area 08

Poor condition, high priority

10,360 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, blistering, Hypalon flashings failing

See Financial Summary for estimated replacement cost



Photo showing overview of Area 08 roof.



Photo showing additional overview of Area 08 roof.



Photo showing condition of expansion joint.



Photo showing condition of the perimeter flashings.



Photo showing scrim showing through deteriorated roof.



Photo showing condition of the skylight flashings.



Photo showing scrim showing through deteriorated roof.



Photo showing scrim showing through deteriorated roof.



Photo showing overview of additional small section.

Area 09

Fair condition

4,330 sf

Fully Adhered EPDM

Minor delaminating along perimeter flashings

See Financial Summary for estimated replacement cost



Photo showing overview of Area 09 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing condition of the perimeter flashings.

Area 10

Good condition

3,590 sf

Fully Adhered EPDM

Minor delamination in perimeters, multiple previous holes patched

See Financial Summary for estimated replacement cost



Photo showing overview of Area 10 roof.



Photo showing additional overview of Area 10 roof.



Photo showing loose membrane along perimeter.



Photo showing condition of the perimeter flashings.



Photo showing multiple patches from previous holes.



Photo showing more matches from previous holes.



Photo showing condition of the perimeter flashings.



Photo showing additional overview of Area 10 roof.

Area 11

Good condition

4,280 sf

Fully Adhered EPDM

No issues to report

See Financial Summary for estimated replacement cost



Photo showing overview of Area 11 roof.



Photo showing additional overview of Area 11 roof.



Photo showing condition of the perimeter flashings.



Photo showing manufacturer stamp of EPDM membrane.

Area 12

Poor condition

1,330 sf

Mod Bit

Good slope, minor blistering and ponding from unit condensation

See Financial Summary for estimated replacement cost



Photo showing overview of Area 12 roof.



Photo showing condition of the perimeter flashings.



Photo ahowing condition of the perimeter flashings.



Photo showing blistering near condensate pipe.

Area 13

Poor condition

14,660 sf

Mod Bit

Skrim showing, cap sheet deteriorating, good slope, blistering, Hypalon flashings failing

See Financial Summary for estimated replacement cost



Photo showing overview of Area 13 roof.



Photo showing additional overview of Area 13 roof.



Photo showing aluminum coated area around projection.



Photo showing scrim showing through deteriorated roof and loose granules piling up from deteriorated roof.



Photo showing scrim showing through deteriorated roof.



Photo showing aluminum coating around projection.



Photo showing drain with and overflow drain cap.



Photo showing condition of the drain missing a strainer.

Area 14

Poor condition

4,650 sf

Mod Bit

Skrim showing, cap sheet deteriorating, granules piling up in drain valley, good slope, blistering, Hypalon flashings failing

See Financial Summary for estimated replacement cost



Photo showing overview of Area 14 roof.



Photo showing additional overview of Area 14 roof.

Area 15

Poor condition

4,180 sf

Gravel built up retrofitted with EPDM

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 15 roof.



Photo showing area of EPDM pushing up.



Photo showing a seam coated on EPDM membrane.



Photo showing skrum showing through deteriorated roof membrane.



Photo showing additional coated seams.



Photo showing fan on HVAC unit that is dislodged.

Area 16

Poor condition

750 sf

Gravel built up retrofitted with EPDM

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 16 roof.



Photo showing condition of the perimeter flashings.



Photo showing connection from EPDM overlay with gravel BUR area.

Area 17

Poor condition

8,120 sf

Gravel built up

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 17 roof.



Photo showing additional overview of Area 17 roof.



Photo showing a corner flashing that is beginning to open up.



Photo showing condition of the perimeter flashings.



Photo showing a repair made to the corner with roofing mastic.

Area 18

Poor condition

5,240 sf

Gravel built up

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 18 roof.



Photo showing ponding water.



Photo showing additional ponding water.



Photo showing overview of smaller section of roof.



Photo showing condition of the perimeter flashings.



Photo showing additional ponding water.

Area 19

Poor condition

9,700 sf

Gravel built up

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 19 roof.



Photo showing condition of the perimeter flashings.



Photo showing ductwork with damaged wall open to elements.



Photo showing additional overview of Area 19 roof.



Photo showing area coated in roofing mastic beginning to crack.

Area 20

Poor condition

6,530 sf

Gravel built up

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 20 roof.



Photo showing additional overview of Area 20 roof.



Photo showing condition of projection flashings.



Photo showing ponding water.



Photo showing area of gravel BUR repaired with base sheet.



Photo showing perimeter flashing transition coated in deteriorating roofing mastic.



Photo showing condition of the perimeter flashings.

Area 21

Poor condition

11,430 sf

DuraLast

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 21 roof.



Photo showing overview of Area 21 roof.

Area 22

Poor condition

5,550 sf

Mod Bit

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 22 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of projection flashings.



Photo showing skim showing through deteriorated roof.



Photo showing skim showing through deteriorated roof.

Area 23

Poor condition

9,860 sf

Shingles

This roof does not appear to be performing well

See Financial Summary for estimated replacement cost



Photo showing overview of Area 23 roof.

Area 24

Poor condition

3,400 sf

Aluminum coated Mod Bit

See Financial Summary for estimated replacement cost



Photo showing overview of Area 24 roof.



2024 Lansing Elementary

Area 01

Poor condition

14,410 sf

Mod Bit

Soft areas, base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing additional overview of Area 01 roof.



Photo showing granules piled up from deterioration.



Photo showing granules piled up from deterioration.



Photo showing condition of adjacent roof.



Photo showing crack in the projection flashings.



Photo showing scrim visible through deteriorating field.



Photo showing condition of the expansion joint.



Photo showing condition of the perimeter flashings.



Photo showing area with new Mod Bit under sleepers.



Photo showing condition of the projection flashings and deteriorating field.



Photo showing area coated with aluminum.



Photo showing condition of the projection flashings.



Photo showing condition of the pitch pan.



Photo showing deteriorated field.



Photo showing deteriorating details.



Photo showing rusted vent stack supports.



Photo showing vent flashings.



Photo showing condition of pitch pan.



Photo showing area were insulation is soft under field.

Area 02

Poor condition

13,130 sf

Mod Bit

Base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing condition of the perimeter flashings.



Photo showing granules piled up from deterioration.



Photo showing condition of the projection flashings and deteriorated field.



Photo showing drain area coated with aluminum.



Photo showing additional area around drain coated with aluminum.



Photo showing skim visible through deteriorating field.



Photo showing condition of the perimeter flashings.



Photo showing deteriorating field.

Area 03

Poor condition

5,000 sf

Mod Bit

Base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing deteriorating field.



Photo showing granules and wrinkles around drain.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing deteriorated field.



Photo showing condition of the drain.

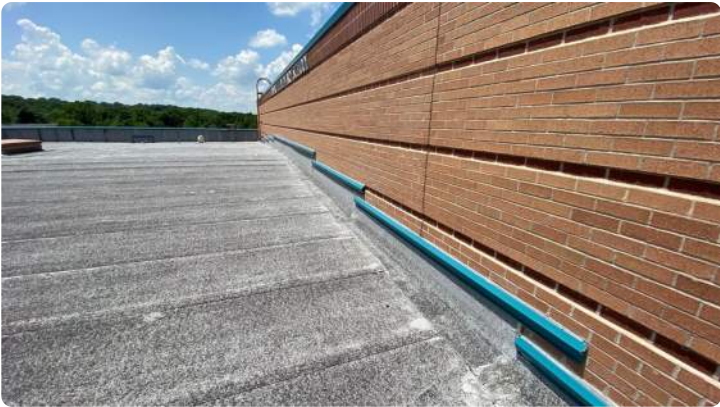


Photo showing condition of the perimeter flashings.

Area 04

Poor condition

8,000 sf

Mod Bit

Blisters, Skrim showing through seams

See Financial Summary for estimated replacement cost



Photo showing overview of Area 04 roof.



Photo showing condition of the perimeter flashings.



Photo showing deterioration around drain.



Photo showing loose granules and deterioration of field.



Photo showing skim visible through deteriorating field.

Area 05

Poor condition

8,470 sf

Mod Bit

Base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 05 roof.



Photo showing granules piled up from deterioration.



Photo showing deterioration around drain.



Photo showing scrim visible through deteriorating field.



Photo showing deterioration of the field.



Photo showing skim visible through deteriorating perimeter.

Area 06

Poor condition

16,430 sf

Mod Bit

Soft areas, base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 06 roof.



Additional overview of Area 06 roof.



Photo showing granules piled up from deterioration.



Photo showing condition of the perimeter flashings.



Photo showing deterioration in field.



Photo showing skim showing through field at seam.



Photo showing skim showing through field.



Photo showing areas previously coated in select areas.



Photo showing previous coating repairs made to field around unit.



Photo showing condition of the projection flashings.

Area 07

Poor condition

8,020 sf

Mod Bit

Soft areas, base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 07 roof.



Photo showing condition of the expansion joint.



Photo showing additional overview of Area 07 roof.



Photo showing granules piled up from deterioration.



Photo showing skim showing through seams.



Photo showing skim showing through field.



Photo showing skim exposed in field.



Additional photo of skim showing though field.

Area 08

Poor condition

25,400 sf

Mod Bit

Soft areas, base sheet missing granules, rubber flashed interior perimeter

See financial Summary for estimated replacement cost



Photo showing overview of Area 08 roof.



Additional overview of Area 08 roof.



Photo showing section of roof previously coated.



Photo showing patch previously made next to unit where condensation is ponding.



Photo showing skim exposed in the field.



Photo showing roof with granules deteriorated from field.



Photo showing addition deterioration in field.



Photo showing deterioration in field.



Photo showing field deterioration.



Photo showing deterioration of field.



Photo showing drain clogged with trash. Cleared as part of the maintenance agreement.



photo showing cleared drain.



Photo showing blisters around drains.



Photo showing overview of adjacent metal roof.



Photo showing corner with multiple openings that was repaired.



Photo showing deterioration in field.

Area 09

Poor condition

13,500 sf

Mod Bit

Soft areas, base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 09 roof.



Photo showing blistering and granules piled up around drain.



Photo showing deterioration of the field.



Photo showing loose granules and field deterioration.



Photo showing condition of projection flashing.



Photo showing deterioration of the field.



Photo showing skim showing through



Photo



Photo showing condition of the perimeter flashings.



Photo showing additional skim exposed in deteriorated field.



Photo showing additional skim exposed and deterioration in field.

Area 10

Poor condition

16,060 sf

Mod Bit

Base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



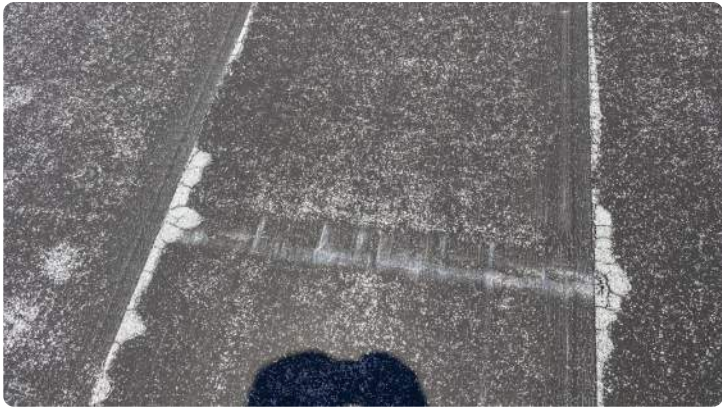
Photo showing overview of Area 10 roof.



Photo showing deteriorated field.



Photo showing skim exposed at seams.



Additional photo of exposed skim.



Photo showing exposed skim in deteriorated field.



Photo showing additional skim exposed at seams.



Photo showing skim exposed in field.



Photo showing skim exposed in field.



Photo showing section of roof that was previously coated.



Photo showing gouge in field with exposed skim.

Area 11

Poor condition

8,430 sf

Mod Bit

Base sheet missing granules, rubber flashed interior perimeter

See Financial Summary for estimated replacement cost



Photo showing overview of Area 11 roof.



Photo showing exposed scrim at seam.



Photo showing granules piled up along drain valley and in drain.



Photo showing deteriorated field with exposed scrim.



Photo showing additional deterioration.



Photo showing skim exposed in target patch.



Photo showing screw backing out of the metal perimeter cap.



Photo showing deterioration of the field.



2024 Lansing Intermediate

Area 01

Poor condition

2,690 sf

Mod bit

Cracking base sheet, soft areas, skim exposed, Hypalon flashings

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing condition of area surrounding hatch.



Photo showing loose granules piled up from field.



Photo showing coating cracking.



Photo showing additional cracking in field.



Photo showing more field deterioration.



Photo showing additional overview of Area 01 roof.



Photo showing condition of the projection flashings.



Photo showing condition of wall membrane.

Area 02

Poor condition

14,080 sf

Mod bit

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing skim coming through in the field due to deterioration.



Photo showing deterioration of the field.



Photo showing additional deterioration of the field.



Photo showing scrim visible through the deteriorating field.

Area 03

Poor condition

5,940 sf

Mod bit

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing condition of the perimeter flashings.



Photo showing skrim visible through the deteriorated field.



Photo showing skrim visible through the deteriorated field.



Photo showing granules piled up from deteriorated field.

Area 04

Poor condition

7,280 sf

Mod bit

Skrim exposed, loose granules, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 04 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings and deterioration of the field.



Photo showing cracking in projection flashings.



Photo showing deterioration in the perimeter flashings.



Photo showing granules piled up from deteriorated field.



Photo showing deteriorated field.

Area 05

Poor condition

8,900 sf

Mod bit

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 05 roof.



Photo showing granules piled up and deterioration of the field.



Photo showing condition of the perimeter flashings.



Photo showing granules piled up from field deterioration.



Photo showing area where field is wrinkled with fish-mouths.



Photo showing scrim visble through deteriorated field.



Photo showing condition of the skylight.

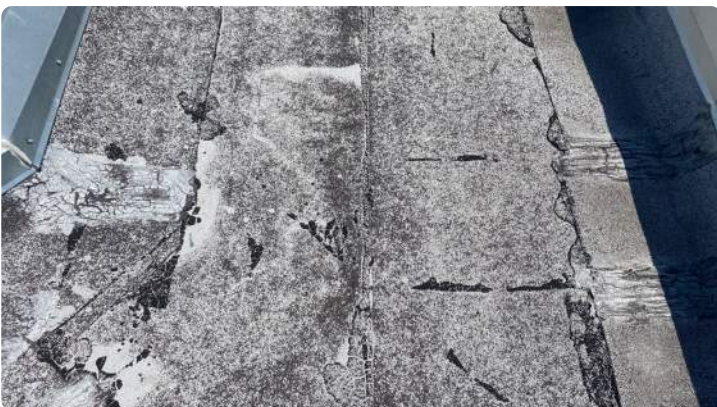


Photo showing deterioration of the field.

Area 06

Poor condition

17,300 sf

Mod bit with small adjacent EPDM areas

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 06 roof.



Photo showing additional overview of Area 06 roof.



Photo showing condition of adjacent EPDM roof.



Photos showing granules piled up from deteriorating field.



Photo showing aluminum coated seams on deteriorated field.



Photo showing skim visible through projection flashings.



Photo showing granules piled up from deteriorated roof.



Photo showing deterioration of field.

Area 07

Poor condition

5,000 sf

Mod bit with metal interior roof

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 07 roof.



Photo showing condition of the perimeter flashings.



Photo showing additional overview of Area 07 roof.

Area 08

Poor condition

17,980 sf

Mod bit with small adjacent EPDM areas.

Skrim exposed, field deteriorating

See Financial Summary for estimated replacement cost



Photo showing overview of Area 08 roof.



Photo showing exposed scrim in field.



Photo showing adjacent EPDM section.



Photo showing additional EPDM section.



Photo showing additional EPDM section.





2024 Lansing High School

Area 01

Fair condition

Thermoplastic

1,800 sf

Soft area, one hole patched as part of the maintenance agreement

See Financial Summary for estimated replacement cost



Photo showing overview of Area 01 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing a hole in the field membrane with soft insulation underneath. Repaired as part of the maintenance agreement.

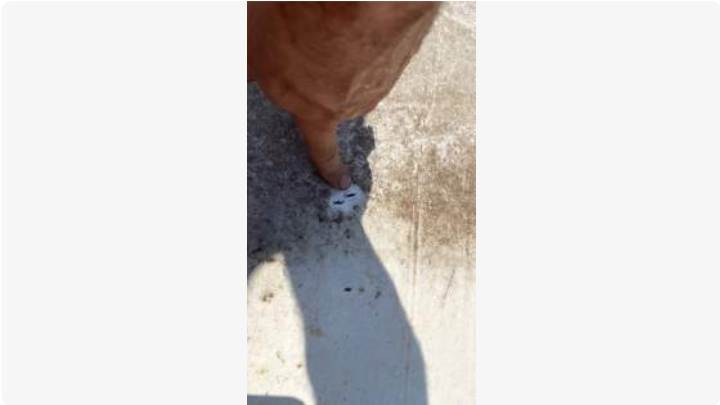


Photo showing a hole in the field membrane. Repaired as part of the maintenance agreement.

Area 02

Fair condition

Thermoplastic

4,640 sf

Wall joint is open and should be filled

See Financial Summary for estimated replacement cost



Photo showing overview of Area 02 roof.



Photo showing condition of the perimeter flashings.



Photo showing condition of the projection flashings.



Photo showing additional photo of the perimeter flashings.



Photo showing area in wall where it is open to elements. I recommend filling this gap with appropriate caulking.

Area 03

Fair condition

Thermoplastic

2,640 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 03 roof.



Photo showing condition of the gutter edge.

Area 04

Fair condition

Thermoplastic

5,680 sf

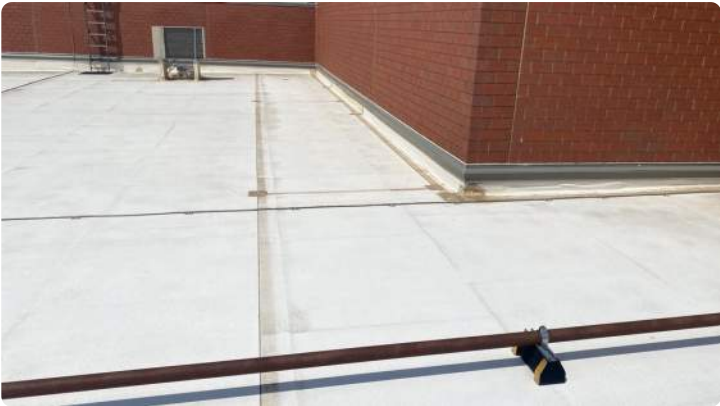
See Financial Summary for estimated replacement cost



Photo showing overview of the Area 04 roof.



Photo showing condition of the perimeter flashings.



Additional photo showing condition of the perimeter flashings.

Area 05

Fair condition

Thermoplastic

14,100 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 05 roof.



Photo showing condition of perimeter flashings.



Photo showing additional overview of Area 05 roof.

Area 06

Fair condition

Thermoplastic

5,800 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 06 roof.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.



Photo showing condition if the projection flashings.

Area 07

Fair condition

Thermoplastic

6,960 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 07 roof.



Photo showing additional overview of Area 07 roof.



Photo showing condition if the projection flashings with layer of EPDM around unit.



Additional photo showing unit surrounded by EPDM.



Photo showing additional overview of Area 07 roof.

Area 08

Fair condition

Thermoplastic

7,400 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 08 roof.



Photo showing additional overview of Area 08 roof.



Photo showing condition of the projection flashings.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.

Area 09

Fair condition

Thermoplastic

1,300 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 09 roof.

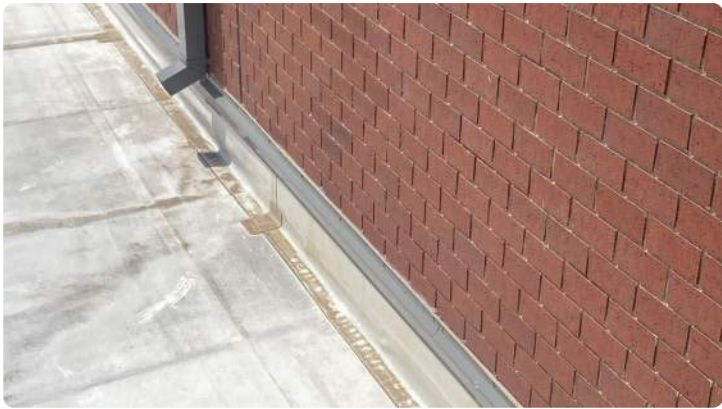


Photo showing condition of perimeter flashings.



Photo showing condition of the gutter edge.

Area 10

Fair condition

Thermoplastic

8,590 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 10 roof.



Photo showing condition of the projection flashings.



Photo showing condition of perimeter flashings.

Area 11

Fair condition

Thermoplastic

14,060 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 11 roof.



Photo showing additional overview of Area 11 roof.

Area 12

Fair condition

Thermoplastic

16,470 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 12 roof.



Photo showing condition of perimeter flashings.



Photo showing condition of the projection flashings.



Additional photo showing condition of perimeter flashings.

Area 13

Fair condition

Thermoplastic

10,870 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 13 roof.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.



Photo showing multiple patches from previous damage.



Photo showing additional patch to previous damage.



Photo showing additional overview of Area 13 roof.



Photo showing minor ponding water.

Area 14

Fair condition

Thermoplastic

32,760 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 14 roof.



Photo showing additional overview of Area 14 roof.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.



Photo showing condition of perimeter flashings.

Area 15

Fair condition

Thermoplastic

4,160 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 15 roof.



Photo showing additional overview of Area 15 roof.



Photo showing condition of perimeter flashings.

Area 16

Fair condition

Thermoplastic

2,860 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 16 roof.



Photo showing condition of perimeter flashings.

Area 17

Fair condition

Thermoplastic

10,560 sf

See Financial Summary for estimated replacement cost



Photo showing overview of Area 17 roof.



Photo showing additional overview of Area 17 roof.



Photo showing condition if the projection flashings.



Photo showing condition if the projection flashings.



Photo showing condition if the projection flashings.



Photo showing condition if the projection flashings.



Photo showing additional overview of Area 17 roof.

Area 18

Fair condition

Thermoplastic

4,180 sf

See Financial Summary for estimated replacement cost