



Plan and Zoning Commission
7:00 p.m. Tuesday, January 4, 2022
Village of Mahomet - Administrative Office
Virtual Meeting Via Zoom or Skype for Business

Join Zoom Meeting
<https://us02web.zoom.us/j/82438138419?pwd=RUK5amo4LzRpZVlBZHVodlN6aE5Odz09>
Meeting ID: 824 3813 8419
Passcode: 61853

Dial by your location
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Join by SIP
82438138419@zoomcrc.com

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AGENDA

1. CALL TO ORDER

2. ROLL CALL

- 3. PUBLIC COMMENT:** The Commission welcomes your input. The meeting will have an online option, login information provided above. Interested citizens are invited to provide comments either at the public hearing (in person or online) or by prior written statement. Public comments may be submitted in hard copy by placing them in the drop box outside of the Administrative Office (503 E. Main Street, Mahomet) before 2:00 pm on January 4, 2022. Other written comments may be submitted by emailing Abby Heckman, aheckman@mahomet-il.gov no later than the start of the meeting on January 4, 2022 to ensure placement of such comments in the official record of the meeting.

4. PUBLIC HEARINGS:

CU2022-01: VISION SOUTH FIRST SUBDIVISION LOT 1102R (TABELING DEVELOPMENT CO LLC)
A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT TO ESTABLISH A MIXED USE COMMERCIAL DEVELOPMENT ON 1.99± ACRES OF LAND ZONED C-2 GENERAL COMMERCIAL LOCATED ON THE NORTH SIDE OF PATTON DRIVE, SOUTH OF OAK STREET, APPROXIMATELY 845 FEET EAST OF CHURCHILL ROAD

CU2022-02: VISION SOUTH FIRST SUBDIVISION LOT 102 (TABELING DEVELOPMENT CO LLC)
A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT TO ESTABLISH A MULTIPLE-FAMILY DEVELOPMENT AND TO ESTABLISH DWELLINGS WITH A COMMERCIAL USE ON 5.9± ACRES OF LAND ZONED R-3C MULTIPLE-FAMILY RESIDENTIAL AND C-2 GENERAL COMMERCIAL LOCATED ON THE SOUTH SIDE OF PATTON DRIVE, APPROXIMATELY 600 FEET EAST OF CHURCHILL ROAD

5. RESOLUTIONS and MOTIONS (TO BE ACTED UPON):

ZA2021-07: VICTOR J FUENTES

A RESOLUTION CONCERNING A REZONING FOR 14.79± ACRES OF LAND FROM R1A SINGLE-FAMILY RESIDENTIAL DISTRICT TO AG AGRICULTURE DISTRICT LOCATED NORTHEAST OF THE INTERSECTION OF COPPERHILL DRIVE AND COUNTY ROAD 325E COMMONLY KNOWN AS 402 COPPERHILL DRIVE

CU2022-01: VISION SOUTH FIRST SUBDIVISION LOT 1102R (TABELING DEVELOPMENT CO LLC)

A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT TO ESTABLISH A MIXED USE COMMERCIAL DEVELOPMENT ON 1.99± ACRES OF LAND ZONED C-2 GENERAL COMMERCIAL LOCATED ON THE NORTH SIDE OF PATTON DRIVE, SOUTH OF OAK STREET, APPROXIMATELY 845 FEET EAST OF CHURCHILL ROAD

CU2022-02: VISION SOUTH FIRST SUBDIVISION LOT 102 (TABELING DEVELOPMENT CO LLC)

A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT TO ESTABLISH A MULTIPLE-FAMILY DEVELOPMENT AND TO ESTABLISH DWELLINGS WITH A COMMERCIAL USE ON 5.9± ACRES OF LAND ZONED R-3C MULTIPLE-FAMILY RESIDENTIAL AND C-2 GENERAL COMMERCIAL LOCATED ON THE SOUTH SIDE OF PATTON DRIVE, APPROXIMATELY 600 FEET EAST OF CHURCHILL ROAD

VAR2022-01: VILLAGE OF MAHOMET

A RESOLUTION CONCERNING VARIANCE REQUESTS RELATING TO MINIMUM REAR YARD SETBACK, MINIMUM SIDE YARD SETBACK AND MAXIMUM FENCE HEIGHT ON 2.03± ACRES OF LAND ZONED R-1B SINGLE-FAMILY RESIDENTIAL LOCATED AT THE NORTHWEST CORNER OF DIVISION AND MAIN STREETS

VAR2022-02: JAMES HAY AND MARY CARRARA-HAY

A RESOLUTION CONCERNING VARIANCE REQUESTS RELATING TO MINIMUM PARKING LOT SETBACK AND MINIMUM SETBACK FOR AN ACCESSORY STRUCTURE ON 0.36± ACRE OF LAND ZONED C-2 GENERAL COMMERCIAL LOCATED AT 110 S LOMBARD STREET.

MAP2021-03: KIMBALL SUBDIVISION

A RESOLUTION CONCERNING A FINAL PLAT AND RELATED WAIVER REQUESTS FOR KIMBALL SUBDIVISION ON 4.7± ACRES OF LAND LOCATED NORTH SIDE OF CLARK STREET APPROXIMATELY 230 FEET WEST OF PRAIRIEVIEW ROAD

6. PRELIMINARY DISCUSSION:

QUENTIN MCNEW - DISCUSSION OF LAND AREA WHICH INCLUDES TIN CUP CAMPGROUND AND UNDEVELOPED FOX RUN SUBDIVISION

7. COMMISSIONER / STAFF COMMENTS:

NEXT PZC MEETING – FEBRUARY 1, 2022

8. ADJOURN



**Plan and Zoning Commission
Staff Report
Meeting January 4, 2022**

FROM: Abby Heckman, Planner
Kelly Pfeifer, Community Development Director and Village Planner

PROJECT: CU2022-01 - CONDITIONAL USE PERMIT – Vision South 1st Sub Lot 1102R

PETITIONER: Tabeling Development Co, LLC

REQUESTED ACTION: The petitioner has requested consideration of a conditional use to establish three (3) mixed use commercial buildings located at 1826 Patton Drive. The petitioner would like to construct three (3) new mixed use commercial buildings and associated parking. The proposed mix of commercial uses requires a conditional use permit in the C-2 zoning district (152.028(B)(12)).

PUBLIC HEARING / PROCEDURAL ISSUES: The Zoning Ordinance requires the Plan and Zoning Commission (PZC) to hold a public hearing upon request for a Conditional Use permit. The public hearing is scheduled for the January 4, 2022 PZC meeting. Public notice was published in the Mahomet Citizen on December 19, 2021. Courtesy notice letters were sent to neighbors via USPS. The PZC acts in an advisory role to the Board of Trustees regarding conditional use requests.

LOCATION / SITE DESCRIPTION: The site is located on the north side of Patton Drive south of Oak Street and approximately 845 feet east of Churchill Road and includes one (1) 1.99± acre lot, Vision South First Subdivision Lot 1102R, zoned C-2 General Commercial District. The subject property has an approved site plan for the construction of one (1) commercial building. The petitioner is asking for additional principle uses within the currently approved commercial building along with two (2) additional mixed use commercial buildings.

LAND USE AND ZONING:

Direction	Current Land Use	Current Zoning
On-Site	Commercial Development Land	C-2 General Commercial District
North	Undeveloped / Residential	R-1A Single-Family Residential District
South	Multi-Family Residential	C-2 General Commercial / R-3C Multiple-Family Residential District
East	Undeveloped	R-1A Single-Family Residential District
West	Commercial Development Land	C-2 General Commercial District

The Zoning Ordinance requires a conditional use permit for mixed uses in the C-2 district.

PUBLIC WATER AND SANITARY SEWER FACILITIES: Water and sanitary sewer is available to this site.

AVAILABILITY OF PUBLIC UTILITIES: Public utilities exist to the site and are in the area.

STREET ACCESS / TRAFFIC: The subject property has access from Patton Drive. No direct access to Oak Street (US 150) is permitted due to access control by IDOT. The petitioner intends to utilize one (1) shared driveway access for the subject property and tie internal site circulation to the lot to the west. Sidewalks exist along the frontage of both Oak Street and Patton Drive.

STORMWATER MANAGEMENT: Site development will comply with the Village stormwater management ordinance.

POLICE AND FIRE PROTECTION: The Village of Mahomet Police Department currently provides police protection to this site which is approximately 1.7 miles from the police station. This property is within the Cornbelt Fire Protection District and is approximately 2 miles from the Main Street fire station.

CONFORMANCE TO COMPREHENSIVE PLAN: The Village of Mahomet Comprehensive Plan currently designates this site as part of the East US 150 Gateway functional framework area. The future land use plan recommends neighborhood commercial and multi-family residential uses at this location. Commercial uses are intended to primarily serve the day-to-needs of surrounding neighborhoods but could also include destination uses for Village residents. Commercial development in the area along the frontage of Oak Street (US 150) should be encouraged to take advantage of high visibility along a high traffic roadway. Since this area serves as a gateway to the Village, features such as signage and landscaping should be considered to provide an attractive entrance to the Village.

SUITABILITY OF PROPOSED CONDITIONAL USE: This site is located in the area of an existing mixed use commercial development, adjacent to existing lots ready for commercial development and land that is zoned for multiple-family residential uses. The site is in an area of town that is expected to develop commercially with higher density residential as transition zoning. Some uses within the C2 zoning district could be considered less desirable in this area. The applicant provided a list of uses to be restricted at part of a Conditional Use Permit which staff used as a starting point when developing staff suggested restrictions to allowed uses listed under the Village Staff Recommendation section.

STANDARDS FOR CONDITIONAL USES: The standards set forth below may be assured through the imposition of specific conditions for the Conditional Use Permit. The Mahomet Zoning ordinance states that Conditional uses must be planned in such a manner to assure that:

1. The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values with the neighborhood.
3. The establishment on the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
4. Adequate utilities access roads, drainage and/or other necessary facilities will be provided.
5. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

6. The conditional use shall, in all respects, conform to the applicable regulations of the district in which it is located and the Board shall find that this is a public necessity.

STAFF DISCUSSION / ANALYSIS: The Conditional Use Permit process allows the Village to establish site-specific conditions upon a particular use to assure that the use does not adversely impact the neighborhood. The Plan and Zoning Commission will need to consider what conditions, if any, should be a part of the conditional use permit. Staff recommended conditions are listed below and can be altered by the PZC as necessary.

VILLAGE STAFF RECOMMENDATION: Village staff recommend the PZC impose the following conditions on the conditional use permit:

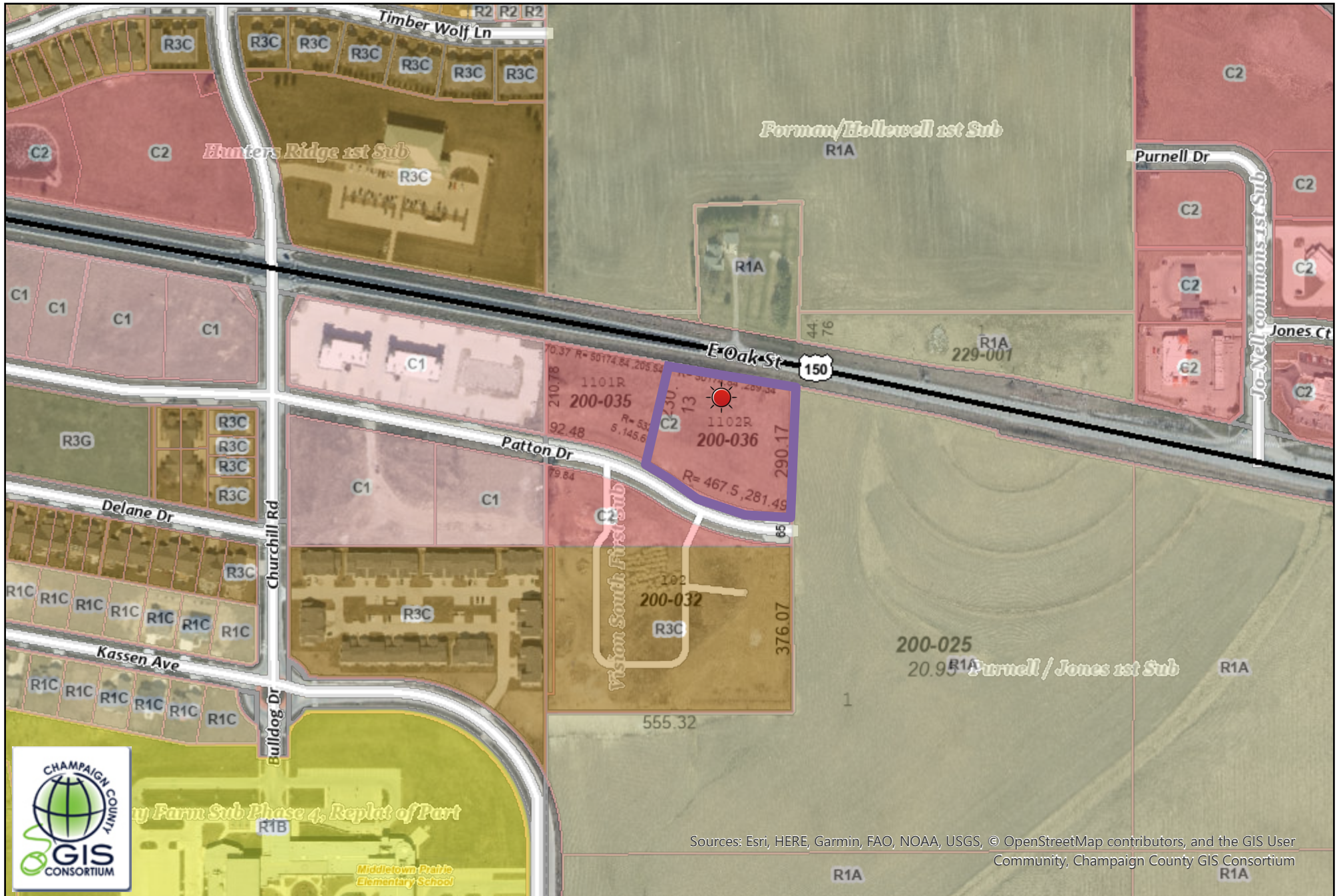
1. Site development must substantially comply with the Site Plan as presented to the PZC (Site Plan dated January 4, 2022).
2. Landscaping plan must be submitted which provides a perimeter parking lot buffering.
3. Only exterior lighting fixtures that are full cut-off / fully shielded which minimizes skyglow, glare and light trespass will be allowed.
4. A shared use monument style freestanding sign of up to 75 sq ft in area and a maximum of six (6) feet in height will be permitted along the frontage of Oak Street. No other freestanding signage allowed along the frontage of Oak Street.
5. Permitted uses are allowed as listed on the attached Exhibit Conditional Use Permit – Allowed Uses.
6. The site must obtain Site Development Plan approval prior to the start of any site construction and be fully compliant prior to any new building permit application or occupancy permit application.
7. All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
8. The site must comply with all applicable provisions of the Zoning Ordinance.

PROCEDURES: A draft resolution is presented with staff recommendations for conditions. However, the commission should consider the public hearing testimony and the testimony of the petitioner in the meeting and request modifications as needed.

ATTACHMENTS:

- 1) Property Aerial / Zoning Map
- 2) Draft Resolution
- 3) Site Plan (2 pages)
- 4) Exhibit – Allowed Uses
- 5) Conditional Use Application

CU2022-01 VS lot 1102R Mixed Use Commercial



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium



This map was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this map is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this map and information contained herein. The use of this map constitutes acknowledgement of this disclaimer.



RESOLUTION FOR PLAN & ZONING COMMISSION

A Resolution Concerning a Conditional Use Permit for a mixed-use commercial development in the C-2 General Commercial District

- WHEREAS,** the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,
- WHEREAS,** the Petitioner, Tabela Development Co LLC, requested a conditional use permit be granted under the terms of the Village Zoning Ordinance to allow for a mixed-use commercial development on land located within the C-2 General Commercial District; and,
- WHEREAS,** the subject project is located on the north side of Patton Drive south of Oak Street and approximately 845 feet east of Churchill Road and the legal description for the proposed Conditional Use Permit is as follows:
- Lot 1102R of Replat of Lot 101 Vision South First Subdivision recorded as Document 2021R27374 in the Office of the Recorder for Champaign County, Illinois
- WHEREAS,** the Petitioner has submitted certain documents for review and approval by the Village; and,
- WHEREAS,** a Public Hearing concerning the proposed Conditional Use Permit was held on January 4, 2022 by the Plan and Zoning Commission to solicit evidence and testimony from the public; and,
- WHEREAS,** the Village Planner, Village Engineer, and Village Attorney provided staff with technical background, review and analysis regarding the requested conditional use; and,
- WHEREAS,** the Plan and Zoning Commission met and reviewed the evidence and testimony submitted and considered all of the available factual evidence concerning the requested action; and,
- WHEREAS,** the Plan and Zoning Commission adopted findings of fact and further provided a recommendation to the Board of Trustees to approve the requested action.

BE IT THEREFORE RESOLVED this 4th day of January, 2022 by the Plan and Zoning Commission of the Village of Mahomet that:

1. The Plan and Zoning Commission does hereby recommend the Board of Trustees **GRANT / DENY** the requested Conditional Use Permit for mixed-use commercial development at the above described property.

2. The Plan and Zoning Commission does hereby further state that the conditional use shall be subject to the following conditions:
 - a) Site development must substantially comply with the Site Plan as presented to the PZC (Site Plan dated January 4, 2022).
 - b) Landscaping plan must be submitted which provides a perimeter parking lot buffering.
 - c) Only exterior lighting fixtures that are full cut-off / fully shielded which minimizes skyglow, glare and light trespass will be allowed.
 - d) A shared use monument style freestanding sign of up to 75 sq ft in area and a maximum of six (6) feet in height will be permitted along the frontage of Oak Street. No other freestanding signage allowed along the frontage of Oak Street.
 - e) Permitted uses are allowed as listed on the attached Exhibit Conditional Use Permit – Allowed Uses.
 - f) The site must obtain Site Development Plan approval prior to the start of any site construction and be fully compliant prior to any new building permit application or occupancy permit application.
 - g) All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
 - h) The site must comply with all applicable provisions of the Zoning Ordinance.
 - i) _____
 - j) _____

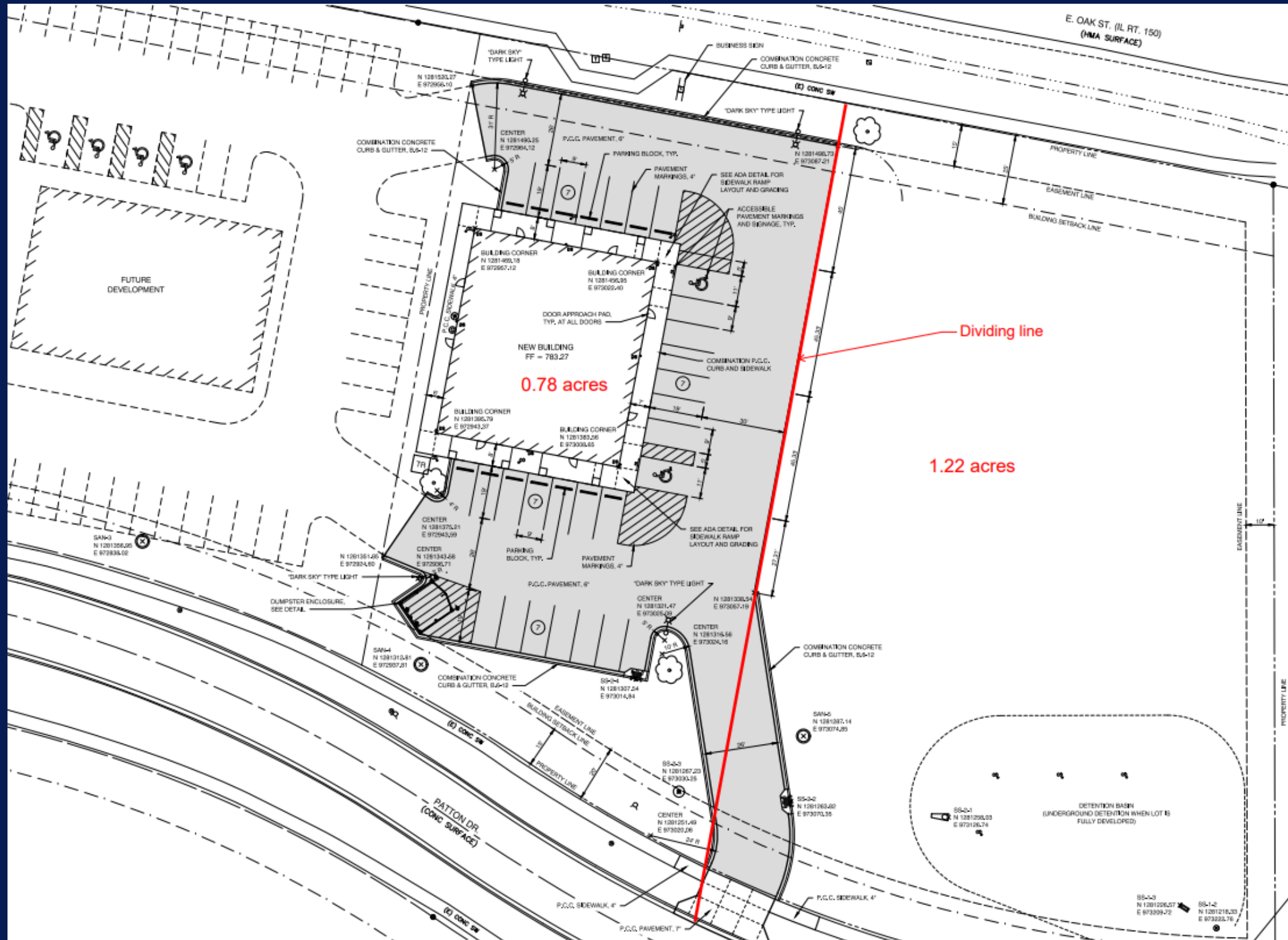
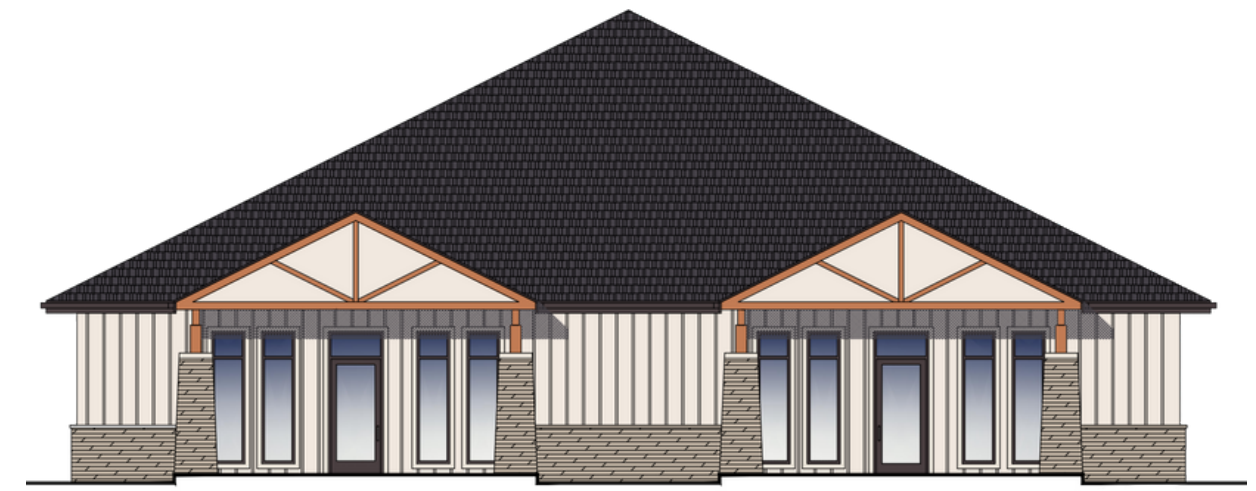
3. The Plan and Zoning Commission does hereby confirm the following findings of fact regarding the requested Conditional Use Permit:
 - a. The establishment, maintenance, or operation of the Conditional Use **WILL / WILL NOT** be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
 - b. The conditional use **WILL / WILL NOT** be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values within the neighborhood;
 - c. The establishment of the conditional use **WILL / WILL NOT** impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

- d. Adequate utilities, access roads, drainage, and/or other necessary facilities **WILL / WILL NOT** be provided;
- e. The conditional use **DOES / DOES NOT** in all other respects conform to the applicable regulations of the district in which it is located;
- f. There **IS / IS NOT** a public necessity for the conditional use at this site;
- g. The proposed conditional use **DOES / DOES NOT** conform with the intent of the Village Comprehensive Plan.
- h. The proposed conditional use **WILL / WILL NOT** be compatible with the established land use pattern in the vicinity.
- i. The site **IS / IS NOT** suitable for the proposed conditional use.
- j. The proposed conditional use **WILL / WILL NOT** significantly adversely impact existing traffic patterns.
- k. Adequate facilities for municipal water supply and wastewater disposal **ARE / ARE NOT** available for the site.
- l. Adequate provisions for stormwater drainage **ARE / ARE NOT** available for the site.
- m. The proposed conditional use **WILL / WILL NOT** adversely impact police protection, fire protection, schools, or public facilities.
- n. The proposed conditional use **WILL / WILL NOT** conflict with existing public commitments for planned public improvements.
- o. The proposed conditional use **WILL / WILL NOT** preserve the essential character of the neighborhood in which it is located.
- p. The proposed conditional use **WILL / WILL NOT** alter the population density pattern and **WILL / WILL NOT** adversely impact public facilities.
- q. The proposed conditional use **WILL / WILL NOT** result in private investment that will be beneficial to the proper development of the community.
- r. _____

4. The approval recommended above shall be subject to the fulfillment of the conditions set forth in Item 2 above. In the event that these conditions are not fulfilled, the Conditional Use Permit may become void and no occupancy permit for the project may be issued, or the occupancy permit previously issued may be revoked.

Chair, Plan and Zoning Commission

VISION SOUTH COMMERCIAL CENTER



- Just under 5,000sqft
- Up to 4 units
- One unit pre-leased to a local salon

Phase One will contain 0.78 acres and the building shown. Future phases will contain up to two additional commercial buildings.



FUTURE PHASE

- Two pad sites available, can combine if needed.
- Total of 1.22 acres.
- Max of 7,670sqft each approved for two buildings
- Frontage on US 150 and Patton Dr
- Zoned C2 for general commercial use
- Shared parking lot



Shown above is a potential building elevation for the future phase.



EXHIBIT

CONDITIONAL USE PERMIT – ALLOWED USES

1826 Patton Drive – South of Oak Street approximately 845 feet east of Churchill Road.

1. Church;
2. Bank or financial institution;
3. Dressmaking, tailoring, shoe repairing, repair of household appliances and bicycles, catering, and other uses of a similar character;
4. Office or office buildings;
5. Personal service uses including barber shop, beauty parlor, photographic or art studio, newspaper, florist, laundry service, animal grooming and other uses of a similar character;
6. General merchandise retail store, in connection with which there shall be no slaughtering of animals or poultry, nor commercial fish cleaning and processing on the premises;
7. Restaurants, cafeterias, bars and taverns, donut/bakery shop and other uses of a similar character;
8. Computer and personal electronics sales and repair;
9. Private indoor recreational or fitness facility;
10. Specialty retail store, such as apparel, jewelry, book, shoe, stationary, antique and other similar stores;
11. Dancing or music academy;
12. Display and salesroom;
13. Laboratory, research, experimental or testing;
14. Property rental or real estate agency;
15. Grocery store;
16. Drive-through or drive-in facility, see standards in § 152.053;
17. Medical, chiropractic, eye, or dental clinic;
18. Heating and air conditioning sales and service;
19. Private club or lodge;
20. Car wash;
21. Convenience store without gasoline sales;
22. Bakery for off-site sales;
23. Mixed-use;
24. Micro-brewery;

Case Name: _____

**REQUEST FOR CONDITIONAL USE
VILLAGE OF MAHOMET**

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

Date Filed: _____ Date of Hearing: _____

Date of Published Notice: _____ Newspaper: _____

Fee Paid – Receipt No.: _____ Amount: _____ Date: _____

Comments (indicate other actions such as continuances):
ck \$107.60 pd 12/17/2021

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Conditional Use Permit is a Zoning adjustment which permits a change in district requirements and which permits uses not normally allowed by strict application of the ordinance. The Village of Mahomet may impose any conditions of acceptance which it deems to be in the best interests of the community, to which the applicant must abide. Those conditions may include compliance to a site development plan.
2. No Conditional Use Permit will be granted which would adversely affect surrounding property or the general neighborhood. All Conditional Uses must be in harmony with the intent and purpose of the Zoning Ordinance.
3. There will be no refund of application fee for any Conditional Use Permit not granted or withdrawn.
4. No incomplete applications will be acted upon.
5. Granting a Conditional Use Permit requires that the Village hold a Public Hearing regarding the request and publication of a Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village staff to assure consideration of their request in as timely a manner as is reasonably possible.

DATE ON APPLICANT AND OWNERS

Name of Applicant(s): _____ Phone: _____

Address of Applicant(s): _____

Property Interest of Applicant(s): _____
(Owner, Contract Purchaser/Agent, etc.)

Name of Owner: _____

Address of Owner: _____

=====

ADDRESS, AND DESCRIPTION OF PROPERTY

Address: _____

Width of Lot: _____ Length of Lot: _____ Lot Area (Square feet): _____

Tax Parcel Number: _____

Legal Description (or attach legal description): _____

=====

LAND USE AND ZONING

Present Zoning: _____

Present Land Use: _____

Proposed Land Use: _____

	Surrounding Zoning	Surrounding Land Use
North	_____	_____
South	_____	_____
East	_____	_____
West	_____	_____

REASONS FOR REQUEST FOR CONDITIONAL USE PERMIT

NOTE: The Following questions must be answered completely. If additional space is needed, attach extra pages to the application. Before answering, read the **Notice to Applicants** attached.

1. Describe in detail the purposed conditional use being requested.

2. Are there other sites available for the proposed use? Explain.

3. What circumstances justify the need for the proposed use at this location? Elaborate.

4. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at the present time? Yes_____ No_____ If yes, how?

5. Is the subject property planned to be improved? Yes_____ No_____

When?_____

What improvements are planned?_____

6. Will the grant of conditional use in the form requested be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance? Elaborate.

7. Have there been major land use changes since zoning was applied in 1963 i.e. new expressway, new dam, etc? Elaborate.

8. Would the proposed change create an isolated use unrelated to adjacent land use or zoning? Explain.

9. Can the owner of the property realize an economic benefit from permitted uses in accordance with existing zoning? Elaborate.

10. Are there other sites available already zoned for the proposed use? Elaborate.

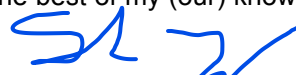
11. Additional comments by the Applicant: _____

SKETCH PLAN

1. Is there a scaled plot plan attached that indicates the location of the premises and the nature of the site? Yes _____ No _____ (Application will not be processed without the required drawing)

2. Additional exhibits submitted by Applicant: _____

I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.



(Signature) Applicant

11.24.21
Date



(Signature) Owner

11.24.21
Date



Site

Vision
South

Mahomet, IL
Commercial Development



Tabelaing
Development

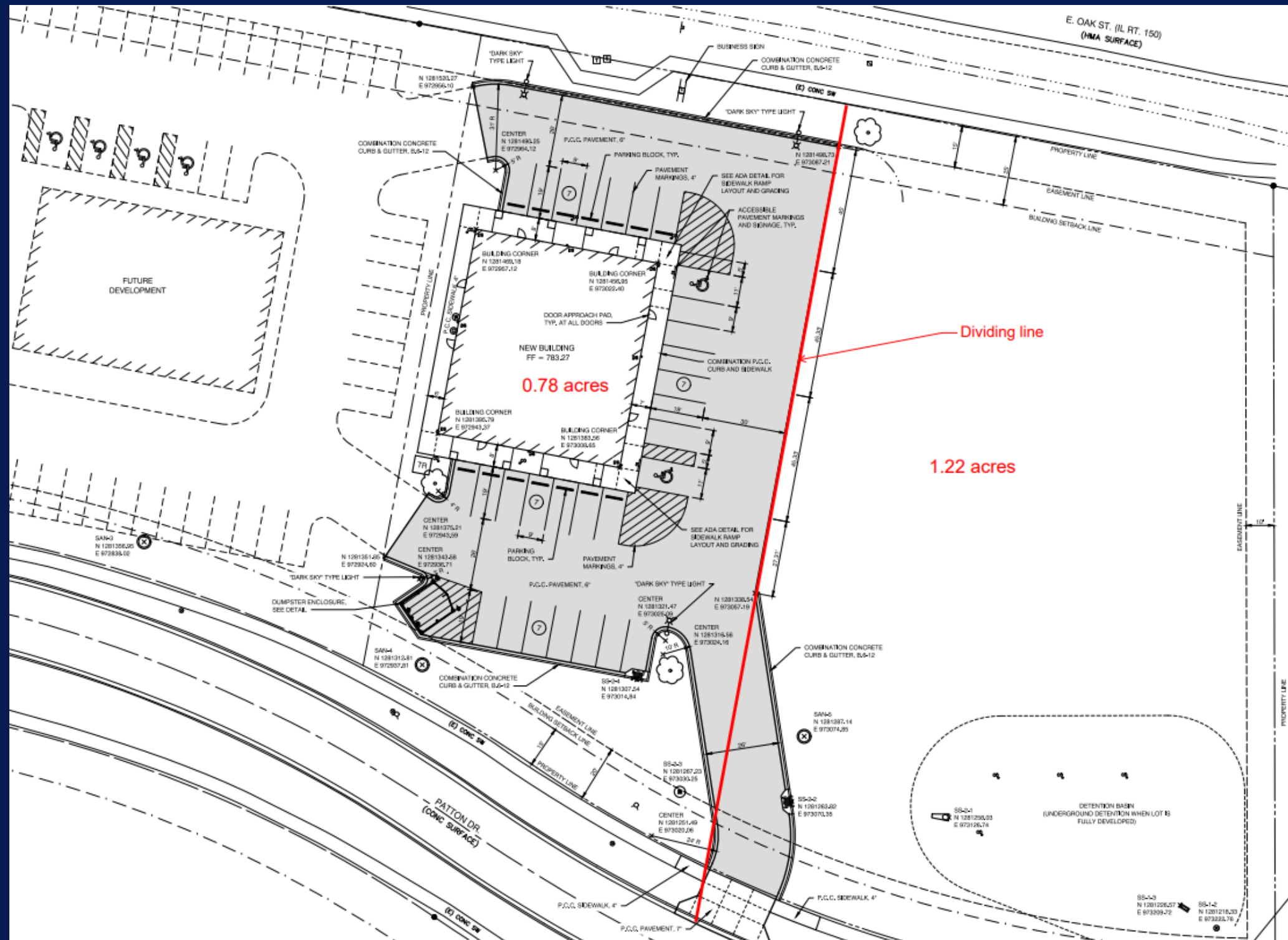
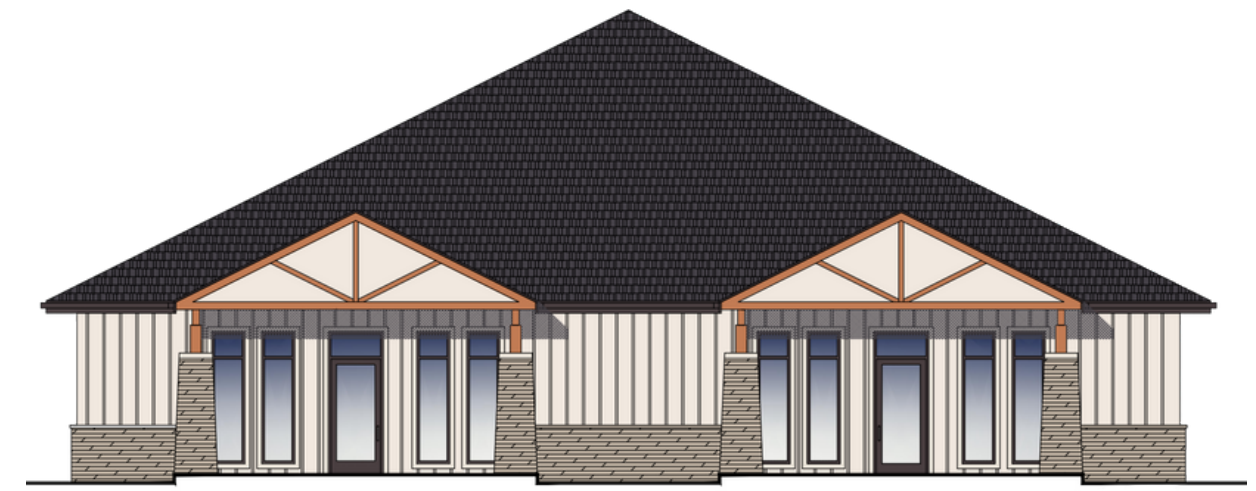
PROPERTY DETAILS

Vision
South

- Vision South Commercial Center with upcoming shell building and pad sites
- Frontage on US 150, less than half a mile from I-74 exit
- Site is zoned C2



VISION SOUTH COMMERCIAL CENTER



- Just under 5,000sqft
- Up to 4 units
- One unit pre-leased to a local salon

Phase One will contain 0.78 acres and the building shown. Future phases will contain up to two additional commercial buildings.



FUTURE PHASE

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- Total of 1.22 acres.
- Max of 7,670sqft each approved for two buildings
- Frontage on US 150 and Patton Dr
- Zoned C2 for general commercial use
- Shared parking lot



Shown above is a potential building elevation for the future phase.



CONTACT US

austin@tabelingco.com

The logo consists of a dark blue square with a white border. Inside the square, the words "Vision" and "South" are stacked vertically in a white, sans-serif font.

**Vision
South**

[\(217\)722-4859](tel:(217)722-4859)

www.tabelingco.com



**Tabeling
Development**

OFFICE BUILDING FOR TABELING DEVELOPMENT CO. MAHOMET, ILLINOIS

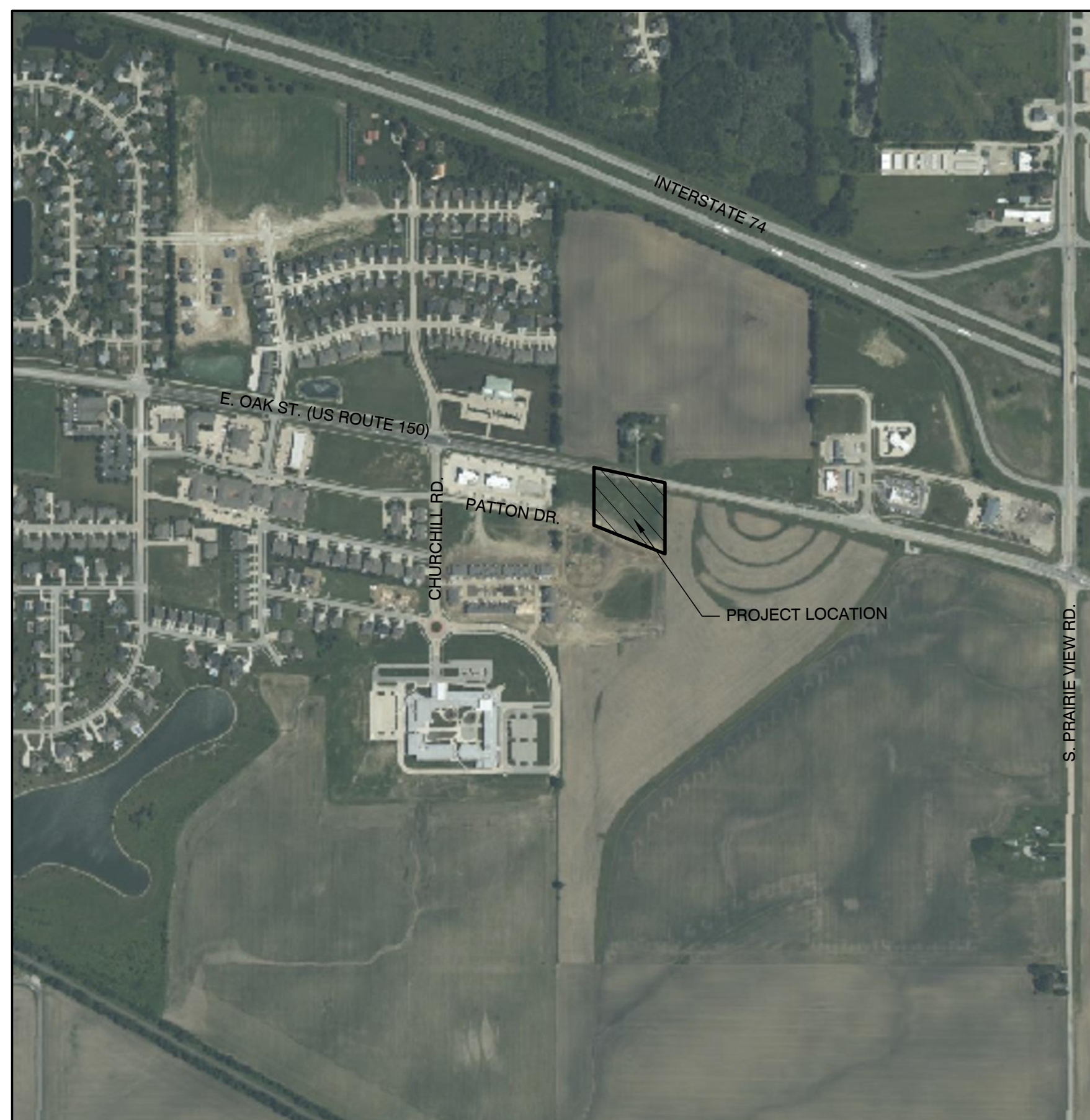


LOCATION OF PROPOSED IMPROVEMENT - M

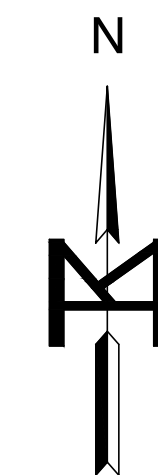
IDOT STANDARDS

000001-06	STANDARD SYMBOLS, ABBREVIATIONS AND PATTERNS
001001-02	AREAS OF REINFORCEMENT BARS
001006	DECIMAL OF AN INCH AND FOOT
280001-07	TEMPORARY EROSION CONTROL SYSTEMS
720006-04	SIGN PANEL ERECTION DETAILS
728001-01	TELESCOPING STEEL SIGN SUPPORT

PERMITS		
AGENCY	SUBMITTED	GRANTED
IEPA NOI	09/22/2021	10/22/2021
IEPA SEWER	_____	_____



LOCATION MAP

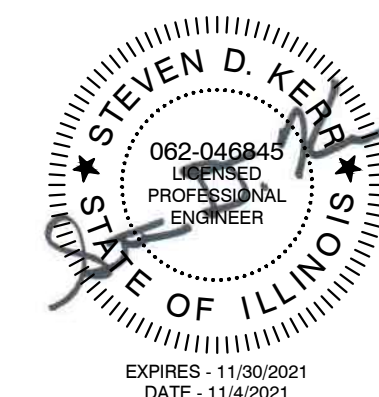


INDEX OF SHEETS

	COVER SHEET
1	GENERAL NOTES AND SPECIFICATIONS
2	VILLAGE OF MAHOMET UTILITY NOTES
3	OVERALL EXISTING SITE AND DEMOLITION PLAN
4	SITE LAYOUT PLAN
5	SITE GRADING AND UTILITY PLAN
6	ENLARGED DETAIL AREAS
7	SANITARY SEWER PLAN AND PROFILE
8-10	CONSTRUCTION DETAILS
11	VILLAGE OF MAHOMET UTILITY DETAILS
12	STORM WATER POLLUTION PREVENTION PLAN

UTILITY COMPANIES

VILLAGE OF MAHOMET WATER, SANITARY, STORM 503 E MAIN ST MAHOMET, IL 61853	PHONE: (217) 586-4456 FAX: (217) 586-5696
AMEREN GAS, ELECTRIC	PHONE: 1-800-755-5000
MEDIACOM CABLE, INTERNET, AND TELEPHONE	PHONE: 1-855-633-4226



**Know what's below.
Call before you dig.**

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

GENERAL NOTES

ALL ROAD AND STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE STATE OF ILLINOIS, ADOPTED APRIL 1, 2016, AND CURRENT SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS. ACCEPTANCE BY THE VILLAGE OF MAHOMET AND RELATED IMPROVEMENTS ARE BASED ON THE CONDITION OF THE IMPROVEMENTS AT THE TIME THE FINAL INSPECTION IS MADE.

TABELING DEVELOPMENT CO.
PATTON DR.
MAHOMET, IL 61853

**CALL JULIE 811 OR 1-800-892-0123 48 HOURS BEFORE YOU DIG
EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS**

M MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.
5901 N. Prospect Road, Suite 6B Office: (309) 692-8500
Peoria, Illinois 61614 Fax: (309) 692-8501
www.mohrandkerr.com Professional Design Firm #184.005091

GENERAL NOTES

ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (HEREIN AFTER STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2021, UNLESS NOTED OTHERWISE. WITHIN THE STANDARD SPECIFICATIONS, ARTICLES 105.01, 105.09, 105.10, 105.11, 105.12, 105.13, AND SECTION 109 SHALL NOT BE INCORPORATED INTO THIS CONTRACT.

ALL WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND ILLINOIS PLUMBING CODE.

ALL REFERENCES TO THE "DEPARTMENT" OR "ENGINEER" IN THE STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL BE CONSTRUED TO MEAN THE OWNER OR OWNERS REPRESENTATIVE, IF APPLICABLE. REFERENCES TO "INSPECTION" OF "INSPECTOR" IN THE STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND SPECIFICATIONS/SPECIAL PROVISIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR OWNERS REPRESENTATIVE.

THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED LIGHTING OF OPEN TRENCHES, EXCAVATIONS, THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED LIGHTING OF OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD TO THE DAILY OPERATIONS WITHIN THE CONSTRUCTION LIMITS.

ALL SIGNS, TRAFFIC CONTROL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS - CURRENT EDITION. ALL SIGNS, TRAFFIC CONTROL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS - CURRENT EDITION, THE APPLICABLE GUIDELINES IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - CURRENT EDITION, THE APPLICABLE GUIDELINES IN THE ILLINOIS MANUAL ON TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS - CURRENT EDITION, THE SPECIFICATIONS/SPECIAL PROVISIONS, ANY SPECIAL DETAILS, AND ILLINOIS DEPARTMENT OF TRANSPORTATION HIGHWAY STANDARDS INCLUDED IN THE CONTRACT DOCUMENTS.

PRIOR TO BEGINNING THE PROJECT, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS SHOWN AND SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES WHICH MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

ALL WORK MUST BE FULLY COORDINATED WITH OWNER'S SITE ACTIVITIES OVER THE CONSTRUCTION PERIOD. ALL WORK MUST BE FULLY COORDINATED WITH OWNER'S SITE ACTIVITIES OVER THE CONSTRUCTION PERIOD. A "STAGING PLAN" WILL BE DEVELOPED BY THE CONTRACTOR COOPERATIVELY WITH THE OWNER PRIOR TO BEGINNING WITH CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, IF ANY, FROM ALL LOCAL AGENCIES.

CONTRACTORS BIDDING THIS PROJECT SHALL VISIT THE SITE BEFORE BIDDING.

ALL SECTIONS, DETAILS, AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE SHOWN.

ADJUSTMENT OF PROPOSED GRADES TO MATCH EXISTING FIELD CONDITIONS MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

ALL EXCESS MATERIALS (SUITABLE AND UNSUITABLE), INCLUDING EXCAVATED AND DETRITUS MATERIALS, SHALL BE HAULED AND LEGALLY DISPOSED OF OFF-SITE.

ELECTRONIC DRAWING FILES WILL BE MADE AVAILABLE UPON REQUEST FOR GRADING PURPOSES ONLY.

EXAMINATION OF EXISTING CONDITIONS

IT IS THE RESPONSIBILITY OF EACH BIDDER TO SATISFY HIMSELF/HERSELF AS TO CONDITIONS HE/SHE WILL ENCOUNTER IN PERFORMING THE WORK. FAILURE TO DO SO WILL NOT BE CONSIDERED AS GROUNDS FOR ADDITIONAL COMPENSATION FOR UNFORESEEN ADVERSE CONDITIONS ENCOUNTERED DURING THE PROGRESS OF THE WORK.

PLANS, SPECIFICATIONS, AND/OR SPECIAL PROVISIONS - CONFLICTS WITH CIVIL/SITE ITEMS

IF THERE IS A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, AND/OR SPECIAL PROVISIONS, THE MORE STRINGENT AS DETERMINED BY THE OWNER OR THE ENGINEER, IF APPLICABLE, SHALL APPLY.

MATERIAL TESTING

THE CONTRACTOR SHALL EMPLOY A MATERIAL TESTING COMPANY WITH A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ILLINOIS TO PROVIDE QUALITY CONTROL / VERIFICATION THAT THE FOLLOWING ITEMS MEET THE MINIMUM REQUIREMENTS OF THE CONTRACT DOCUMENTS:

- AGGREGATE MATERIALS
- BITUMINOUS MATERIALS
- CONCRETE MATERIALS
- EARTHEN MATERIALS
- SEEDING
- FERTILIZER NUTRIENTS

THE RESULTS SHALL BE SUBMITTED ELECTRONICALLY (PDF FORMAT) TO THE OWNER OR THE ENGINEER, IF APPLICABLE, AS SOON AS POSSIBLE. THE FREQUENCY OF MATERIAL TESTING AND THE TESTING OF MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT IDOT MANUALS, POLICIES, AND PROCEDURES. THE MATERIAL TESTING COMPANY SHALL BE AN ILLINOIS LICENSED ENGINEERING FIRM.

CONSTRUCTION LAYOUT & STAKING

THE CONTRACTOR SHALL PROVIDE CONSTRUCTION LAYOUT AND STAKING BASED ON GRADES AND HORIZONTAL LOCATIONS SHOWN ON THE PLANS. ELECTRONIC FILES AND CONTROL WILL BE PROVIDED BY THE ENGINEER.

JULIE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE STANDARD SPECIFICATIONS. THE J.U.L.I.E. NUMBER IS 800-892-0123 OR 811. A MINIMUM OF FORTY-EIGHT (48) ADVANCE NOTICE IS REQUIRED.

EXISTING UNDERGROUND FACILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL USE A SUBCONSULTANT, IF NECESSARY, TO LOCATE ALL UNDERGROUND UTILITIES. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE PRESENCE, SPECIFIC SIZE OR LOCATION OF ANY UNDERGROUND UTILITIES. DAMAGED UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE CURRENT AND/OR FUTURE OWNER OF THE UNDERGROUND UTILITY. NO RESPONSIBILITY FOR THE PROTECTION OF SAID UNDERGROUND SYSTEMS WILL BE ASSUMED BY THE OWNER EXCEPT WHERE DESIGNATED OTHERWISE.

THE LOCATIONS AND/OR DEPTHS OF UNDERGROUND UTILITIES SHOWN HAVE BEEN TAKEN FROM THE BEST AVAILABLE INFORMATION AND MUST BE CONSIDERED APPROXIMATE.

THE COST TO REPAIR DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE CONTRACTOR TO LOCATE THE UTILITIES AND FOR THE CONTRACTOR TO UNCOVER AND/OR HAND DIG AROUND EXISTING UTILITIES.

STORM SEWER

PIPE LENGTH ON THE PLANS IS THE LENGTH FROM INSIDE STRUCTURE WALL TO INSIDE OF STRUCTURE WALL ALONG THE CENTERLINE THE PIPE. PIPES WITH END SECTIONS ARE MEASURED TO THE INVERT OF THE END SECTION.

COORDINATES FOR MANHOLE STRUCTURES ARE GIVEN TO THE CENTER OF THE STRUCTURE. COORDINATES FOR INLET AND INLET-MANHOLES ARE GIVEN TO THE CENTER BACK OF THE CASTING.

PRIOR TO ORDERING STORM SEWER MATERIALS, CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING MANHOLE INVERT ELEVATIONS (THAT ARE BEING TIED INTO AS A PART OF THIS PROJECT) AND FIELD VERIFYING INVERT ELEVATIONS AT ALL EXISTING STORM SEWER PIPES AT THE PROPOSED CONNECTION LOCATIONS AS PART OF THE PROJECT.

ALL VOIDS BETWEEN A STRUCTURE'S WALL (MANHOLE, INLET, INLET-MANHOLE, ETC.) AND THE OUTSIDE WALL OF A PIPE PENETRATION SHALL BE INFILLED WITH BRICKS AND NON-SHRINK GROUT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW ON ALL STORM SEWER COMPONENTS 7 DAYS AFTER THE NOTICE TO PROCEED.

ALL BACKFILL SHALL BE AS SHOWN ON THE APPLICABLE DETAILS UNLESS OTHERWISE NOTED IN THE PLANS.

CLEANING

THE CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR THE PROTECTION AND CLEANING OF ALL WORK UNDER THE CONTRACT, UNTIL FINAL COMPLETION AND ACCEPTANCE THEREOF, UNLESS AN EARLIER DATE IS AGREED UPON.

THE CONTRACTOR SHALL PROVIDE REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS FROM THE SITE AT A MINIMUM OF A DAILY BASIS.

THE CONTRACTOR SHALL KEEP ALL PAVED SURFACES CLEAR OF MUD, DIRT AND DEBRIS DURING CONSTRUCTION. CLEANING SHALL BE DONE IN AN ACCEPTABLE MANNER AS REQUESTED BY THE ENGINEER, WITH EQUIPMENT THAT DOES NOT DAMAGE THE EXISTING PAVEMENT.

ALL PAVED SURFACES SHALL BE SWEEPED TO THE SATISFACTION OF THE ENGINEER AT THE END OF EACH WORKING DAY. THE LIMITS OF THE SWEEPING SHALL BE DETERMINED BY THE ENGINEER. THE TYPE OF STREET SWEEPING MACHINE SHALL BE A MOTORIZED VEHICLE SIMILAR TO WHAT IS USED TO CLEAN/SWEEP CITY STREETS.

DAMAGE TO EXISTING STRUCTURES

IF DAMAGE IS DONE TO EXISTING OR NEW STRUCTURES DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENT, THE DAMAGED STRUCTURE SHALL BE REPLACED OR REPAIRED IN A SATISFACTORY MANNER BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER.

AGGREGATE BASE COURSE, TYPE B

THIS ITEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS IN THE PLANS AND SECTION 351 OF THE STANDARD SPECIFICATIONS EXCEPT: ALL LIFTS SHALL BE COMPACTED TO MINIMUM 95% STANDARD PROCTOR DENSITY.

CONCRETE CURE / SEALANT

THIS WORK SHALL BE ACCORDING TO SECTION 587 OF THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED HEREIN: THE CONCRETE CURE/SEALANT SHALL BE APPLIED WITHIN 10 MINUTES AFTER ALL FINISHING WORK TO THE CONCRETE SURFACE HAS BEEN COMPLETED.

THE APPLICATION RATE AND TYPE OF EQUIPMENT REQUIRED TO APPLY THE CONCRETE CURE/SEALANT, SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

THE CONCRETE CURE/SEALANT SEALER SHALL BE CHEMMASTER'S SILENCURE SRT OR EQUAL APPROVED IN WRITING BY THE ENGINEER.

THE CONCRETE CURE/SEALANT SHALL BE APPLIED TO ALL CONCRETE PAVEMENT, UNLESS DIRECTED OTHERWISE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THIS WORK.

PAVEMENT, SIDEWALK, CONCRETE MEDIAN, AND CURB REMOVAL

PAVEMENT, SIDEWALK, CONCRETE MEDIAN, AND CURB (COMBINATION CURB AND GUTTER AND/OR CURB) REMOVAL SHALL BE IN ACCORDANCE WITH SECTION 440 OF THE STANDARD SPECIFICATIONS EXCEPT THE REMOVAL SHALL INCLUDE THE AGGREGATE BASE COURSE/SUBBASE GRANULAR MATERIAL LOCATED BENEATH THE PAVEMENT, SIDEWALK, CONCRETE MEDIAN, AND CURB (COMBINATION CURB AND GUTTER AND/OR CURB). AS PROVIDED FOR IN ARTICLE 107.16 OF THE STANDARD SPECIFICATIONS. PAVEMENT, SIDEWALK, CURB AND GUTTER AND STRUCTURES ON OR ADJACENT TO THE WORK SHALL BE PROTECTED IN A MANNER SATISFACTORY TO THE OWNER(S) OF THE PAVEMENT, SIDEWALK, CURB AND GUTTER, AND STRUCTURE FROM DAMAGE BY LUGS OR CLEATS OR TREADS OR WHEELS OF EQUIPMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR PATCHING ANY PAVEMENT, SIDEWALK, CURB AND GUTTER, DISTURBED, DESTROYED, OR REMOVED AS A RESULT OF HIS/HER OPERATION, AT THE CONTRACTOR'S OWN EXPENSE.

CONCRETE AND BITUMINOUS SAW CUT

FULL DEPTH CONCRETE AND BITUMINOUS SAWING SHALL BE PERFORMED AT ALL REMOVAL LIMITS ILLUSTRATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER. THE CONTRACTOR WILL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS NEEDED TO ACCOMPLISH THIS ITEM. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

JOINT MATERIALS

EXPANSION JOINT MATERIAL SHALL BE FLEX/FOAM EXPANSION JOINT, OF THE THICKNESS SPECIFIED, AS MANUFACTURED BY RIGHT POINTE COMPANY, OR APPROVED EQUAL. THIS EXPANSION MATERIAL SHALL BE USED ON PAVEMENTS, CURB AND GUTTER, SIDEWALK, ENTRANCES, PAVED DITCH OR ANY OTHER REQUIRED EXPANSION JOINT.

SIGNS

ALL SIGNS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION HIGHWAY STANDARDS 720006 TYPICAL SECTION FOR URBAN LOCATION.

P.C.C. PAVEMENT

THE P.C.C. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE STANDARD SPECIFICATIONS EXCEPT: THE CONCRETE'S COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE AND ALL JOINTS (CONTRACTION, CONSTRUCTION, EXPANSION, LONGITUDINAL, AND TRANSVERSE) SHALL BE SEALED WITH GREY SELF-LEVELING SEALANT.

CONTRACTOR TO PROVIDE POUR SCHEDULE AND PROPOSED JOINT LOCATIONS.

P.C.C. SIDEWALK

THE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 424 OF THE STANDARD SPECIFICATIONS EXCEPT: THE CONCRETE'S COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE AND ALL EXPANSION JOINTS SHALL BE SEALED WITH GREY SELF LEVELING SEALANT.

EARTHWORK, COMPLETE

THIS WORK SHALL CONSIST OF ALL CLEARING, STRIPPING OF VEGETATION, TOPSOIL REMOVAL, EMBANKMENT, DRYING AGENTS, MIXING OF DRYING AGENTS, EXCAVATION, AND TRANSPORTATION OF ALL EARTHWORK SUCH THAT THE PROPOSED FINISHED SURFACE ELEVATIONS MEET THE LINES AND GRADES INDICATED IN THE PLANS. THE EARTH EXCAVATION AND EMBANKMENT SHALL CONFORM TO SECTIONS 202 AND 205 OF THE STANDARD SPECIFICATIONS UNLESS INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS. EMBANKMENT SHALL CONFORM TO THE DENSITY REQUIREMENTS OUTLINED IN ARTICLE 205.06 OF THE STANDARD SPECIFICATIONS EXCEPT ALL LIFTS SHALL BE COMPACTED TO MINIMUM 95% STANDARD PROCTOR DENSITY. THE THIRD PARAGRAPH OF ARTICLE 205.06 OF THE STANDARD SPECIFICATIONS SHOULD ALSO BE REVISED TO READ: ALL EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE CONSTRUCTED WITH NOT MORE THAN 110% OF OPTIMUM MOISTURE CONTENT, DETERMINED BY THE STANDARD PROCTOR TEST. COHESIVE SOIL SHALL BE DEFINED AS ANY SOIL WHICH CONTAINS GREATER THAN 10% OF PARTICLES BY WEIGHT PASSING THE #200 SIEVE. THE 100% OF OPTIMUM MOISTURE LIMIT MAY BE WAIVED IN FREE DRAINING GRANULAR MATERIAL WHEN APPROVED BY THE ENGINEER. THE CONTRACTOR MAY, AT THEIR OPTION, ADD A DRYING AGENT TO LOWER THE MOISTURE CONTENT AS SPECIFIED ABOVE. THE DRYING AGENT MUST BE APPROVED BY THE MATERIALS TESTING COMPANY PRIOR TO USE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE USE OF A DRYING AGENT.

DISPOSAL OF EXCESS EXCAVATED MATERIALS, INCLUDING TOPSOIL, SHALL BE IN ACCORDANCE WITH THE GENERAL NOTES IN THE PLANS UNLESS DIRECTED OTHERWISE BY THE ENGINEER IN WRITING.

THE COST TO PROTECT AND EXCAVATE AROUND THE UTILITIES WITH APPURTENANCES AT THE SURFACE (MANHOLES, INLETS, INLET-MANHOLES, FRAMES AND LIDS, VALVE VAULTS/BOXES, CABINETS, FIRE HYDRANTS, CLEANOUTS, ETC.) SHALL BE CONSIDERED INCIDENTAL AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

MAINTAINING STORM WATER CONVEYANCE

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS AND SUBSEQUENTLY MAINTAINING THE FLOW BETWEEN EXISTING STORM WATER CONVEYANCE SYSTEM(S) AND PROPOSED STORM WATER CONVEYANCE SYSTEM(S). THIS MAY CONSIST OF BUT IS NOT LIMITED TO: TEMPORARY PIPING, DITCHING, PUMPING, AND DE-WATERING OPERATIONS.

SHORING AND SUPPORTING EXISTING UTILITIES AND STRUCTURES TO REMAIN IN PLACE

THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIALS NEEDED TO SAFELY AND ADEQUATELY SHORE AND/OR SUPPORT EXISTING UTILITIES, STORM SEWER SYSTEMS, SANITARY SEWER SYSTEMS, WATER DISTRIBUTION SYSTEMS, ETC. AND STRUCTURES TO REMAIN IN PLACE. THE EXISTING UTILITIES, STORM SEWER SYSTEMS, SANITARY SEWER SYSTEMS, WATER DISTRIBUTION SYSTEMS, ETC. AND STRUCTURES SHALL BE SHORED AND SUPPORTED TO THE SATISFACTION OF THE UTILITY OWNER AND/OR THE ENGINEER.

LANDSCAPING, COMPLETE

THIS WORK SHALL BE IN ACCORDANCE WITH SECTIONS 211, 250, AND 251 OF THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED HEREIN. ITEMS INCLUDED IN THIS WORK ARE:

ROUGH AND FINAL GRADING THE AREAS DISTURBED BY THE PROPOSED IMPROVEMENTS.

TOPSOIL FURNISH AND PLACE 4" IN ALL DISTURBED LANDSCAPED AREAS. TOPSOIL SHALL BE FREE OF DEBRIS, ROCKS AND CLODS GREATER THAN 1/2" IN SIZE.

SEEDING, CLASS 2 IN ALL DISTURBED, NON-PAVED AREAS.

FERTILIZER NUTRIENTS (NITROGEN, POTASSIUM, AND PHOSPHOROUS) IN ALL DISTURBED LANDSCAPED AREAS.

MULCH, METHOD 2, PROCEDURE 2 IN ALL DISTURBED LANDSCAPED AREAS.

HOT-POURED JOINT SEALANT

THIS WORK SHALL BE IN ACCORDANCE WITH SECTIONS 451 AND 452 OF THE STANDARD SPECIFICATIONS AND SHALL BE PLACED AT THE LOCATIONS INDICATED IN THE PLANS. HOT-POURED JOINT SEALANT SHALL BE INCLUDED IN THE CONTRACT AND WILL NOT BE PAID FOR SEPARATELY. JOINT SEALANT SHALL BE GREY IN COLOR.

COMBINATION CONCRETE CURB AND GUTTER

THE WORK SHALL BE IN ACCORDANCE WITH SECTION 606 OF THE STANDARD SPECIFICATIONS EXCEPT: THE COURSE AGGREGATE SHALL CONSIST OF CRUSHED LIMESTONE.

PAINT PAVEMENT MARKING - LINE & PAINT PAVEMENT MARKING - LETTERS AND SYMBOLS

THIS WORK SHALL BE IN ACCORDANCE WITH SECTION 780 OF THE STANDARD SPECIFICATIONS.

SUBGRADE

ALL PAVEMENT, SIDEWALK, COMBINATION CURB AND GUTTER, AND LANDSCAPED AREAS SHALL BE PREPARED IN ACCORDANCE WITH ARTICLE 301 OF THE STANDARD SPECIFICATIONS.

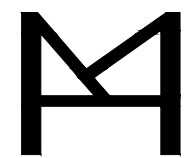
MANHOLES AND INLETS

THIS WORK SHALL BE IN ACCORDANCE WITH THE SECTION 602 OF THE STANDARD SPECIFICATIONS.

UTILITIES

ALL UTILITIES SHALL BE 30 INCHES DEEP MINIMUM.

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Professional Design Firm #184.005091

REV.	DATE	NATURE OF REVISION	CHECKED

SURVEYED	WLC
DRAWN	JMM
CHECKED	SDK
SCALE	-
DATE	11-04-2021

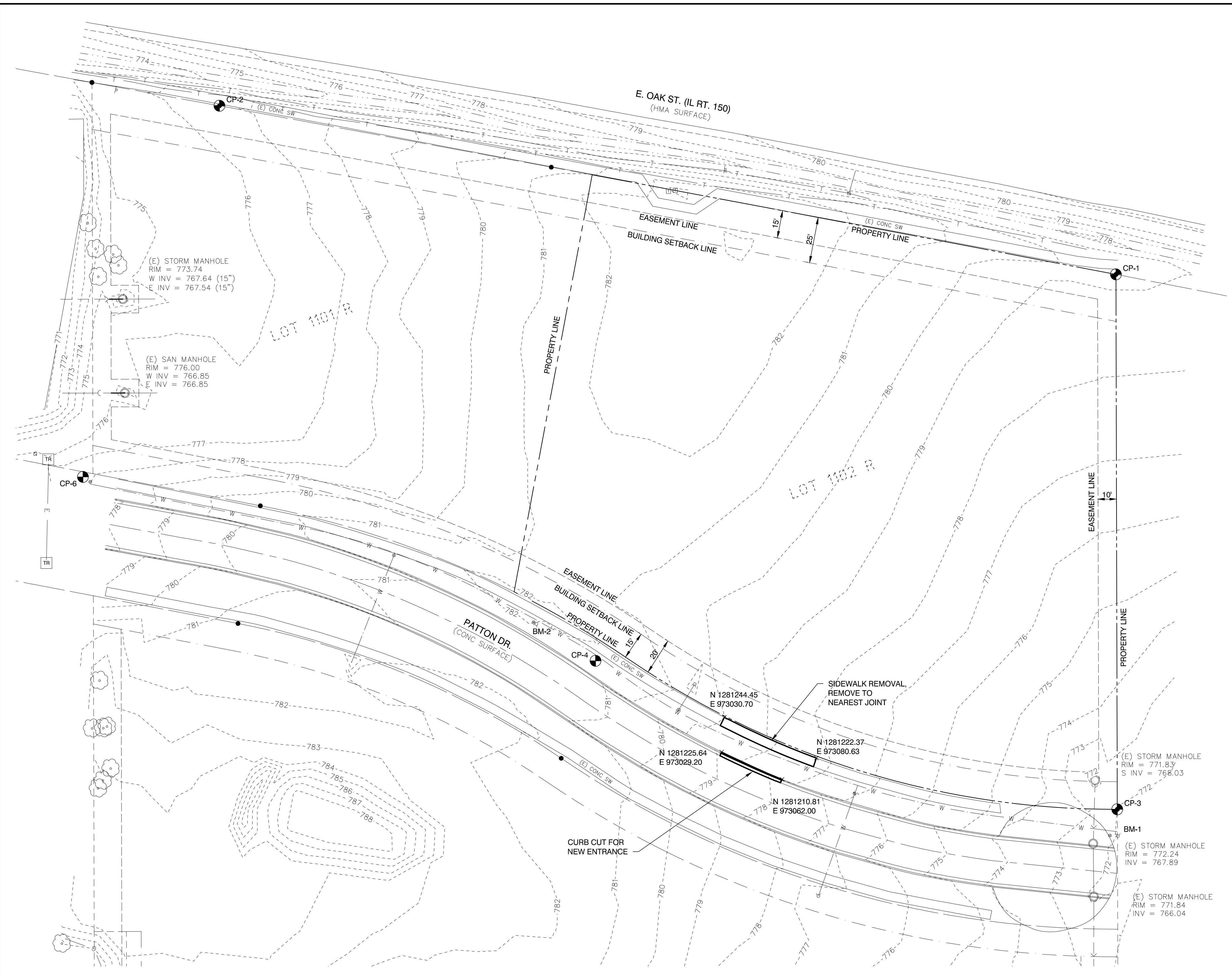
CLIENT:

TABELING DEVELOPMENT CO.
VISION SOUTH LOT 1102 R
MAHOMET, IL 61853

TITLE:

GENERAL NOTES AND SPECIFICATIONS

PROJECT NO.	21-355
SHEET	1 OF 12
DRAWING NO.	1



LEGEND

---	DEED LINE
---	ADJACENT PROPERTY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	BUILD SETBACK LINE
---	FLOW LINE
---	EXIST. WATER MAIN SERVICE
---	EXIST. UNDERGROUND ELECTRIC
---	EXIST. UNDERGROUND COMMUNICATION LINE
---	EXIST. SANITARY SEWER
---	EXIST. STORM SEWER
---	EXIST. CONTOUR LINE
●	EXIST. SURVEY MONUMENT
⊗	EXIST. WATER VALVE
⊕	EXIST. TELEPHONE PEDESTAL
⊙	EXIST. SIGN
⊕	EXIST. FIRE HYDRANT
⊙	EXIST. MANHOLE
TR	EXIST. TRANSFORMER
⊙	EXIST. TREE
(E)	EXISTING
P.C.C.	PORTLAND CEMENT CONCRETE
CONC	CONCRETE
HMA	HOT MIX ASPHALT
SW	SIDEWALK

ZONING

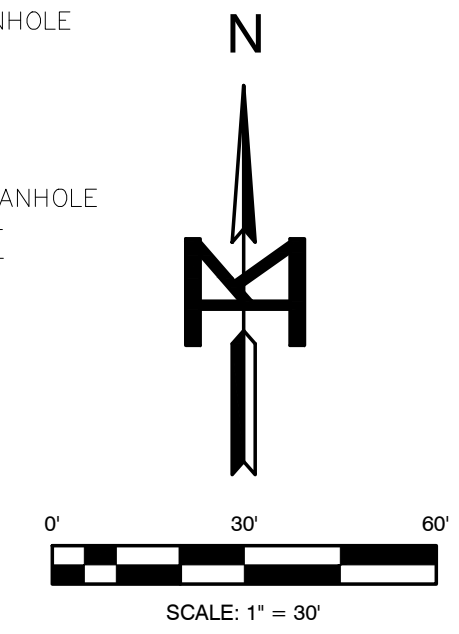
LOT	ZONED C-2, GENERAL COMMERCIAL DISTRICT
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LOT AREA

LOT 1102 R	1.99 ACRES±
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CP-1 IRON ROD WITH CAP N 1281484.70 E 973243.14	CP-2 IRON ROD WITH CAP N 1281578.20 E 972756.74
CP-3 IRON ROD WITH CAP N 1281194.57 E 973243.87	CP-4 NAIL N 1281275.13 E 972960.83
CP-6 PK N 1281374.87 E 972682.70	
BENCH MARK - BM-1 NORTHEAST CAP BOLT ON FIRE HYDRANT AT SOUTHEAST CORNER OF PROPERTY ELEVATION = 774.34	
BENCH MARK - BM-2 NORTHEAST CAP BOLT ON FLUSHING HYDRANT AT SOUTHWEST CORNER OF PROPERTY ELEVATION = 783.58	

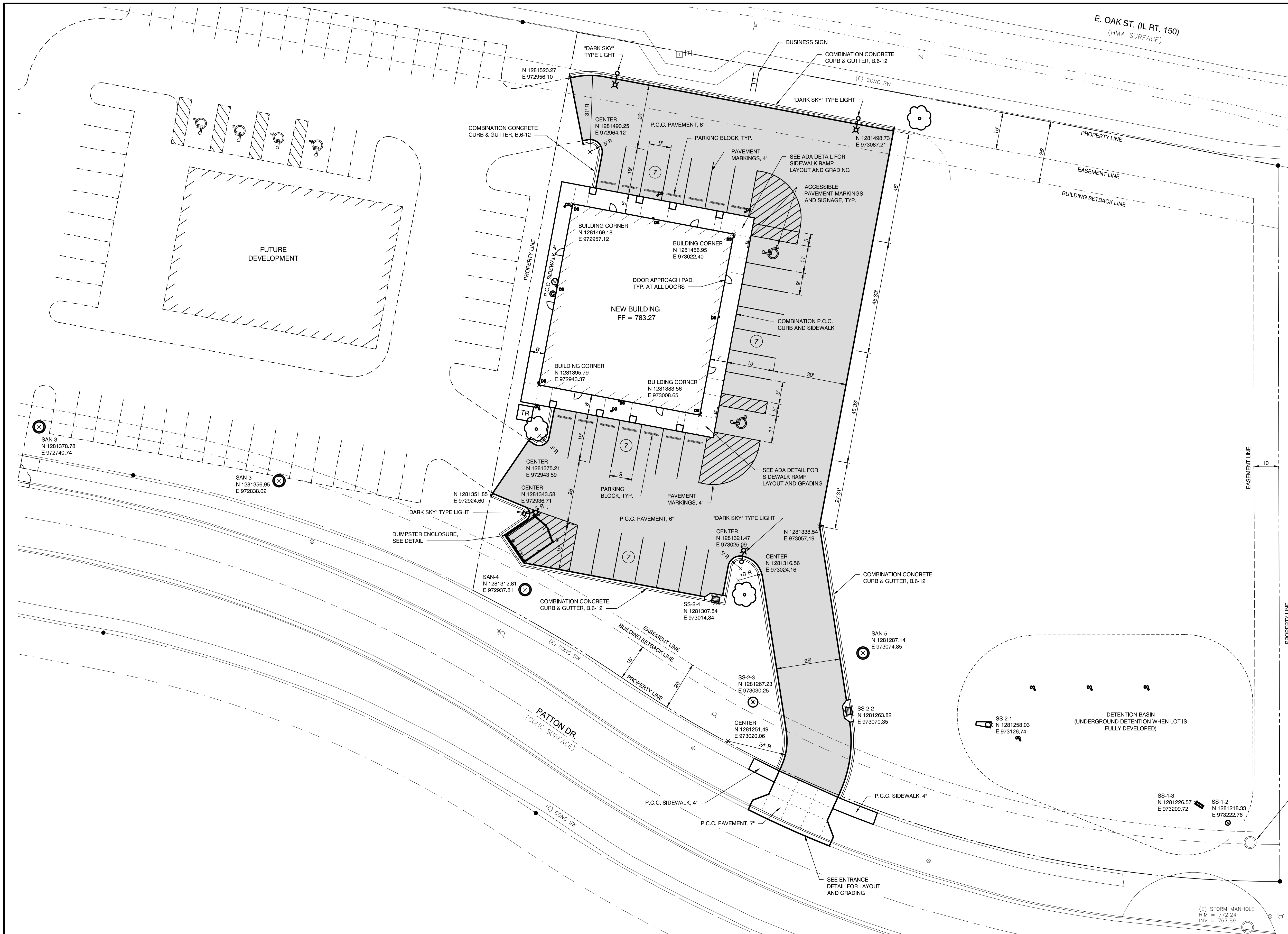
OVERALL EXISTING SITE AND DEMOLITION PLAN
SCALE: 1" = 30'



REV.	DATE	NATURE OF REVISION	CHECKED	DATE

FILE NAME: 3 - DEMO VISION SOUTH 21-355.dwg Nov 04, 2021

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BUILDING AREA
NEW BUILDING 4,960 SF ±

PARKING
PARKING BASED ON ALL NONRESIDENTIAL BUILDING NOT MENTIONED OTHERWISE IN CODE
1 SPACES FOR EACH 300 SF OF FLOOR AREA
4960 SF / 300 SF = 17 PARKING SPACES REQUIRED
28 PARKING SPACES WILL BE PROVIDED
2 SPACES REQUIRED TO BE ACCESSIBLE

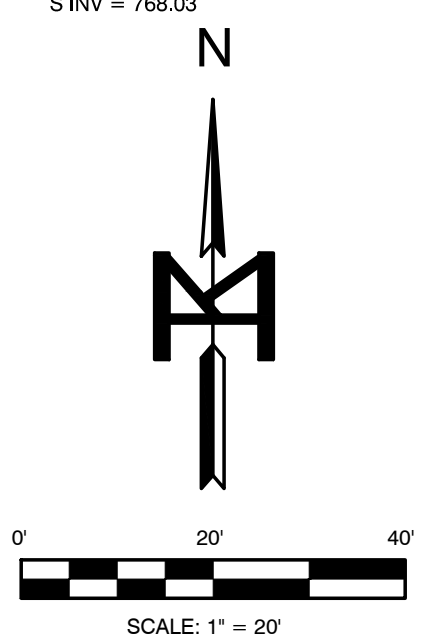
PARKING LOT LANDSCAPING REQUIREMENTS:
1 TREE PER 10 PARKING SPACES PROVIDED
3 TREES REQUIRED

TREES SHALL BE TREES SHALL BE
CHANTICLEER PEARS - (Pyrus calleryana 'Chanticleer')
AUTUMN BLAZE MAPLE TREE - (Acer x Freemanii)AUTUMN BLAZE MAPLE TREE - (Acer x Freemanii)
TREES MUST BE 7' HIGH AFTER PLANTING.



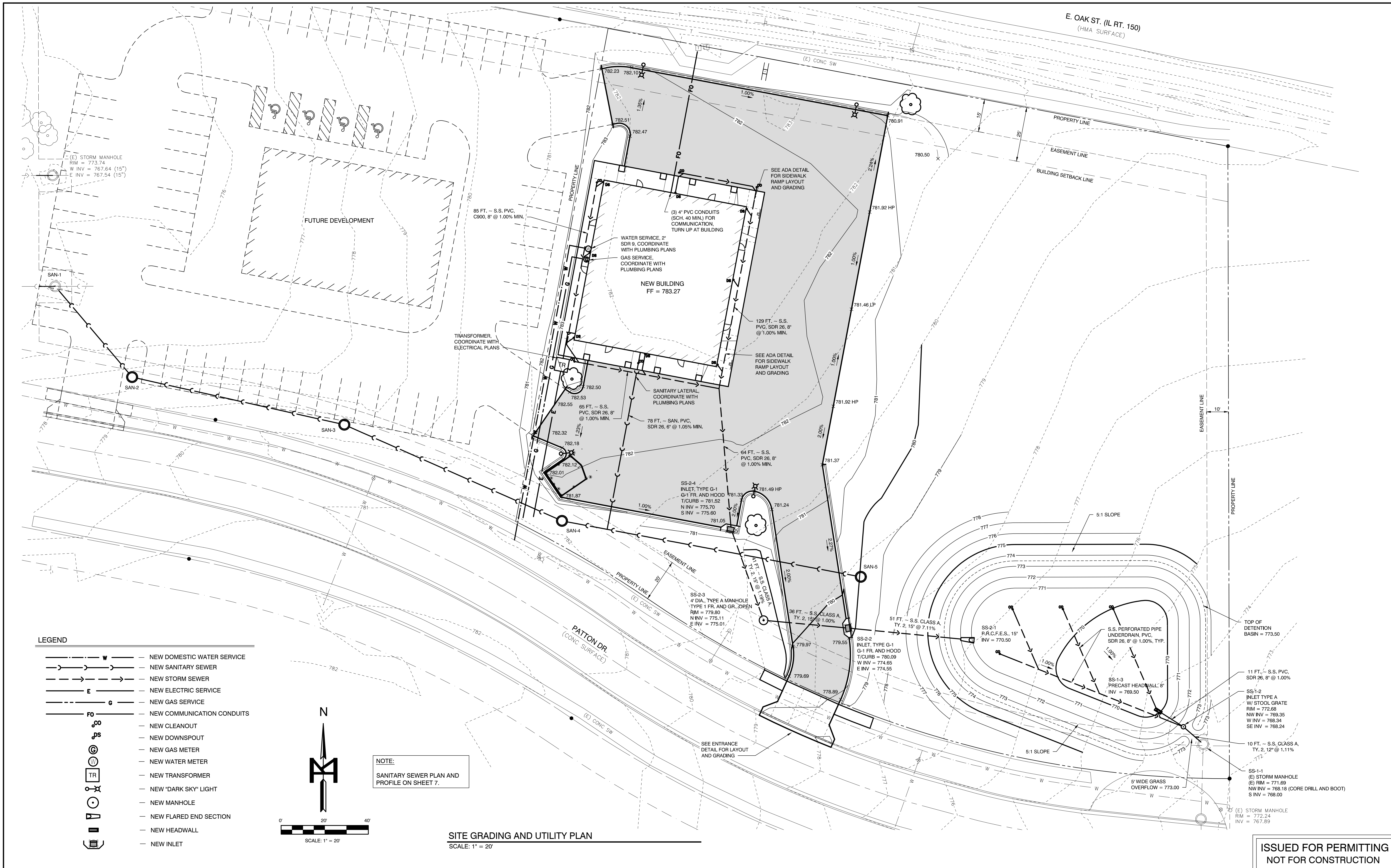
LIGHTING
NEW LIGHTING SHALL BE "DARK SKY" SHIELDED TYPE

SITE LAYOUT PLAN
SCALE: 1" = 20'

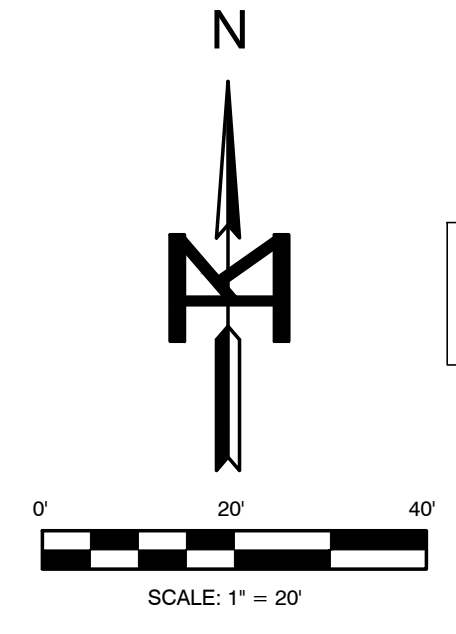


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REV.	DATE	NATURE OF REVISION	CHECKED



- LEGEND**
- W — NEW DOMESTIC WATER SERVICE
 - S — NEW SANITARY SEWER
 - ST — NEW STORM SEWER
 - E — NEW ELECTRIC SERVICE
 - G — NEW GAS SERVICE
 - C — NEW COMMUNICATION CONDUITS
 - N — NEW CLEANOUT
 - D — NEW DOWNSPOUT
 - M — NEW GAS METER
 - W — NEW WATER METER
 - TR — NEW TRANSFORMER
 - L — NEW "DARK SKY" LIGHT
 - O — NEW MANHOLE
 - F — NEW FLARED END SECTION
 - H — NEW HEADWALL
 - I — NEW INLET



NOTE:
SANITARY SEWER PLAN AND PROFILE ON SHEET 7.

SITE GRADING AND UTILITY PLAN
SCALE: 1" = 20'

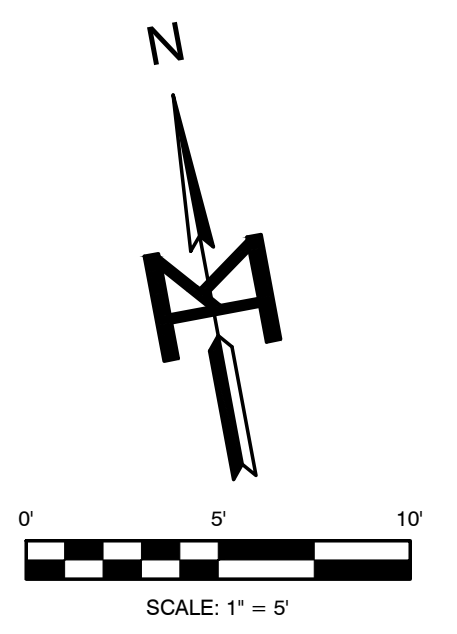
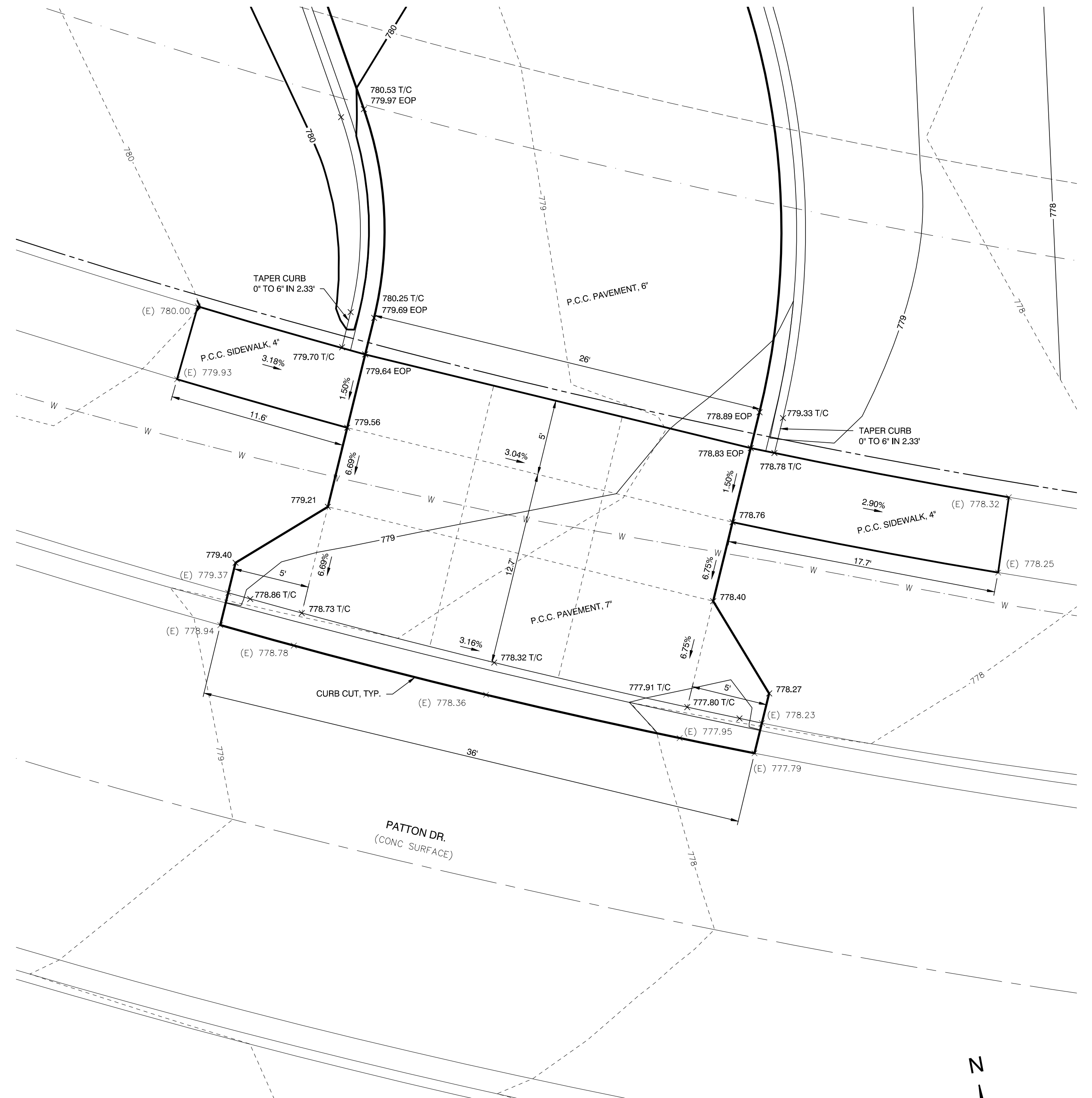
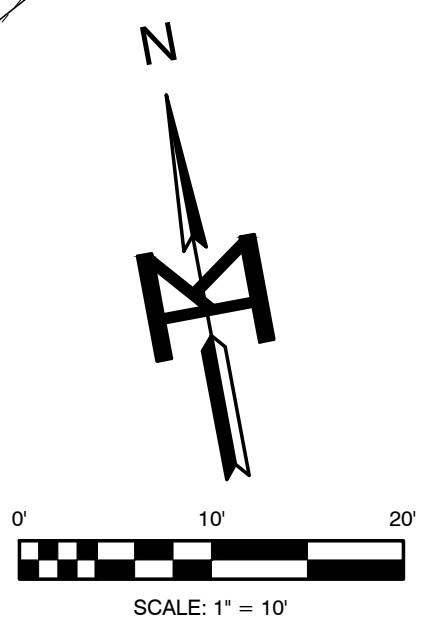
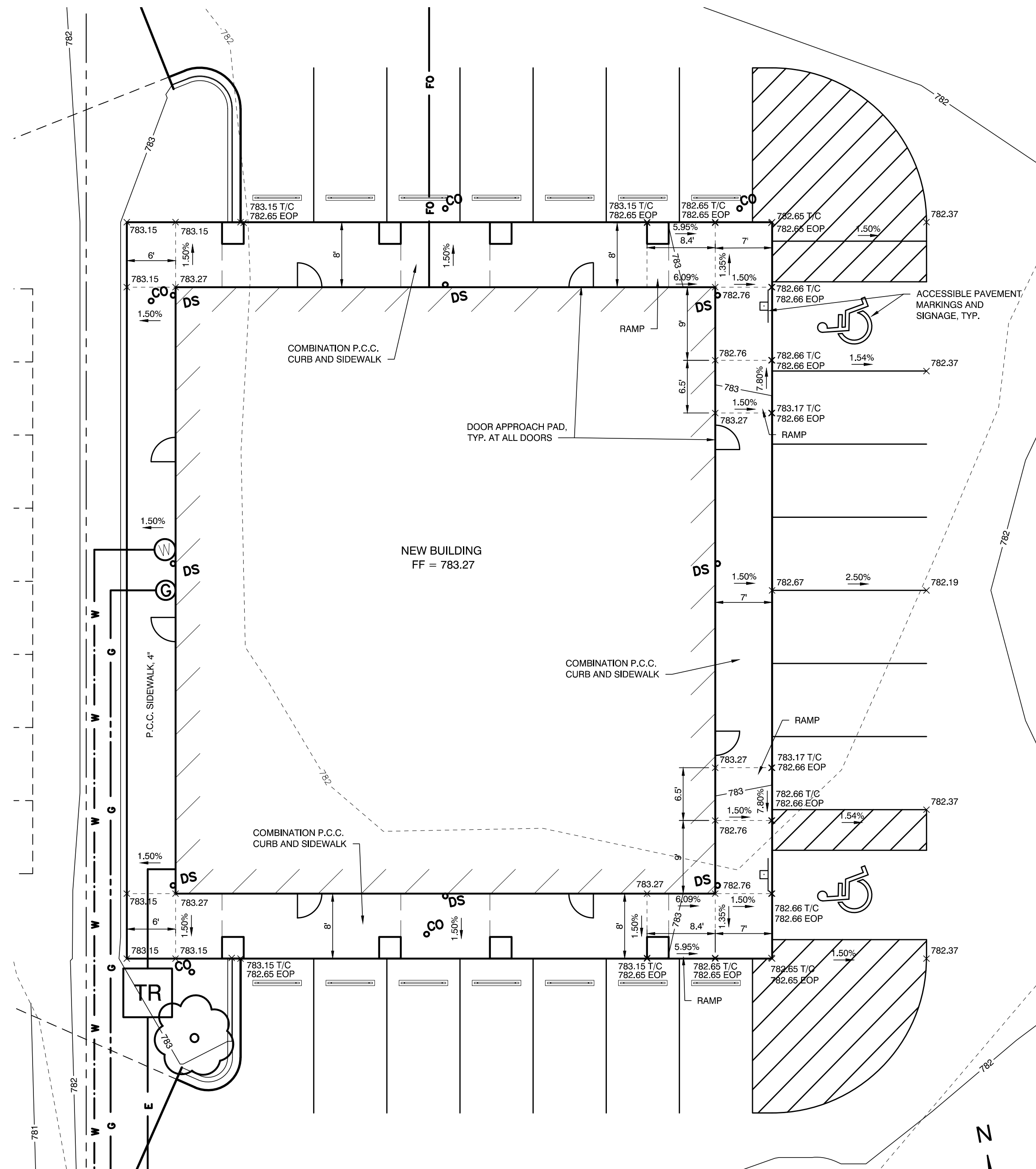
ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

REV.	DATE	NATURE OF REVISION	CHECKED

FILE NAME: 5-SITE GRADING VISION SOUTH 21-355.dwg Nov 04, 2021

SURVEYED	WLC	CLIENT:	TABELING DEVELOPMENT CO.
DRAWN	JMM		VISION SOUTH LOT 1102 R
CHECKED	SDK		MAHOMET, IL 61853
SCALE	1" = 20'	TITLE:	SITE GRADING AND UTILITY PLAN
DATE	11-04-2021		

PROJECT NO.	21-355
SHEET	5 OF 12
DRAWING NO.	5

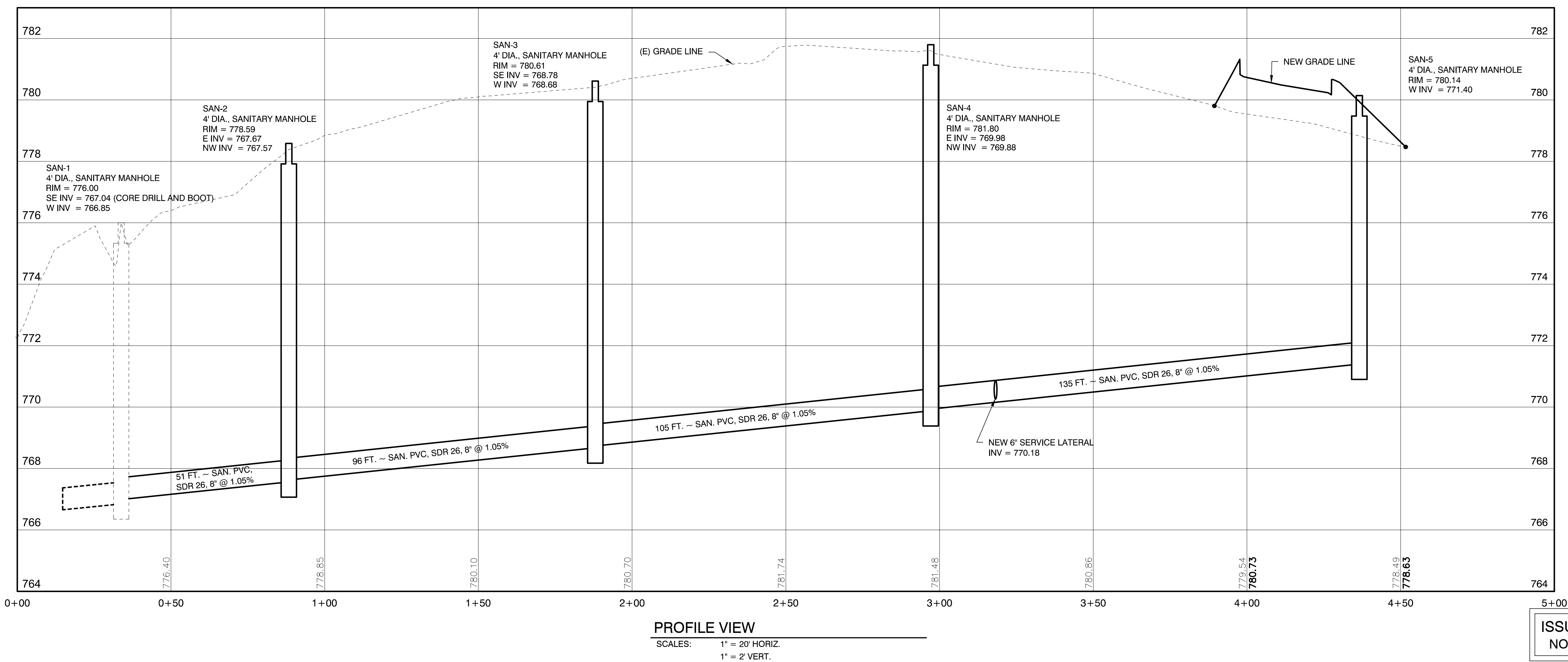
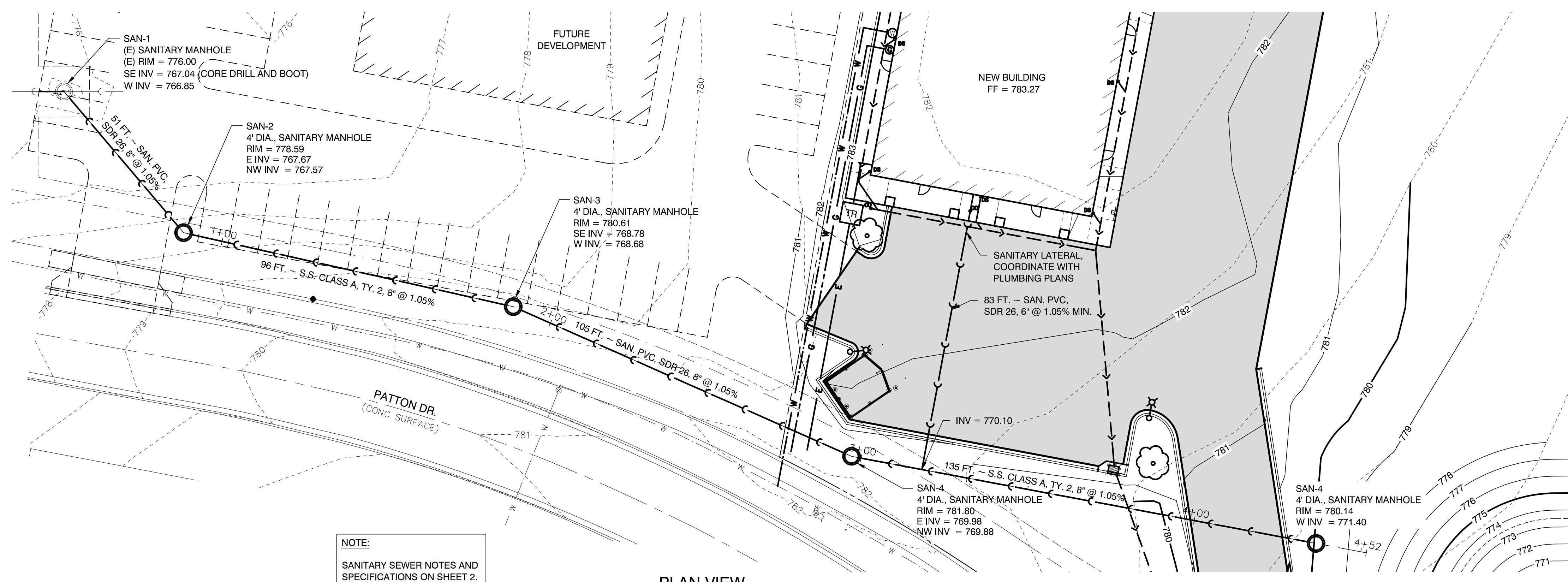


ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

REV.	DATE	NATURE OF REVISION	CHECKED

FILE NAME: 6 - ENTRANCE DETAIL VISION SOUTH 21-355.dwg Nov 04, 2021

SURVEYED	WLC	CLIENT:	TABELING DEVELOPMENT CO.
DRAWN	JMM		VISION SOUTH LOT 1102 R
CHECKED	SDK		MAHOMET, IL 61853
SCALE	AS NOTED	TITLE:	ENLARGED DETAIL AREAS
DATE	11-04-2021		



ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

REV.	DATE	NATURE OF REVISION	CHECKED

FILE NAME: 7 - SANITARY P&P VISION SOUTH 21-355.dwg Nov 04, 2021

SURVEYED	WLC	CLIENT:	TABELING DEVELOPMENT CO.
DRAWN	JMM		VISION SOUTH LOT 1102 R
CHECKED	SDK		MAHOMET, IL 61853
SCALE	AS NOTED	TITLE:	SANITARY SEWER PLAN AND PROFILE
DATE	11-04-2021		

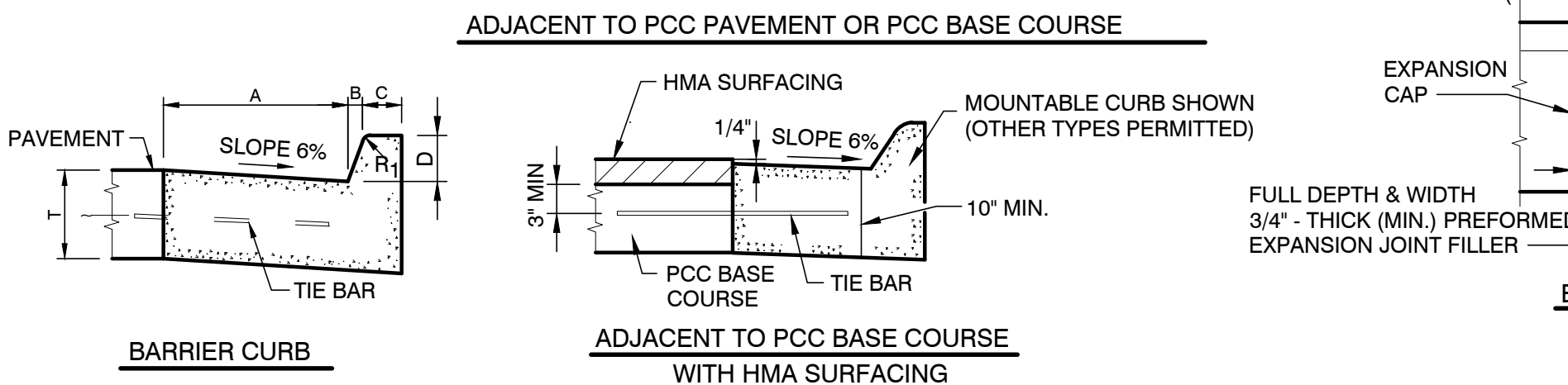
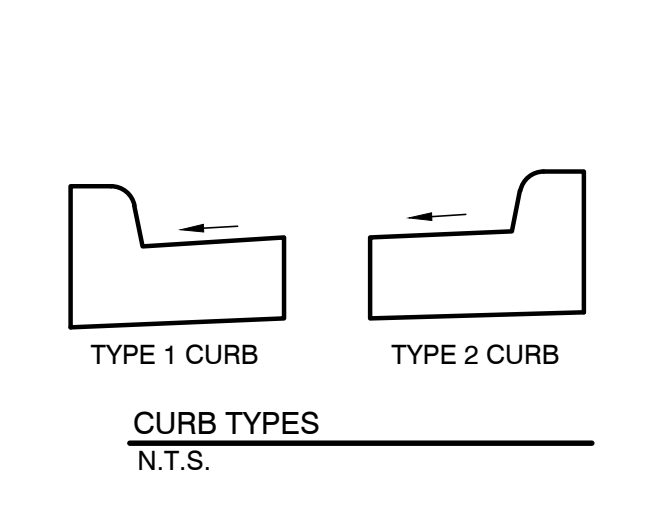
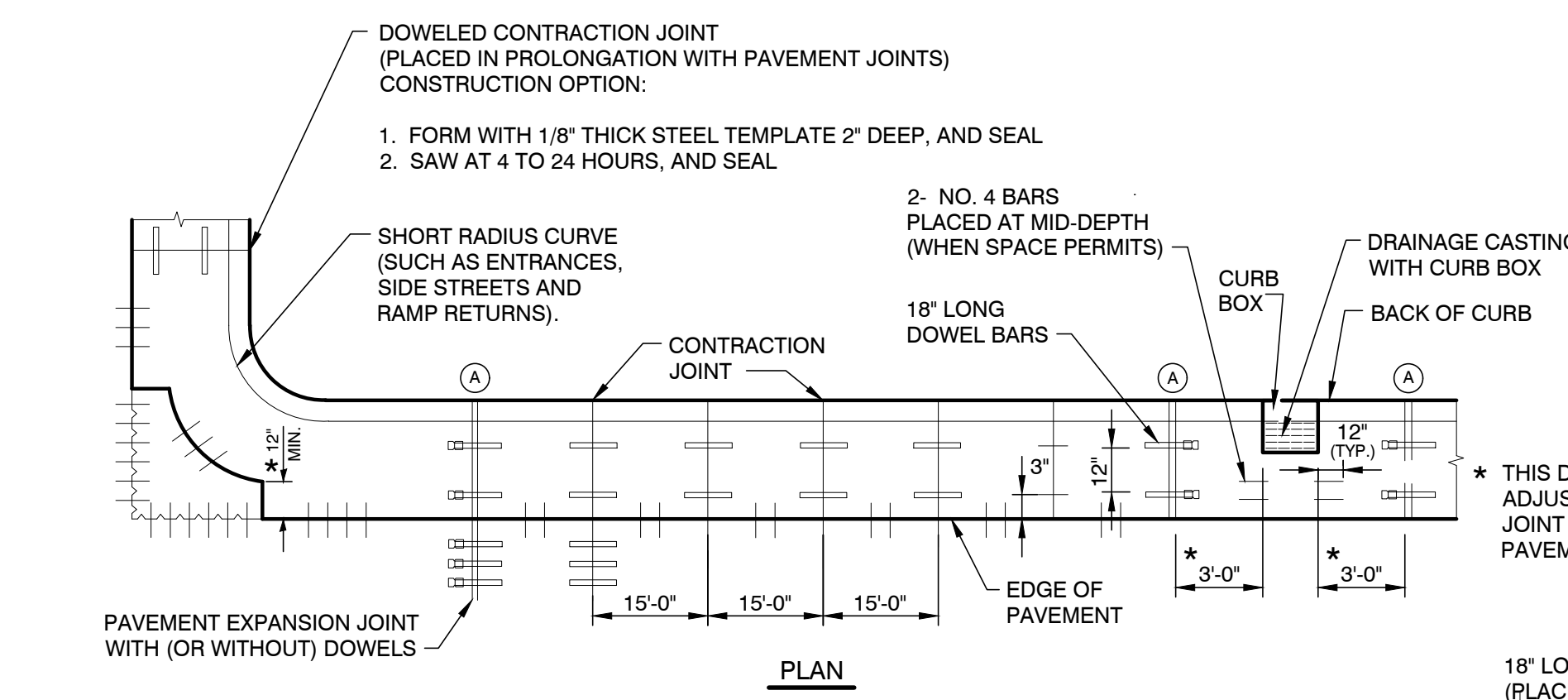
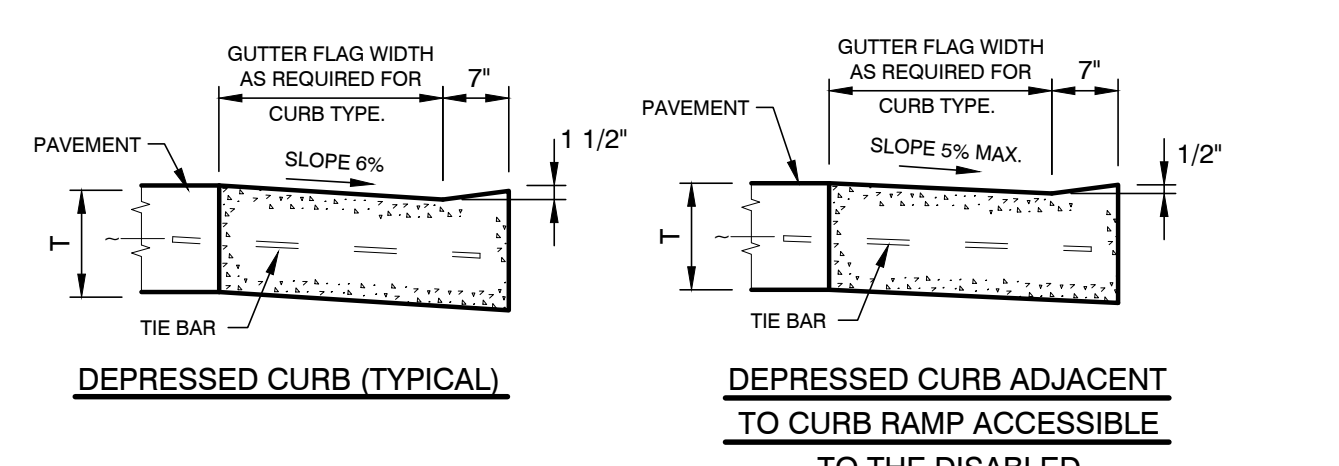


TABLE OF DIMENSIONS BARRIER CURB

TYPE	A	B	C	D	R ₁
B-6.12	12"	1"	6"	6"	1"
B-6.18	18"	1"	6"	6"	1"
B-6.24	24"	1"	6"	6"	1"
B-9.12	12"	2"	5"	9"	1"
B-9.18	18"	2"	5"	9"	1"
B-9.24	24"	2"	5"	9"	1"



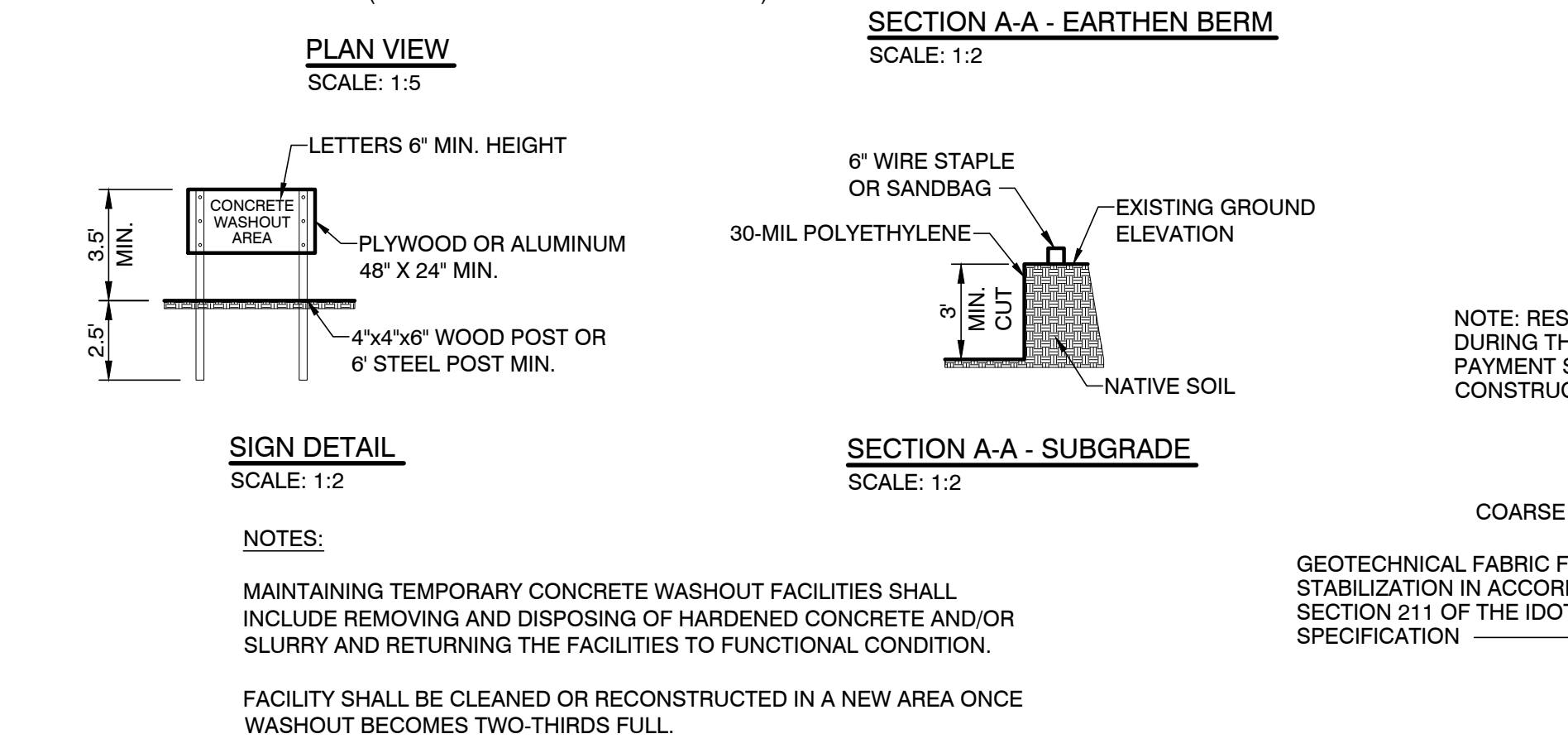
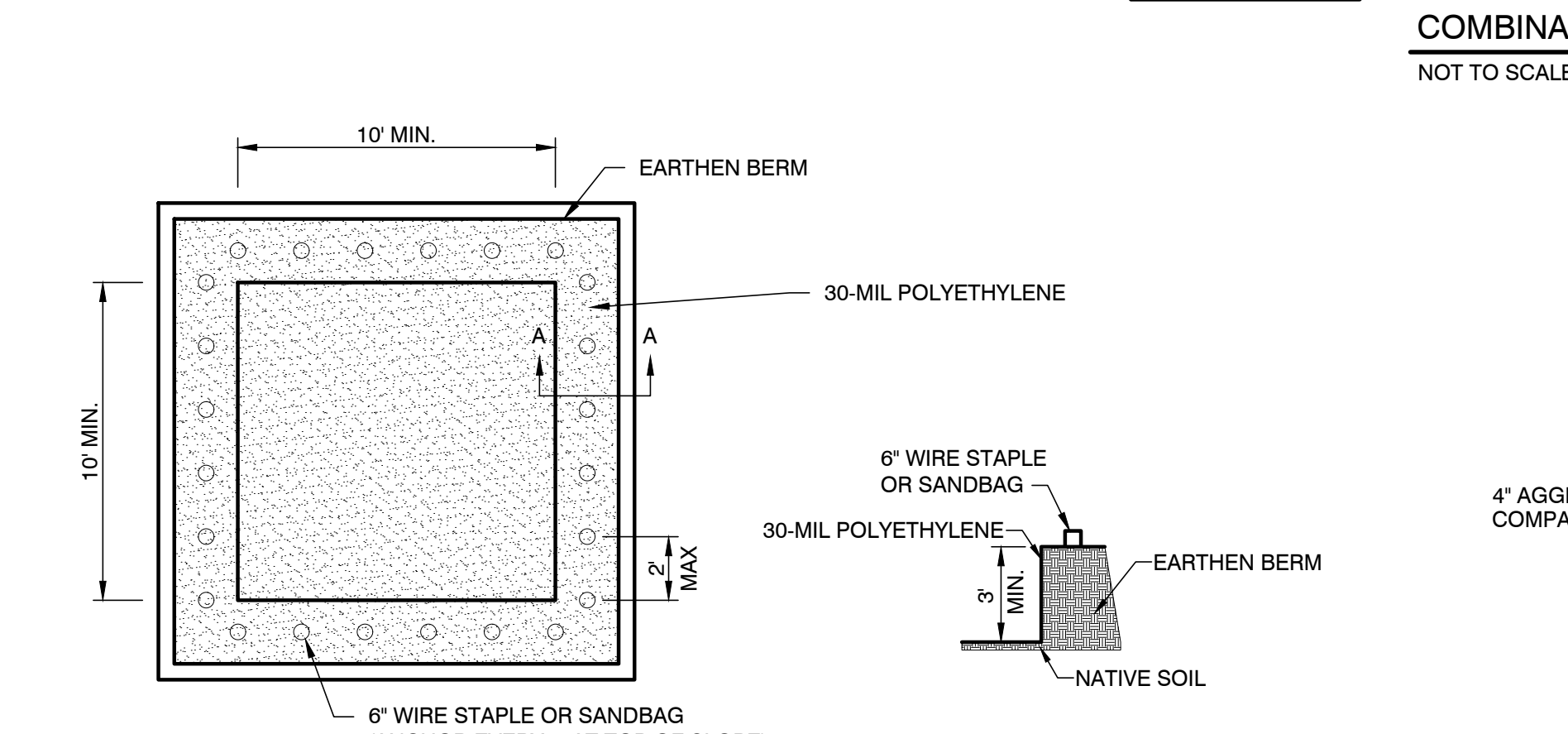
GENERAL NOTES

THE BOTTOM SLOPE OF COMBINATION CURB AND GUTTER CONSTRUCTED ADJACENT TO PCC PAVEMENT SHALL BE THE SAME SLOPE AS THE SUBBASE OR 6% WHEN SUBBASE IS OMITTED.

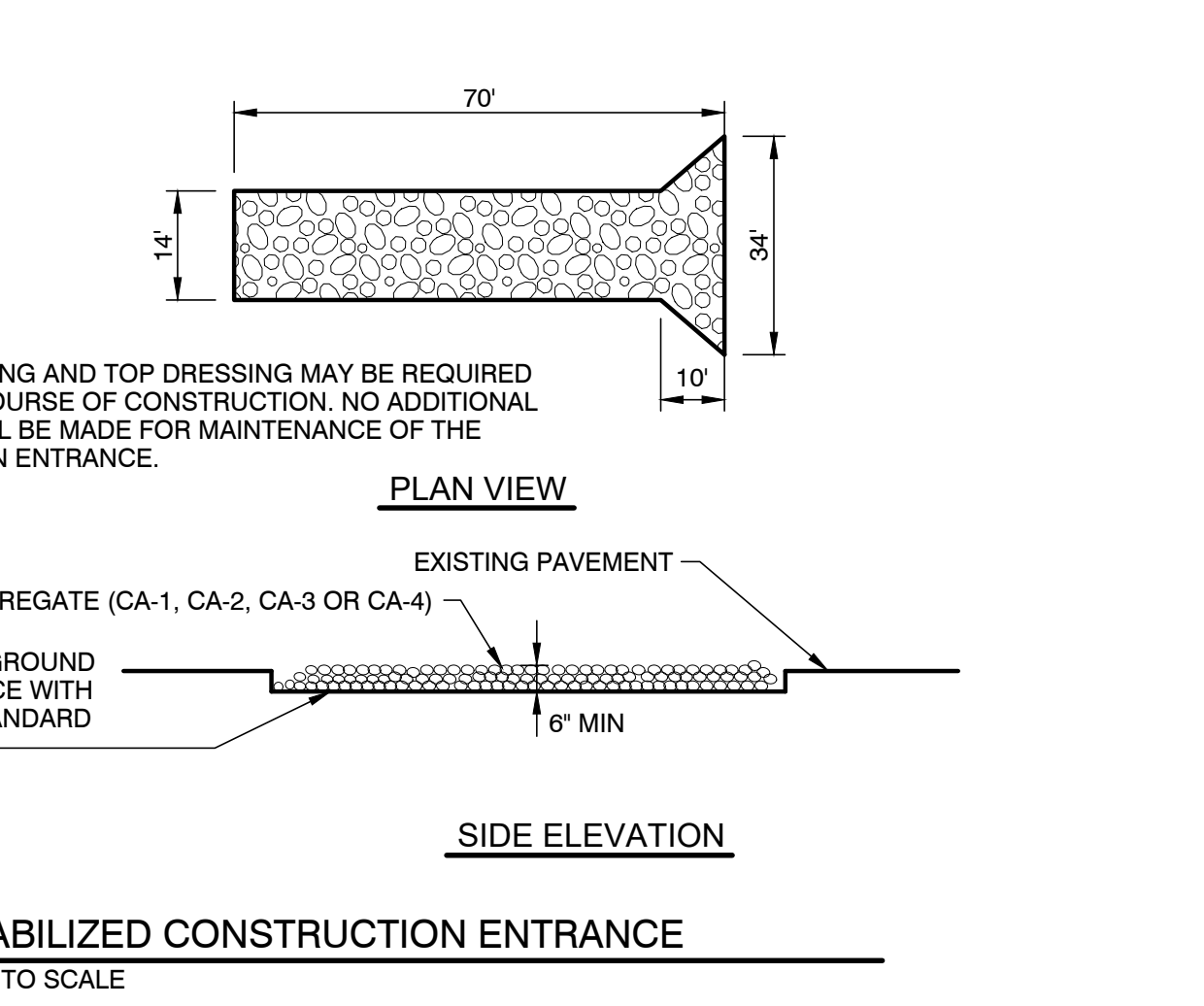
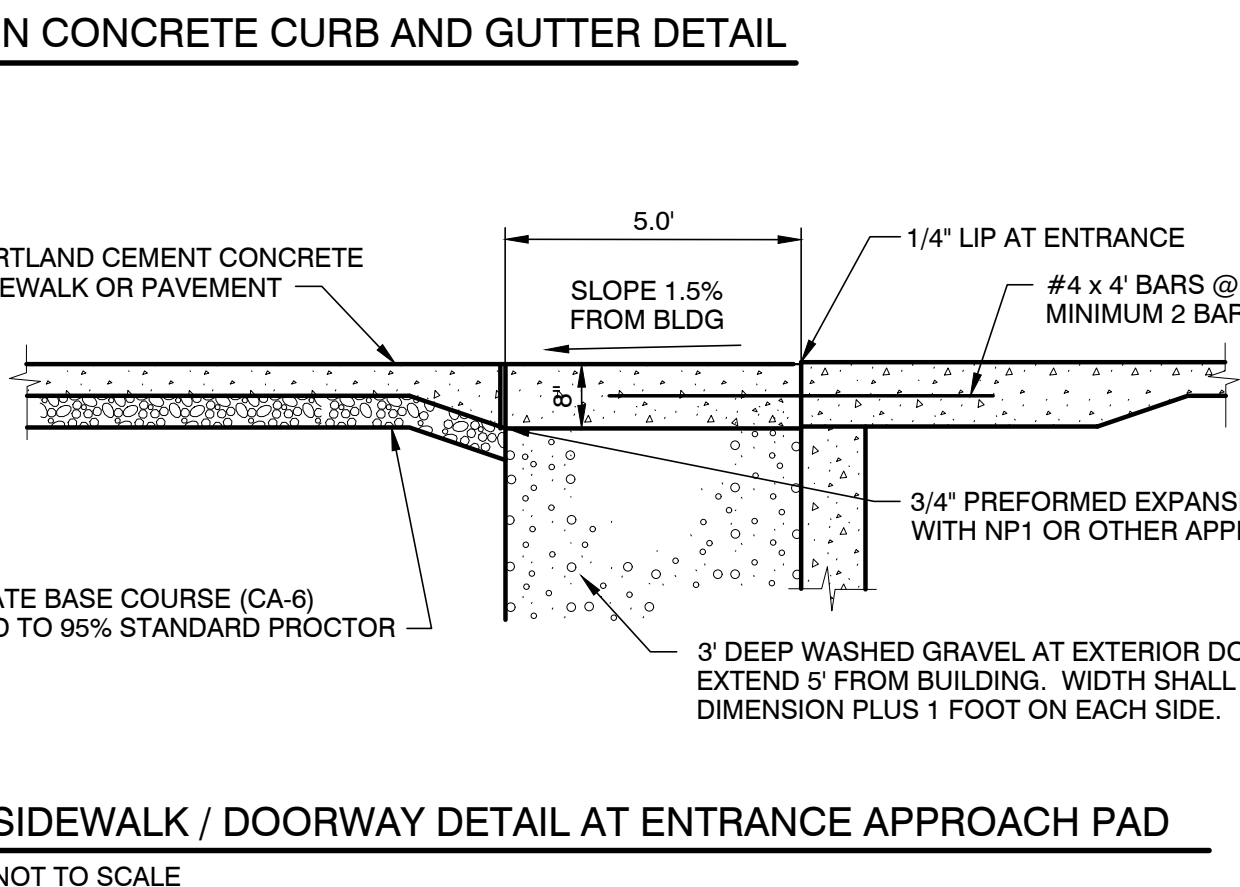
T = THICKNESS OF PAVEMENT.

LONGITUDINAL JOINT TIE BARS SHALL BE NO. 6 AT 24" CENTERS IN ACCORDANCE WITH DETAILS FOR LONGITUDINAL CONSTRUCTION JOINT SHOWN ON STANDARD 420001.

A MINIMUM CLEARANCE OF 2" BETWEEN THE END OF THE TIE BAR AND THE BACK OF THE CURB SHALL BE MAINTAINED.

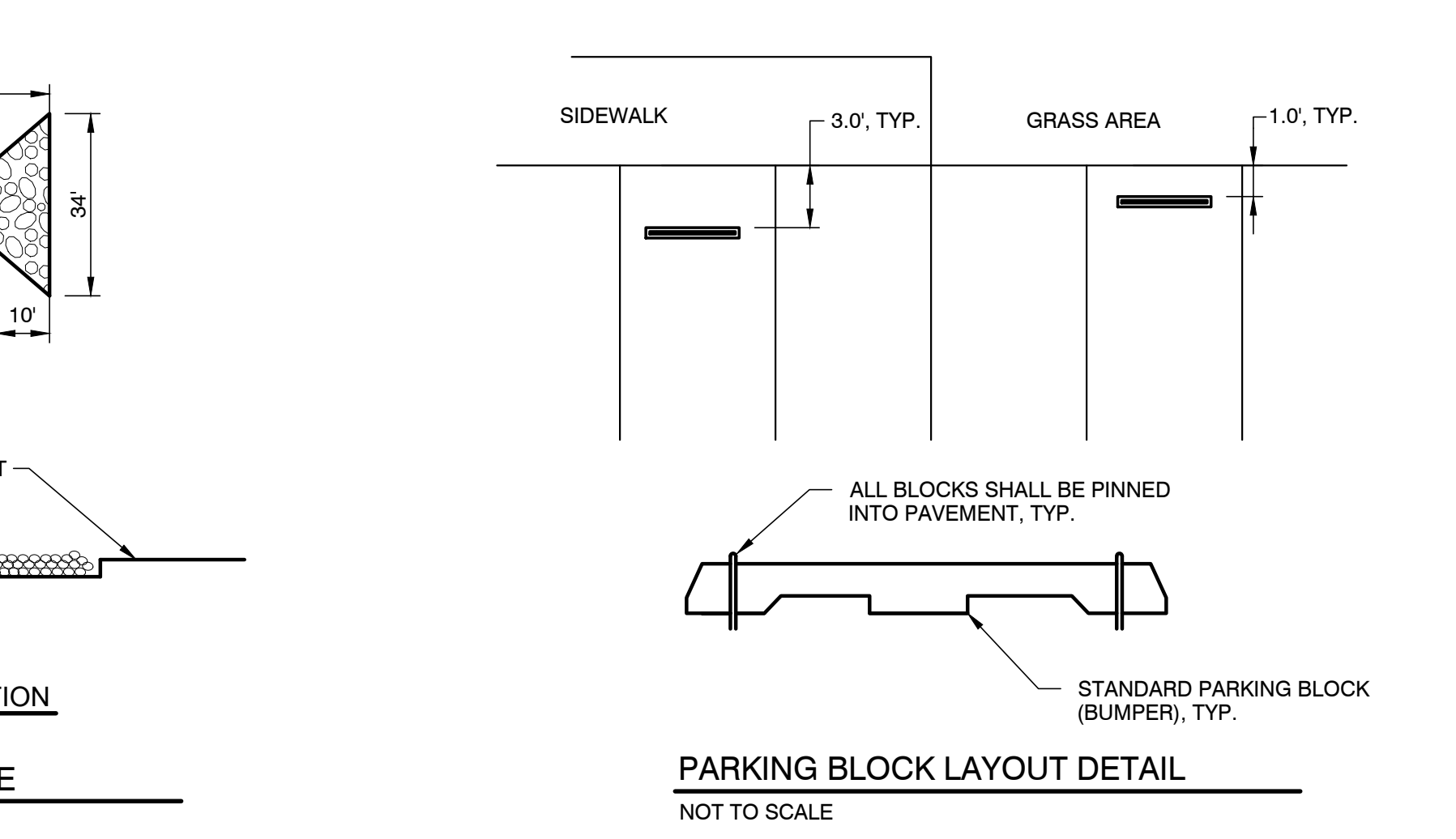
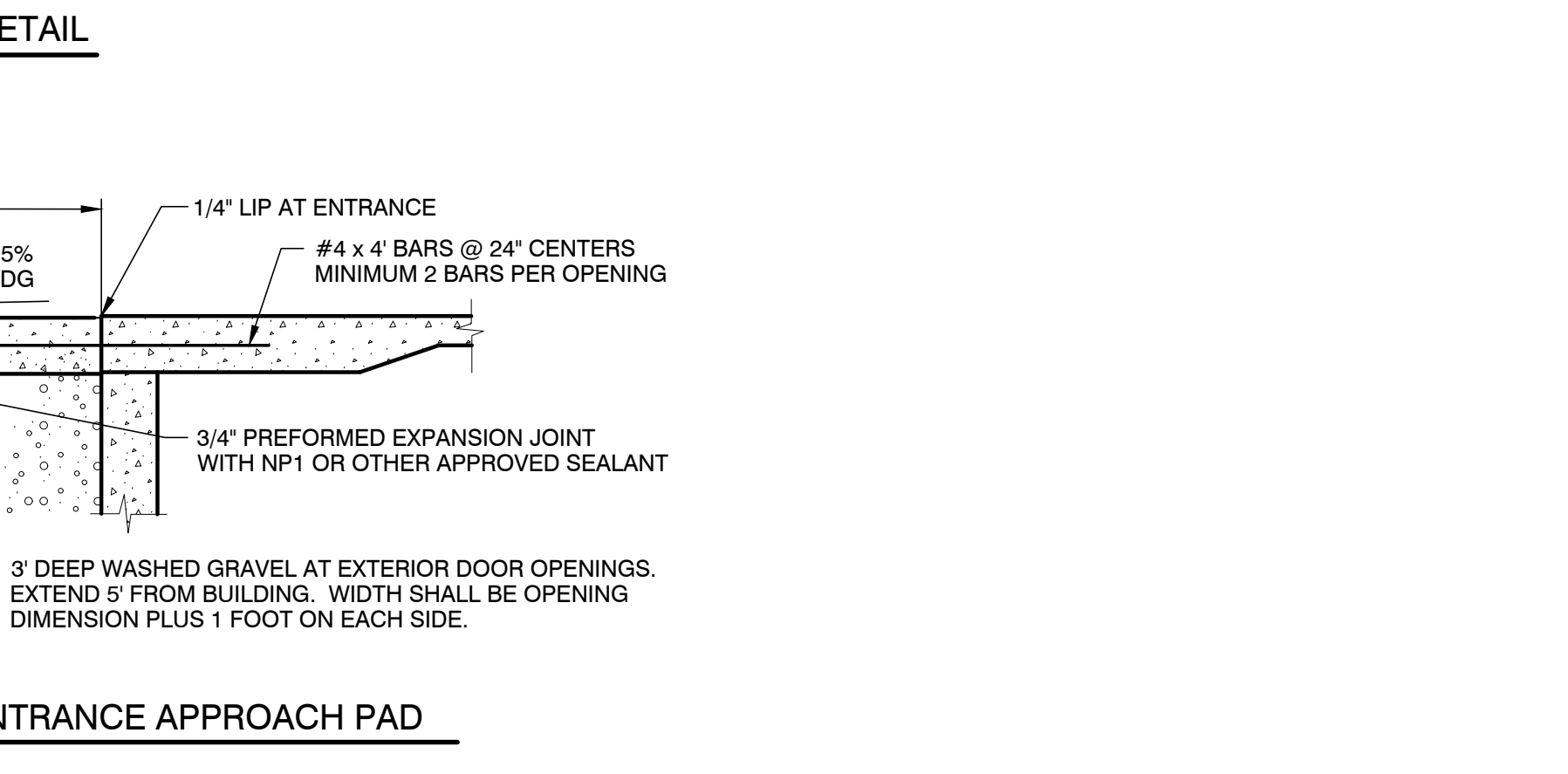
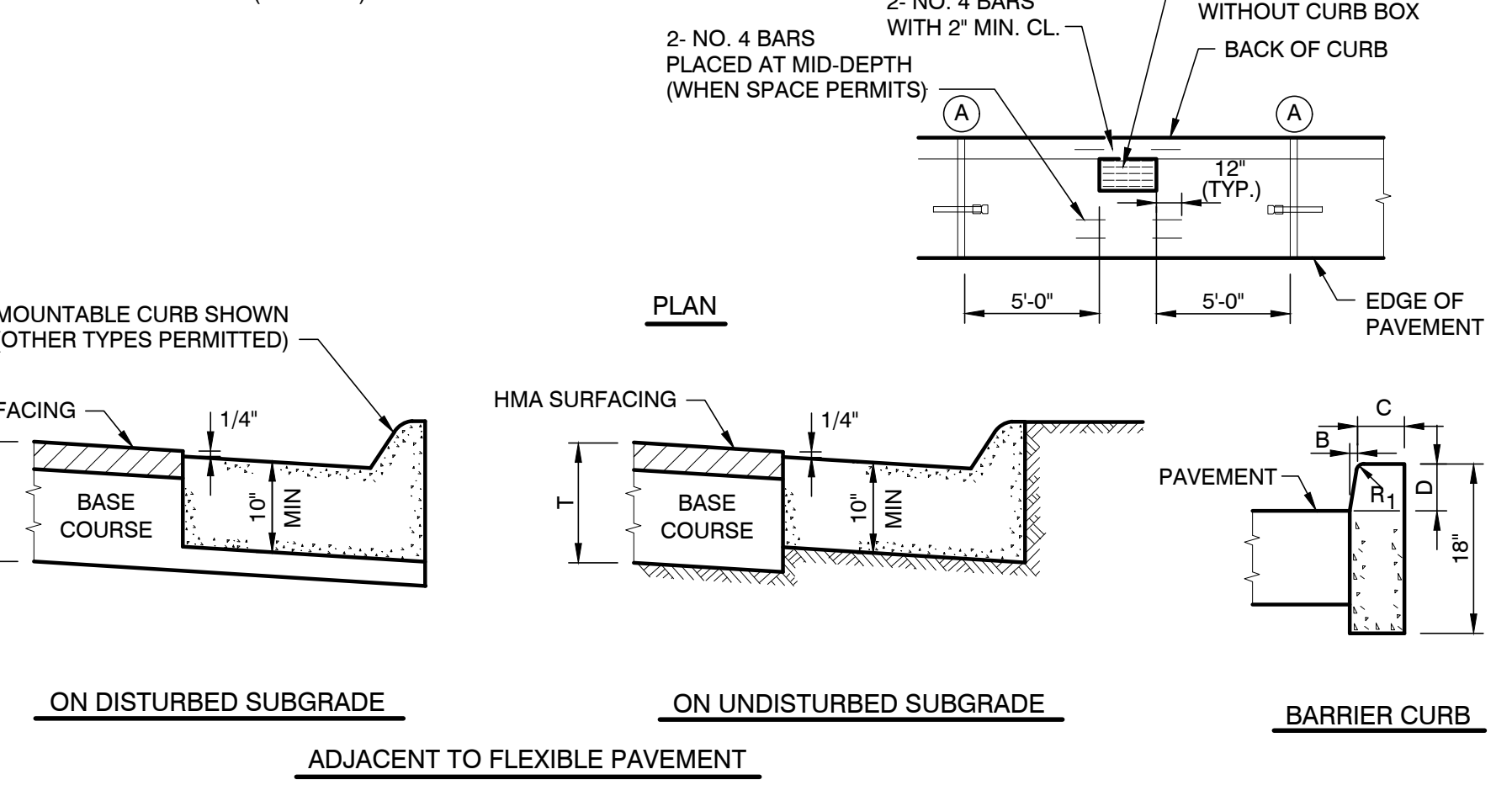
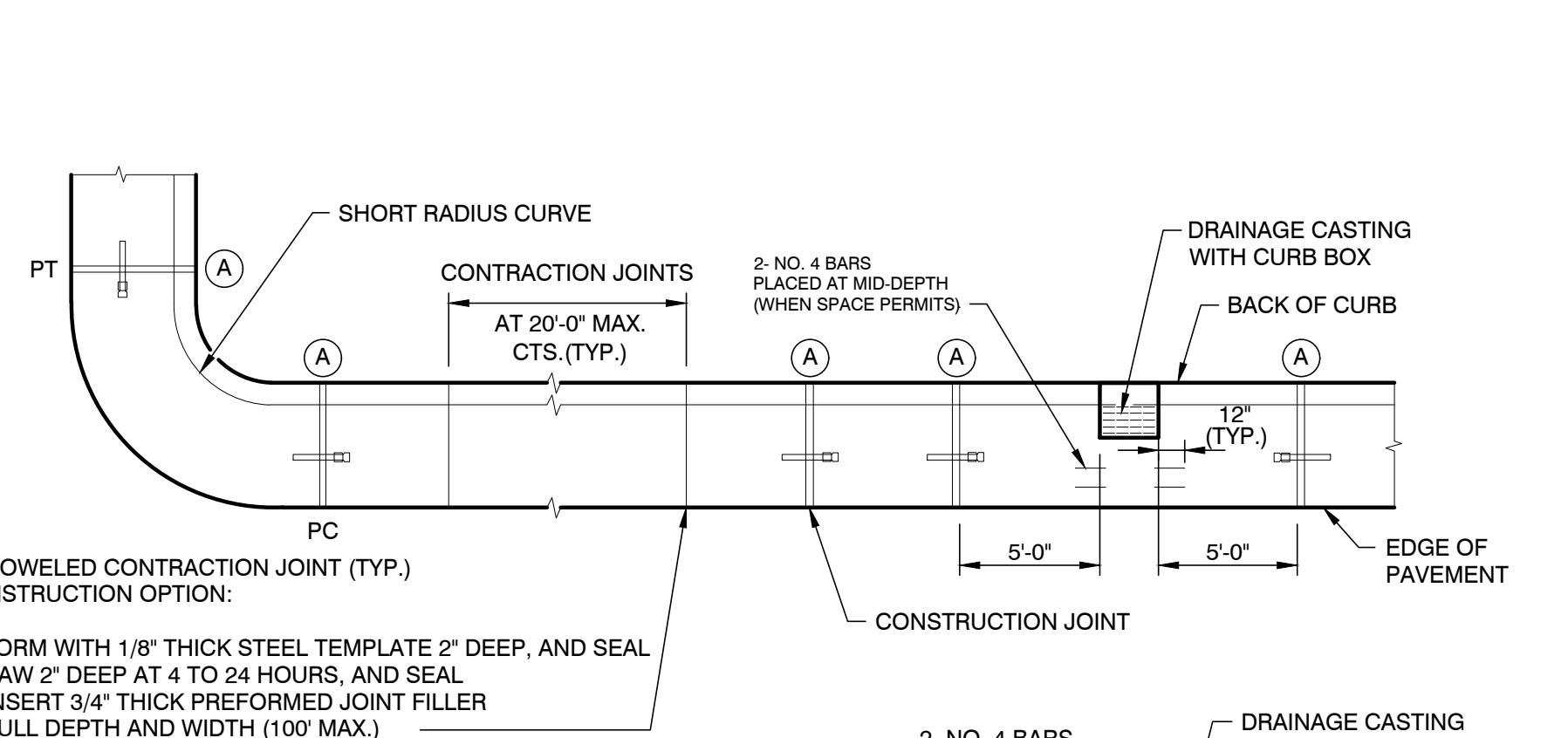


TEMPORARY CONCRETE WASHOUT FACILITY - EARTHEN TYPE
SCALE: 1" = 5'

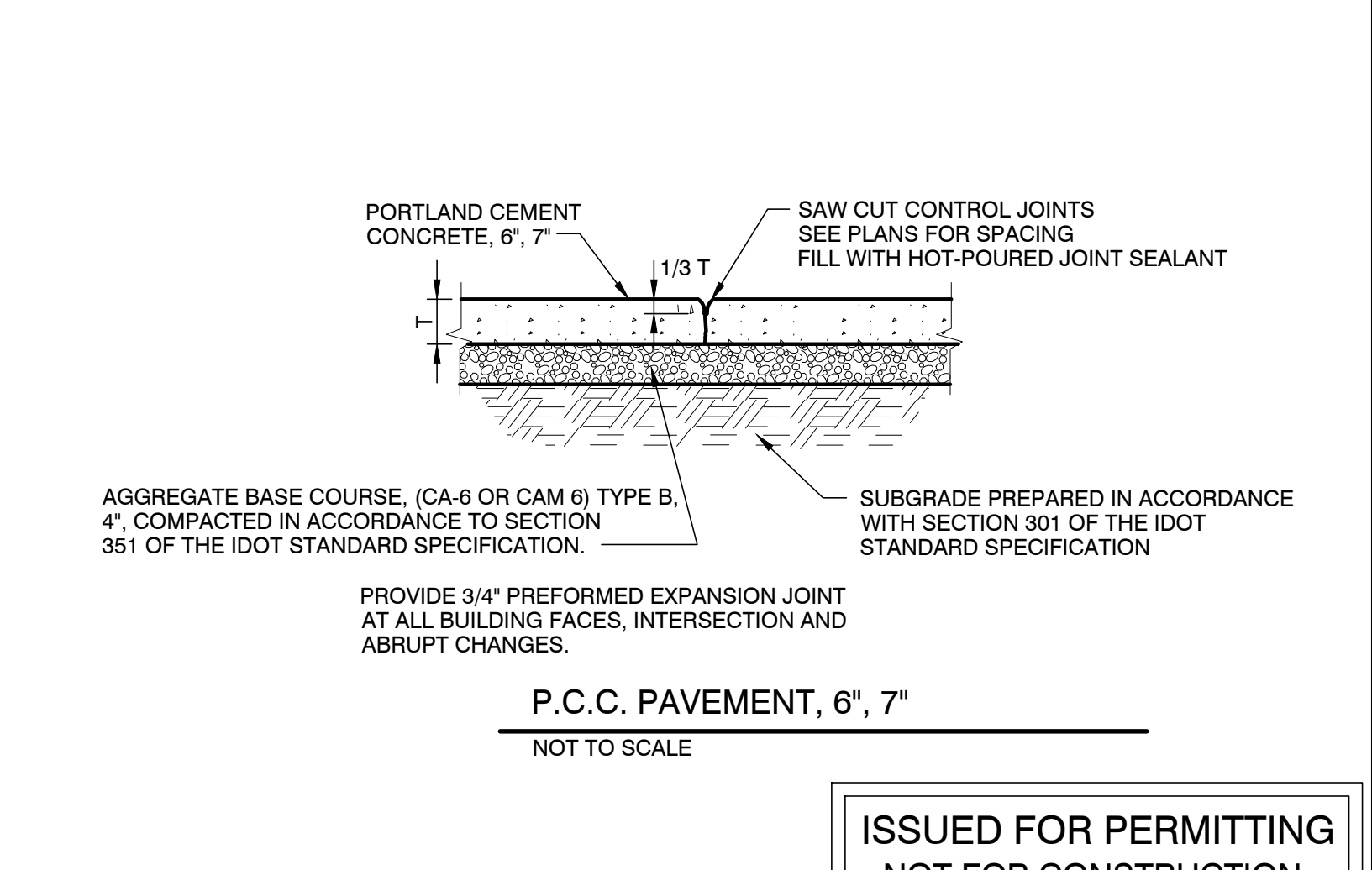
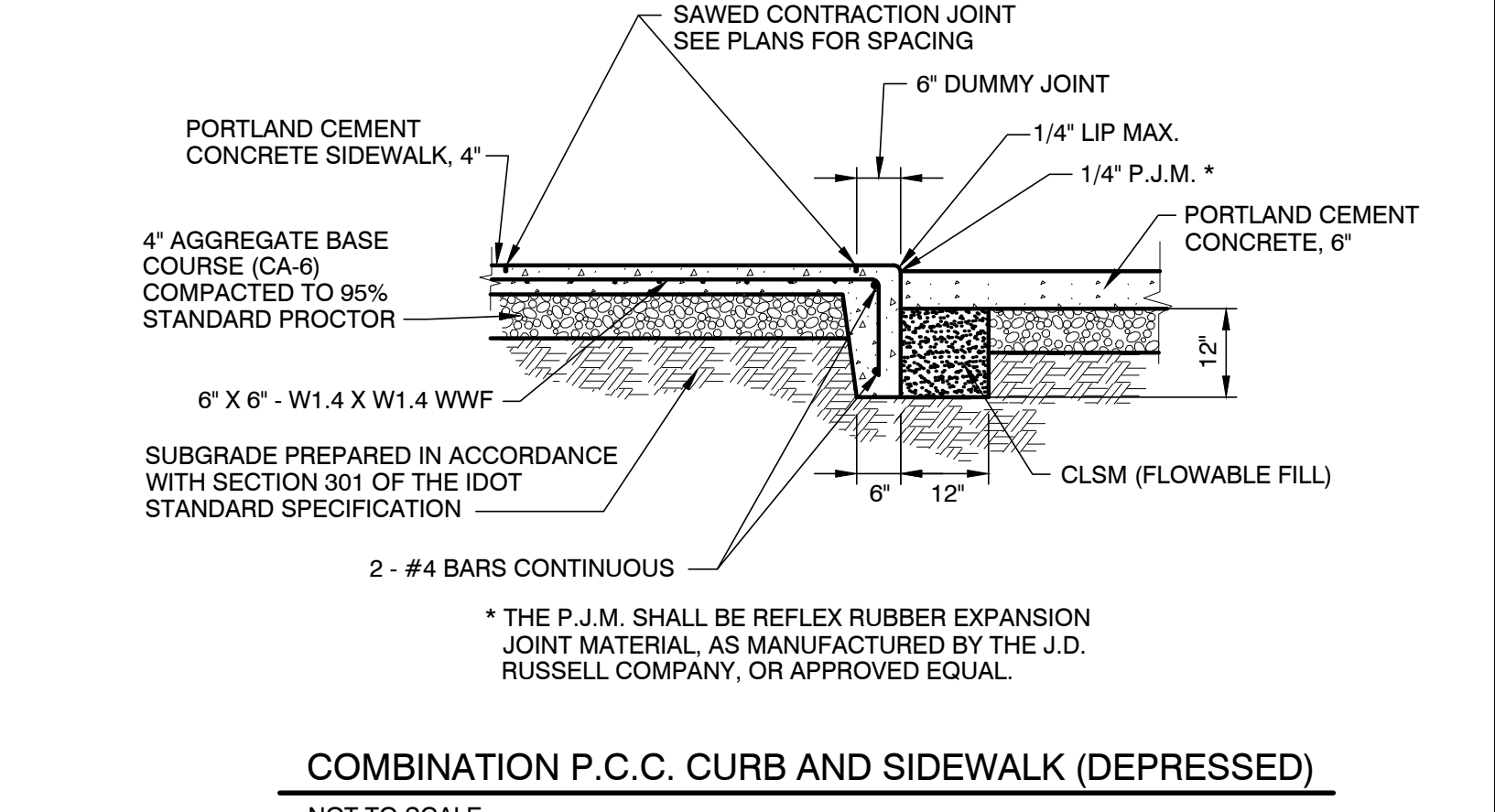
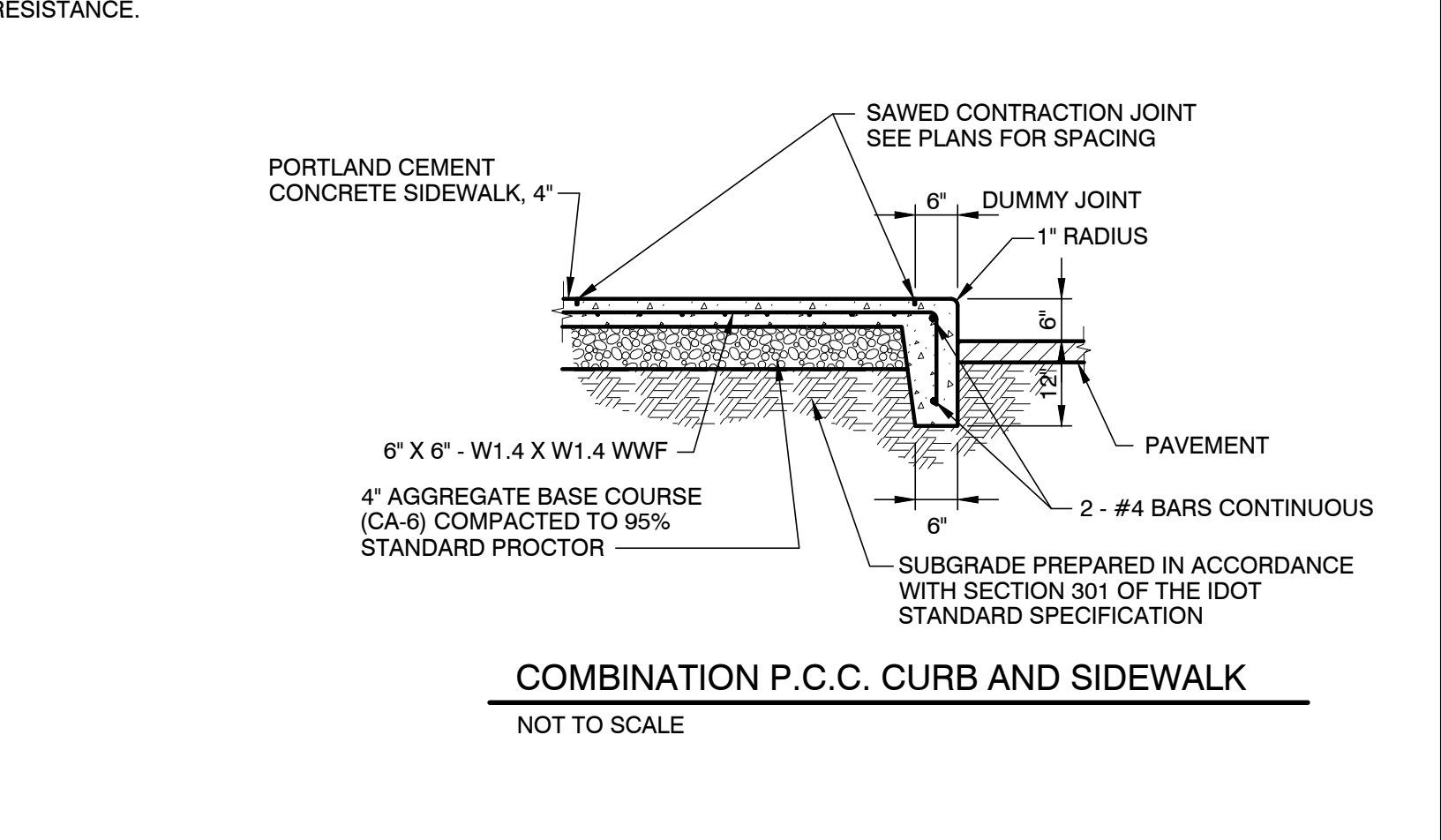
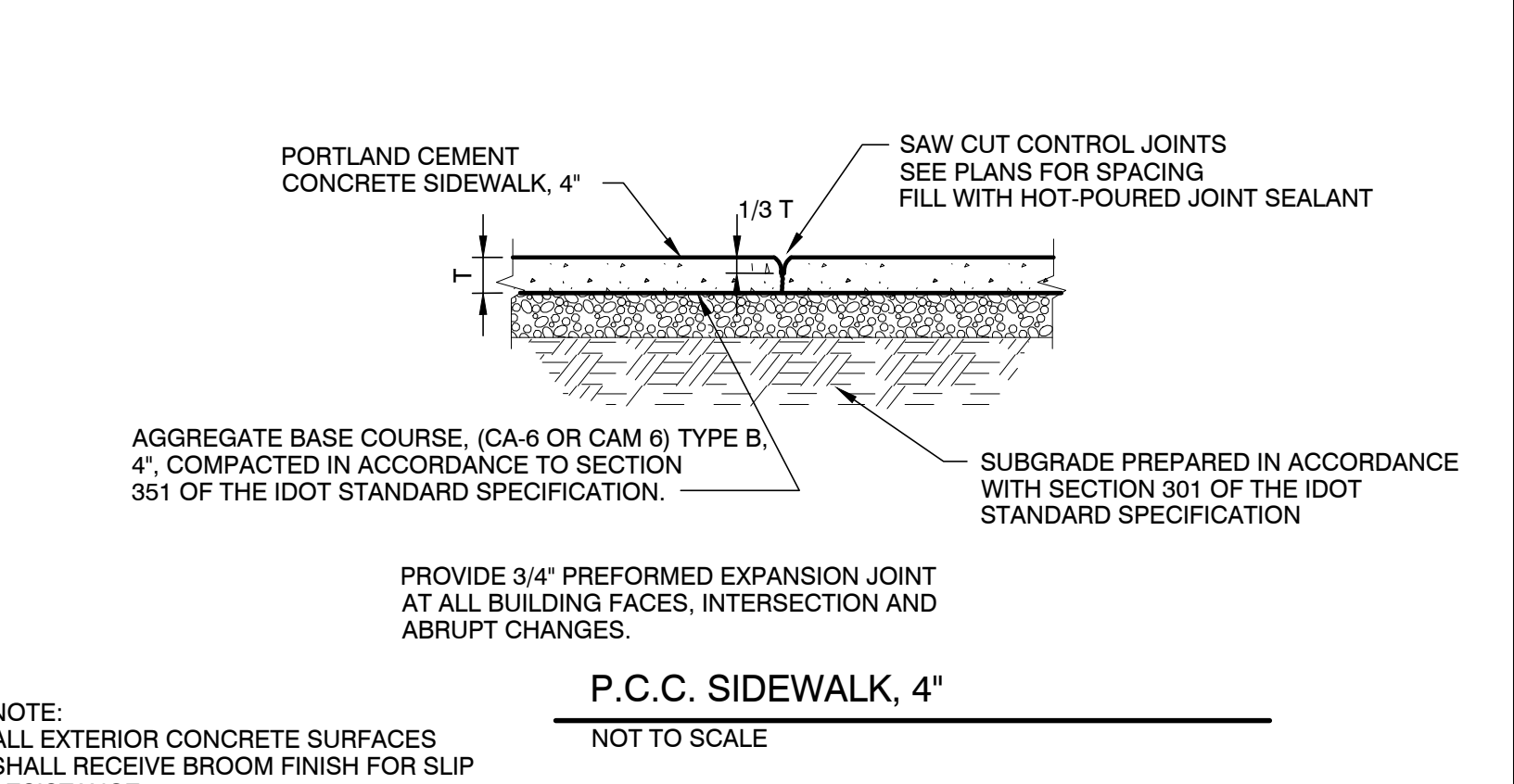


REV.	DATE	NATURE OF REVISION	CHECKED

FILE NAME: 6-11 - CONSTRUCTION DETAILS 21-355.dwg Nov 04, 2021

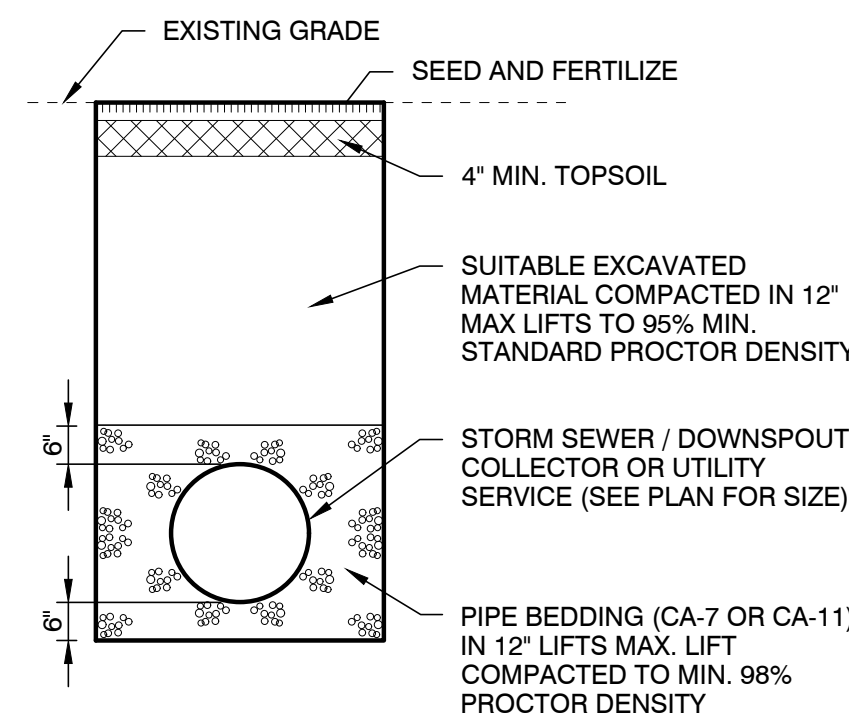


SURVEYED	WLC	CLIENT:	TABELING DEVELOPMENT CO.
DRAWN	JMM		VISION SOUTH LOT 1102 R
CHECKED	JMM		MAHOMET, IL 61853
SCALE	AS NOTED	TITLE:	CONSTRUCTION DETAILS
DATE	11-04-2021		

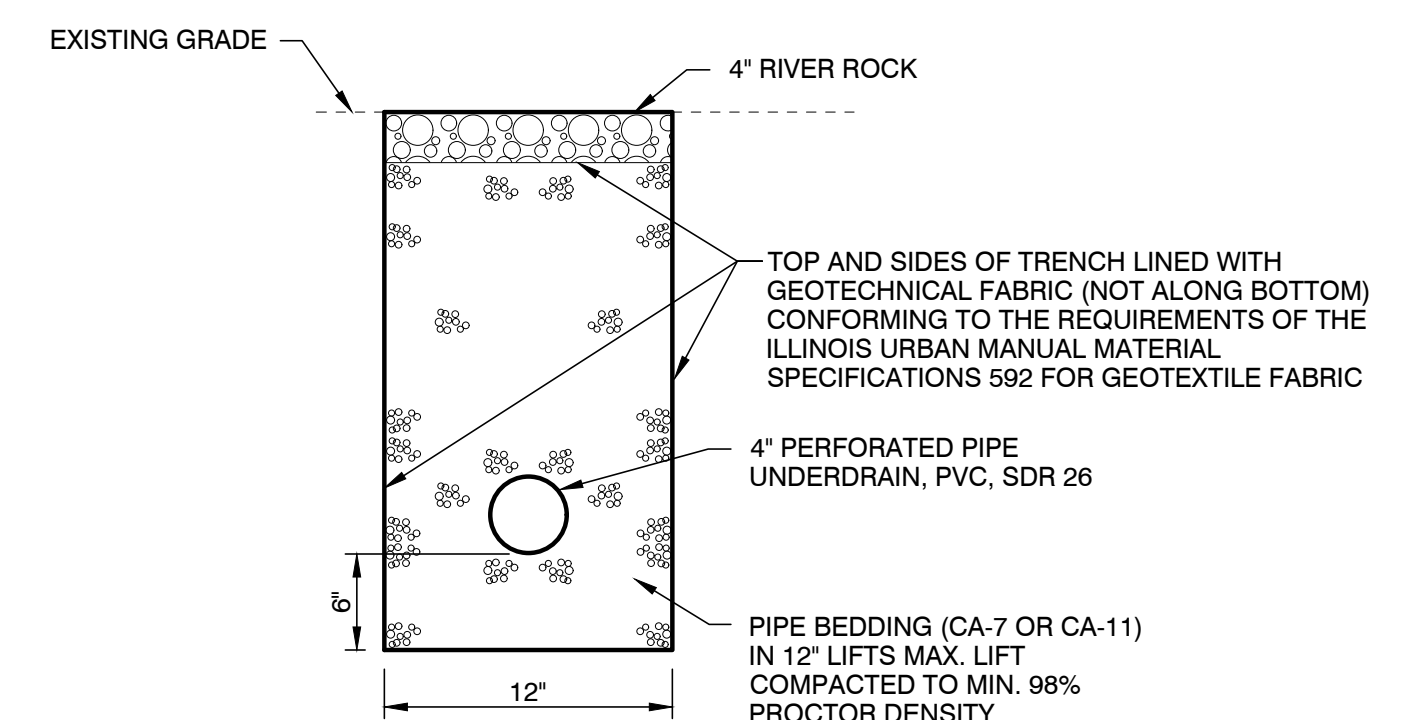


PROJECT NO.	21-355
SHEET	8 OF 12
DRAWING NO.	8

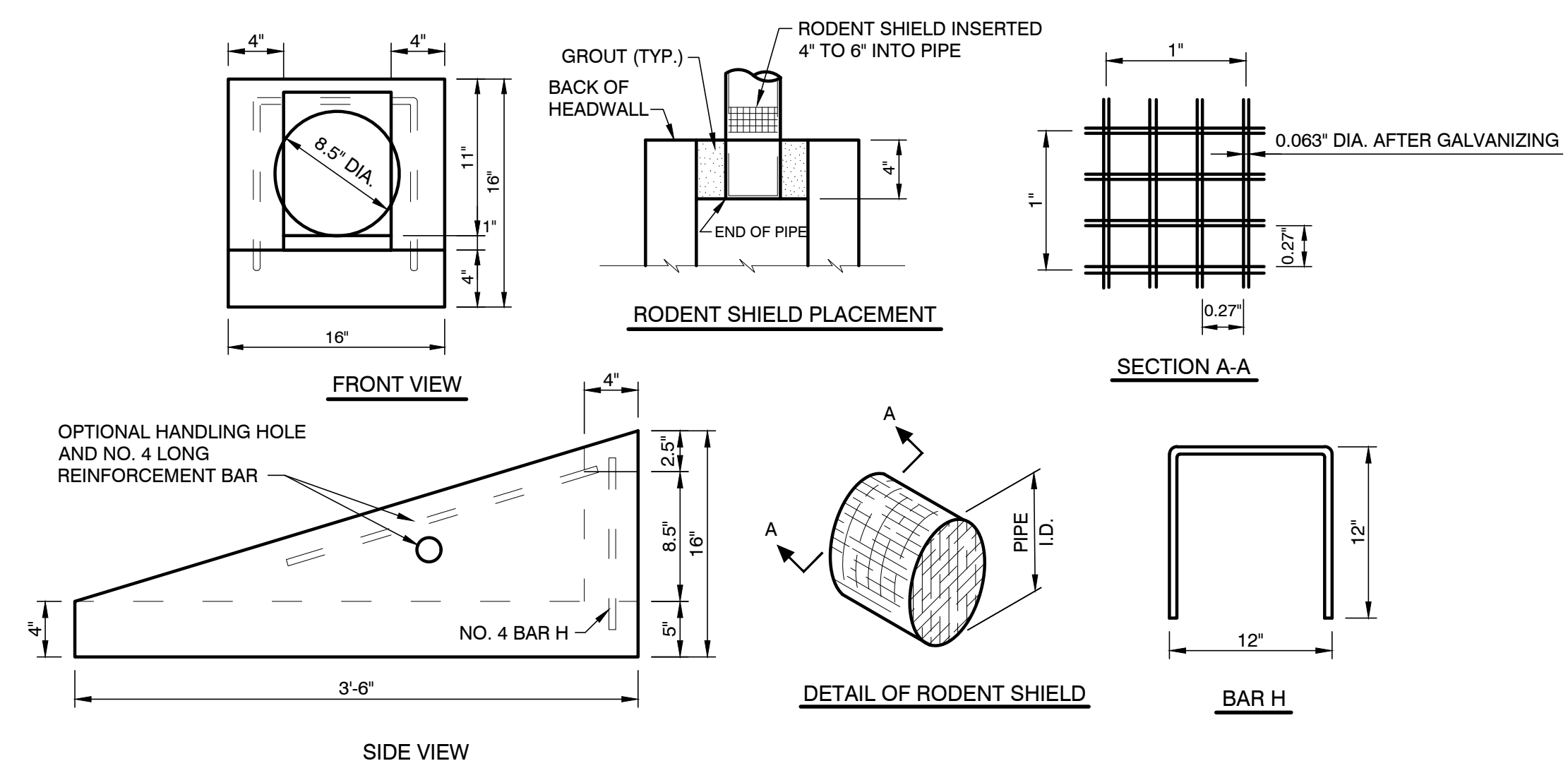
ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



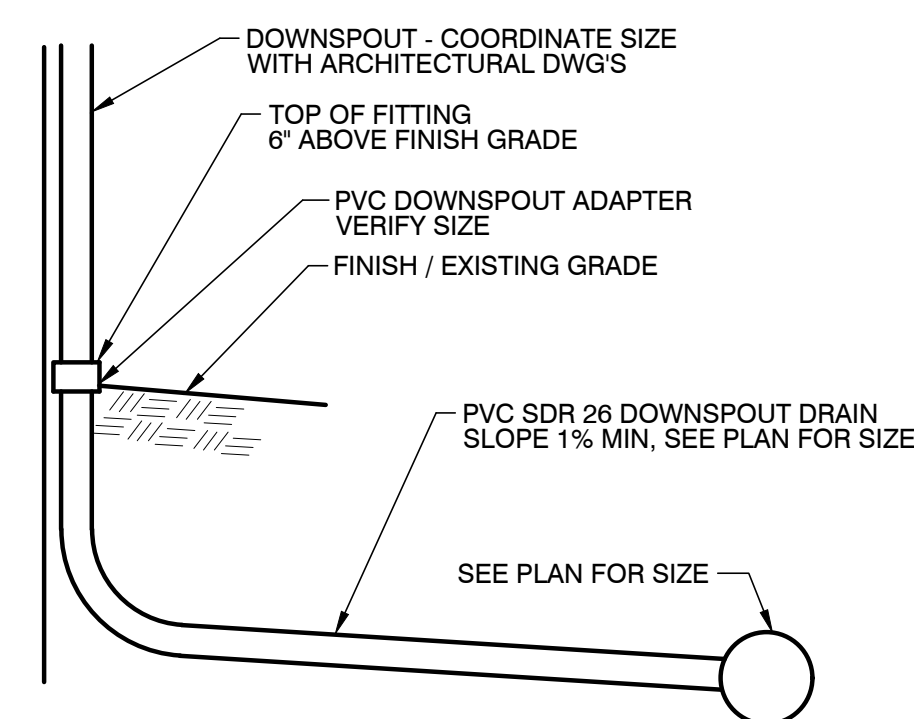
TRENCH DETAILS
NOT TO SCALE



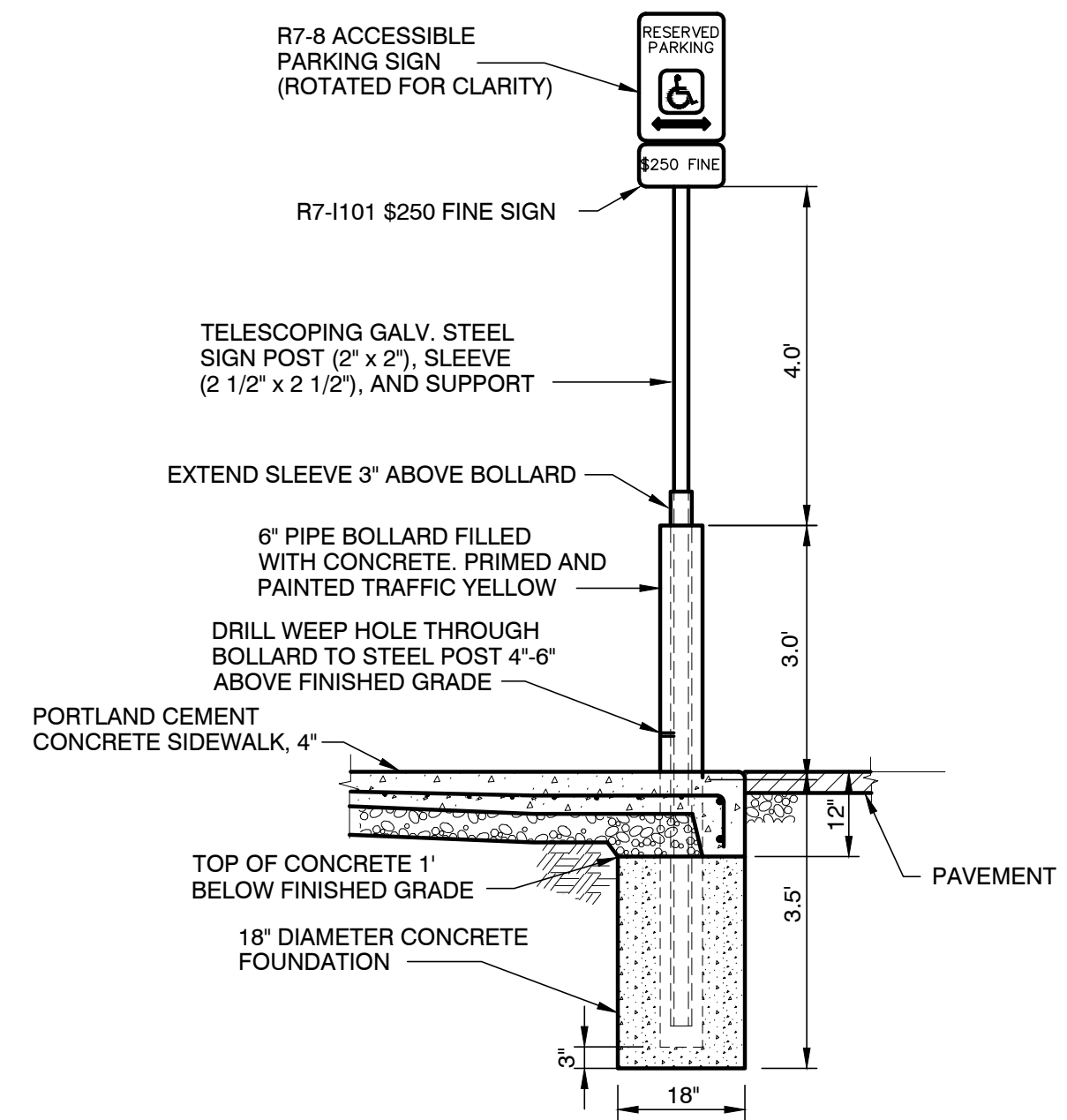
SUBSURFACE LOW-FLOW CONDUIT DETAIL
NOT TO SCALE



CONCRETE HEADWALL FOR PIPE DRAIN
NOT TO SCALE

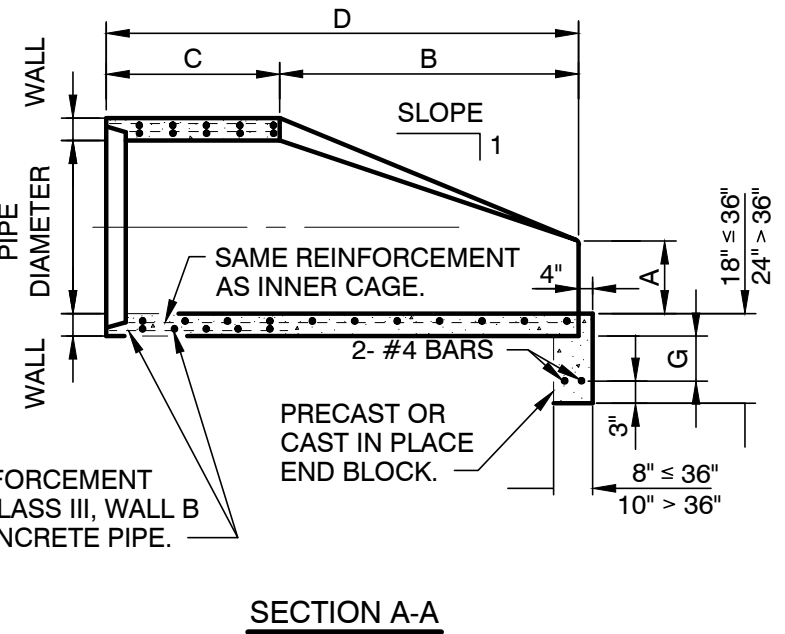
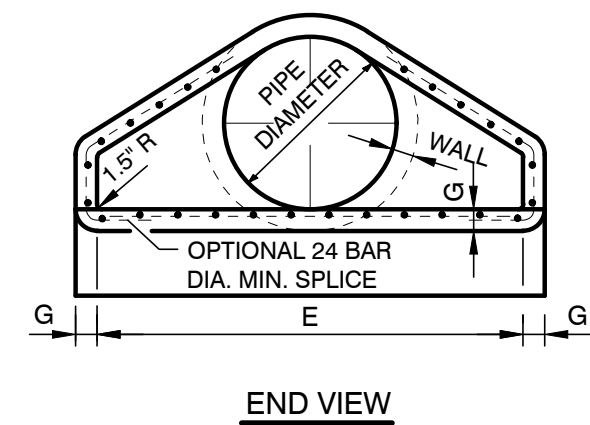


DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE



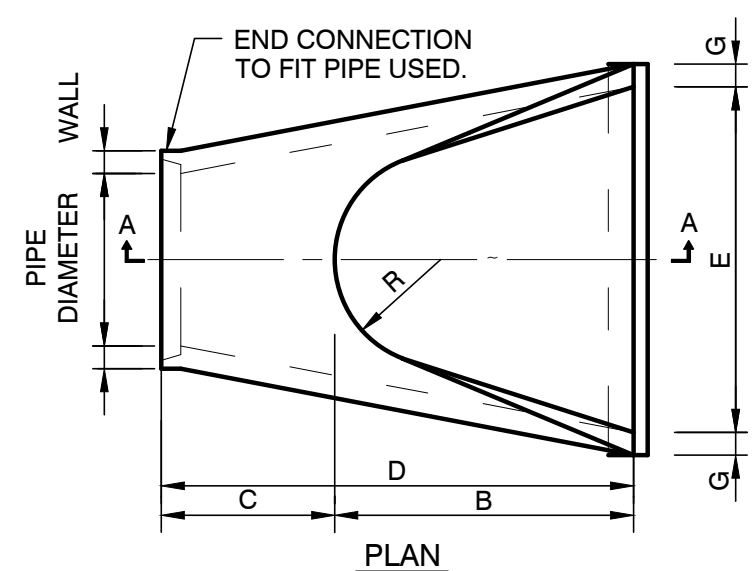
ACCESSIBLE PARKING SIGN (AT COMB. CURB AND SIDEWALK)
NOT TO SCALE

PIPE DIA.	APPROX. LBS	WALL	A	B	C	D	E	G	R	APPROX. SLOPE
12"	530	2"	4"	24"	4'-0 7/8"	6'-0 7/8"	24"	2"	9"	1:2.4
15"	740	2.25"	6"	27"	3'-10"	6'-1"	30"	2.25"	11"	1:2.4



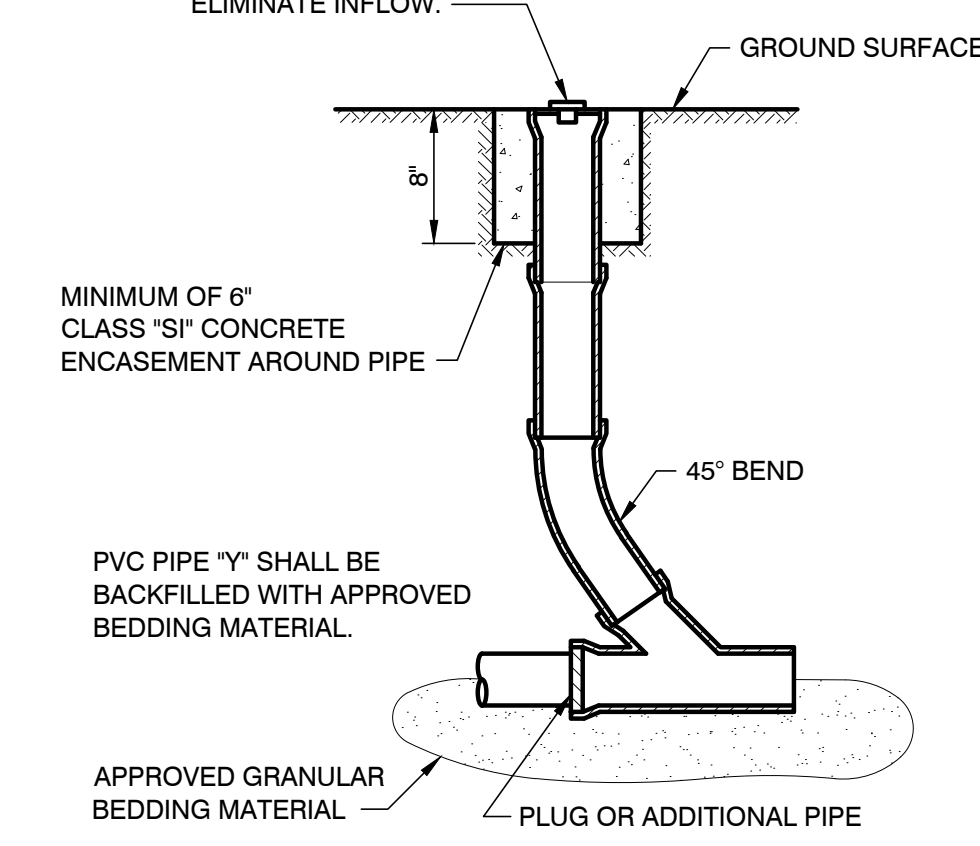
GENERAL NOTES

ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).

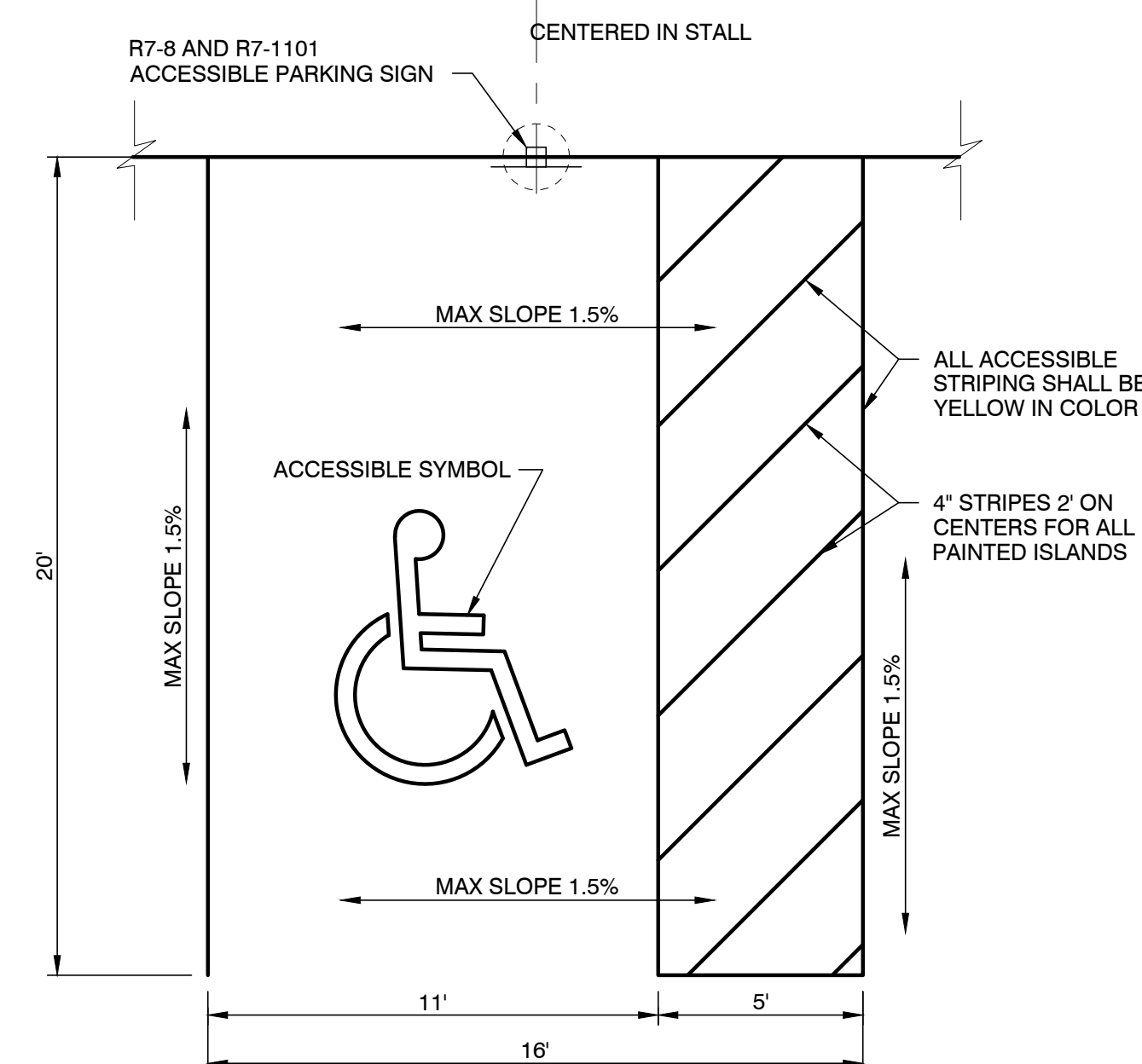


PRECAST REINFORCED CONCRETE FLARED END SECTION
NOT TO SCALE

NOTE: SERVICE CLEANOUTS SHALL BE THREADED PVC CAP, CHERNE GRIPPER MECHANICAL PLUG, BOLT DOWN CASTING, OR THREADED METAL CAP AND MUST BE TIGHTLY PLUGGED TO ELIMINATE INFLOW.



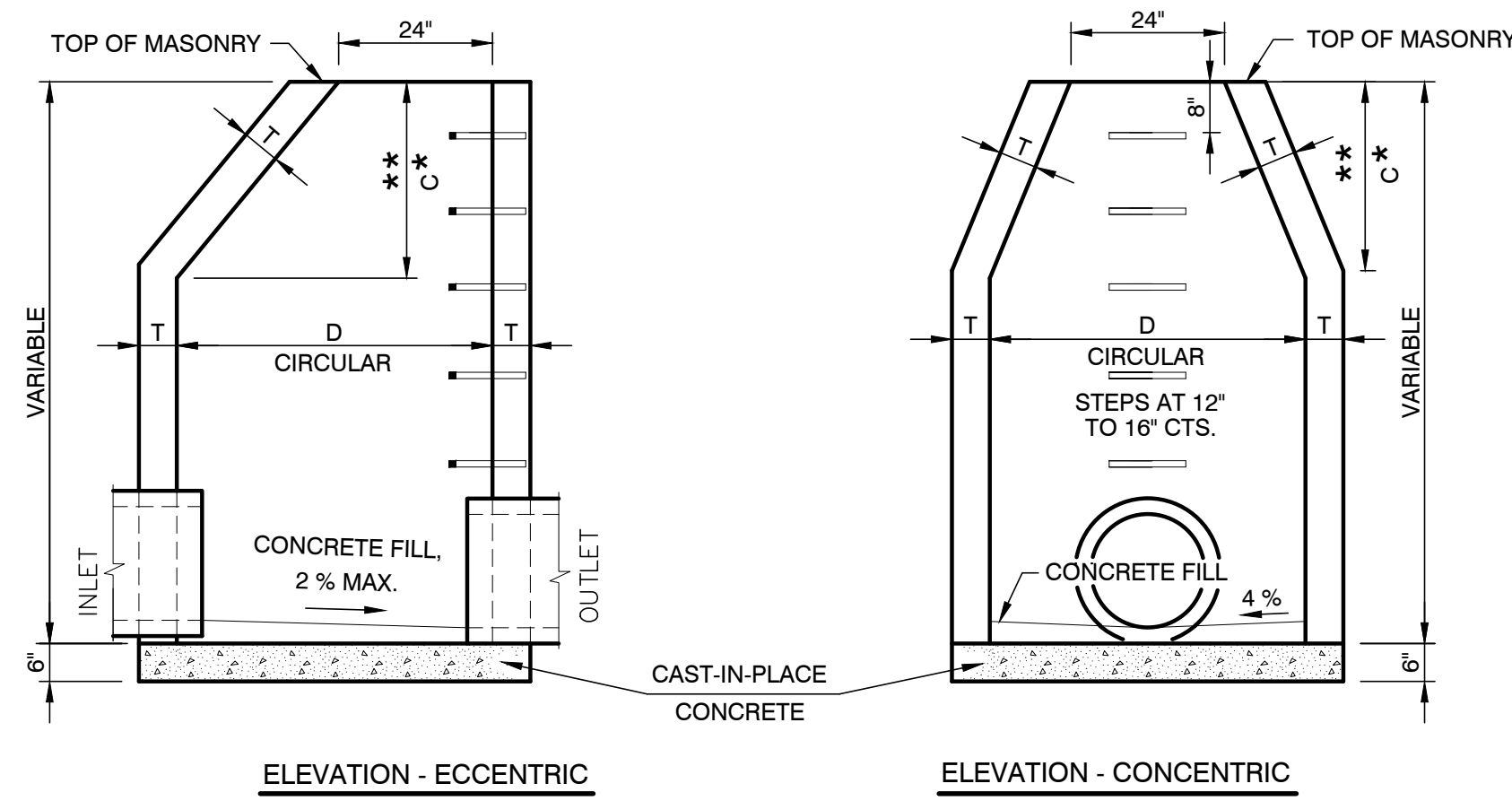
CLEANOUT DETAIL
NOT TO SCALE



ACCESSIBLE PARKING LAYOUT
NOT TO SCALE

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**

REV.	DATE	NATURE OF REVISION	CHECKED



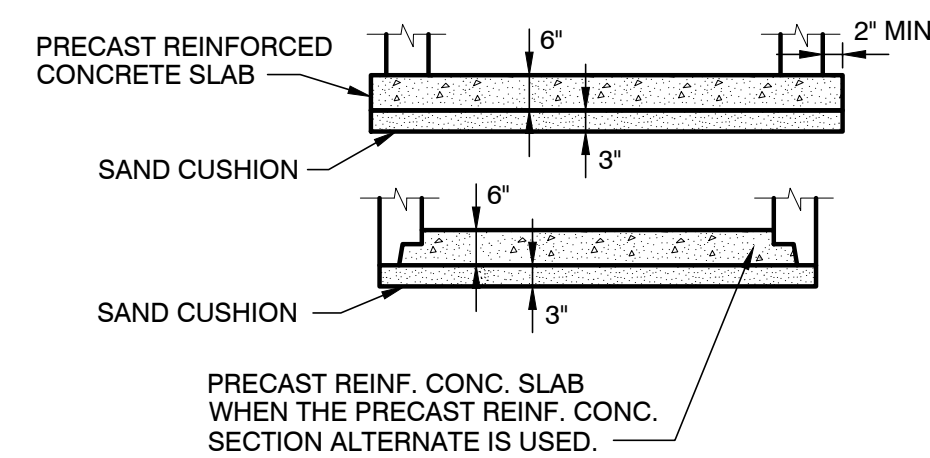
ELEVATION - ECCENTRIC

ELEVATION - CONCENTRIC

ALTERNATE MATERIALS FOR WALLS	D	C	T (MIN.)
CONCRETE MASONRY UNIT	(4'-0") (5'-0")	(30") (3'-9")	(5") (5")
BRICK MASONRY	(4'-0") (5'-0")	(30") (3'-9")	(8") (8")
PRECAST REINFORCED CONCRETE SECTION	(4'-0") (5'-0")	(30") (3'-9")	(4") (5")
CAST-IN-PLACE CONCRETE	(4'-0") (5'-0")	(30") (3'-9")	(6") (6")

GENERAL NOTES

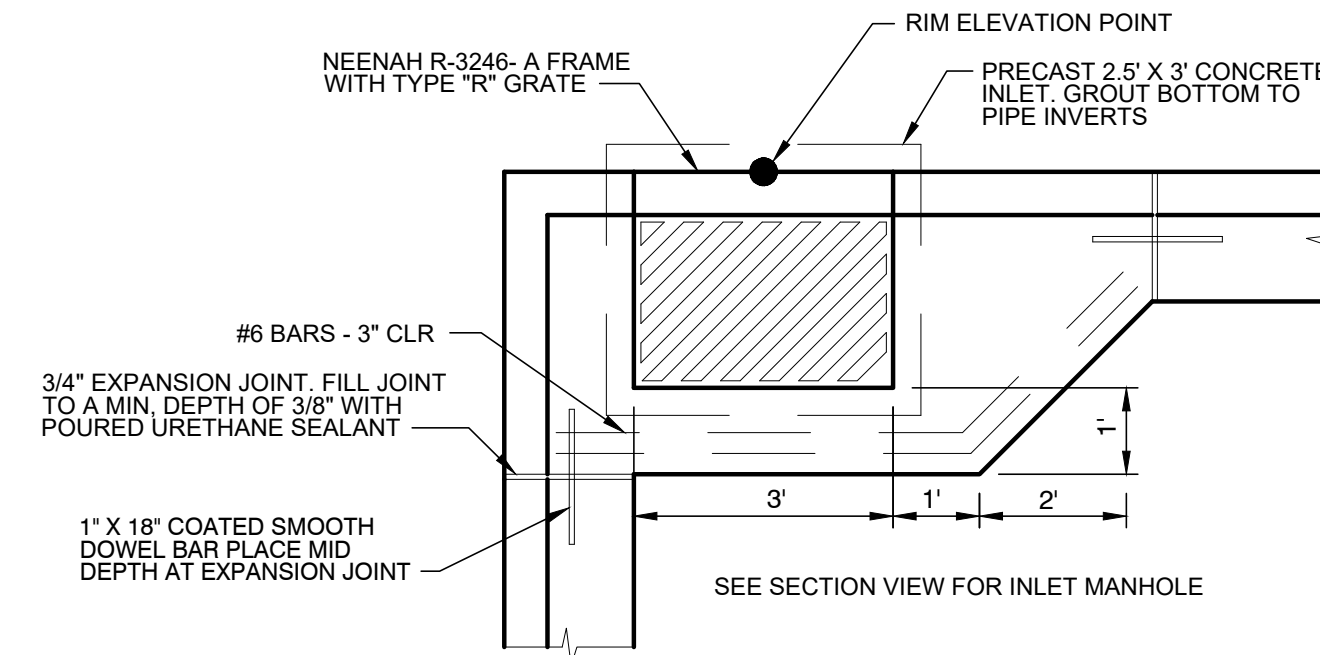
- * DIMENSION 'C' FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 6".
- ** SEE FOR OPTIONAL PRECAST REINFORCED CONCRETE FLAT SLAB TOP.



ALTERNATE BOTTOM SLAB

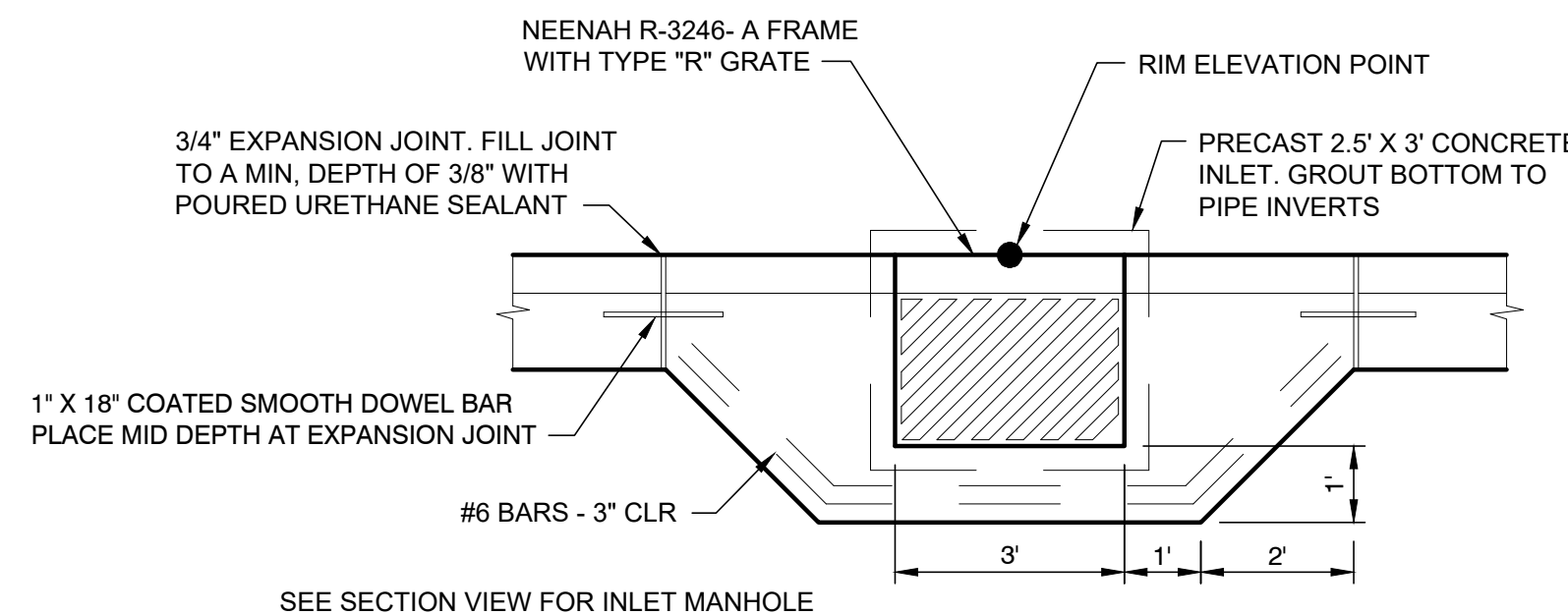
MANHOLE TYPE A

NOT TO SCALE



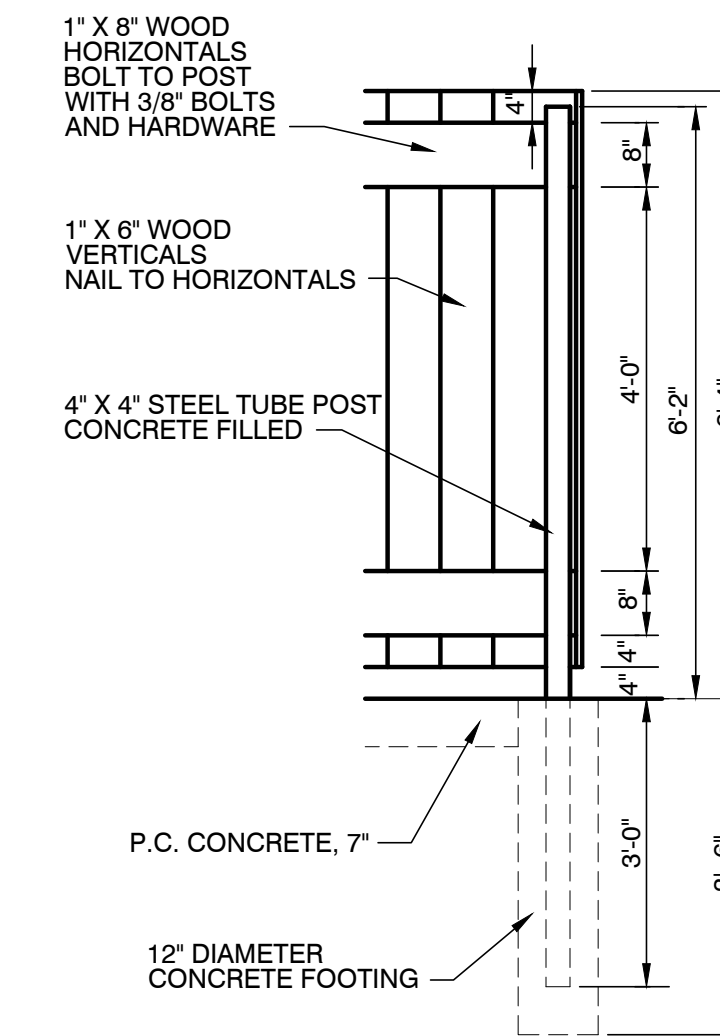
INLET, TYPE G-1 AT CORNER

NOT TO SCALE



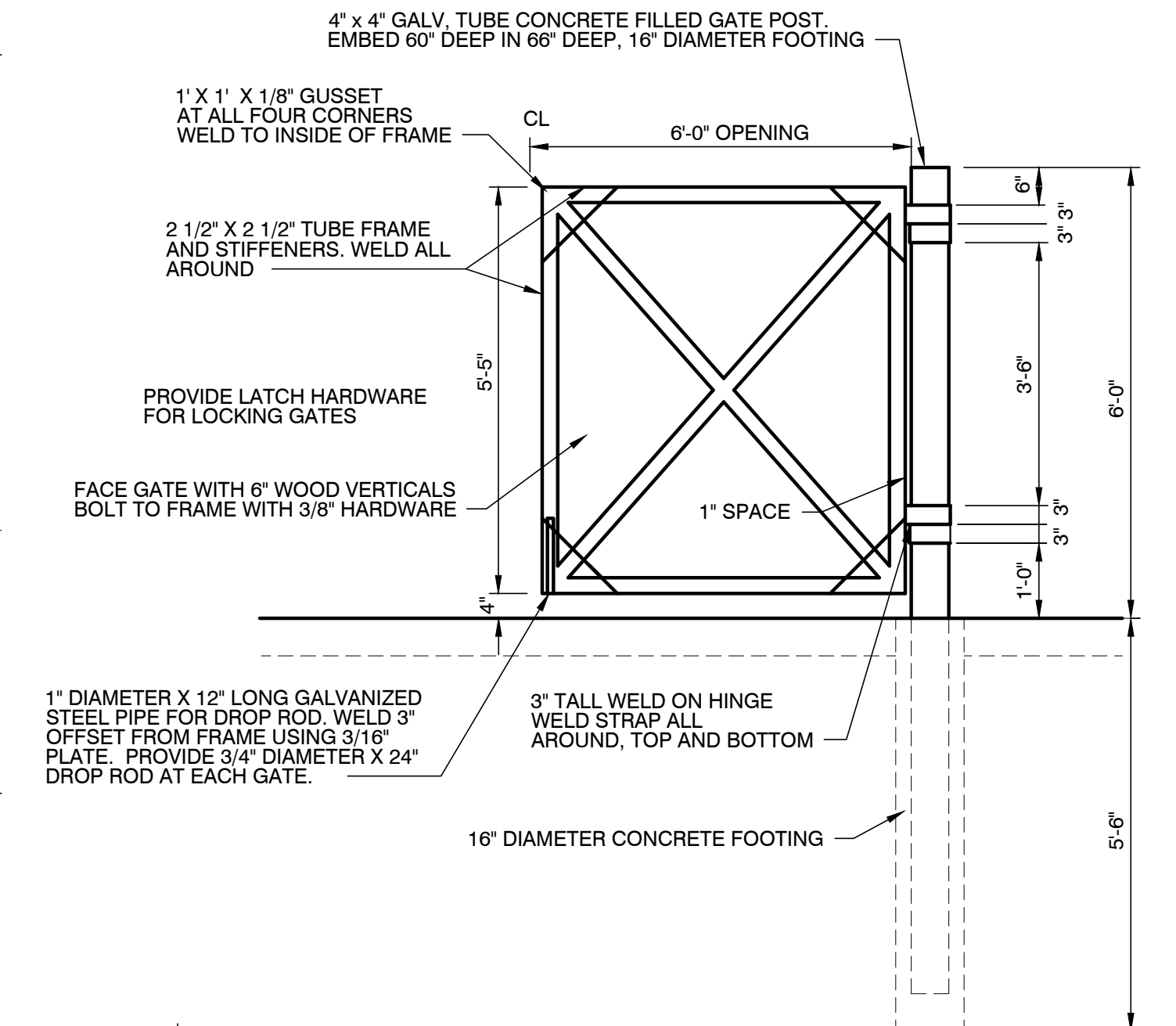
INLET, TYPE G-1

NOT TO SCALE



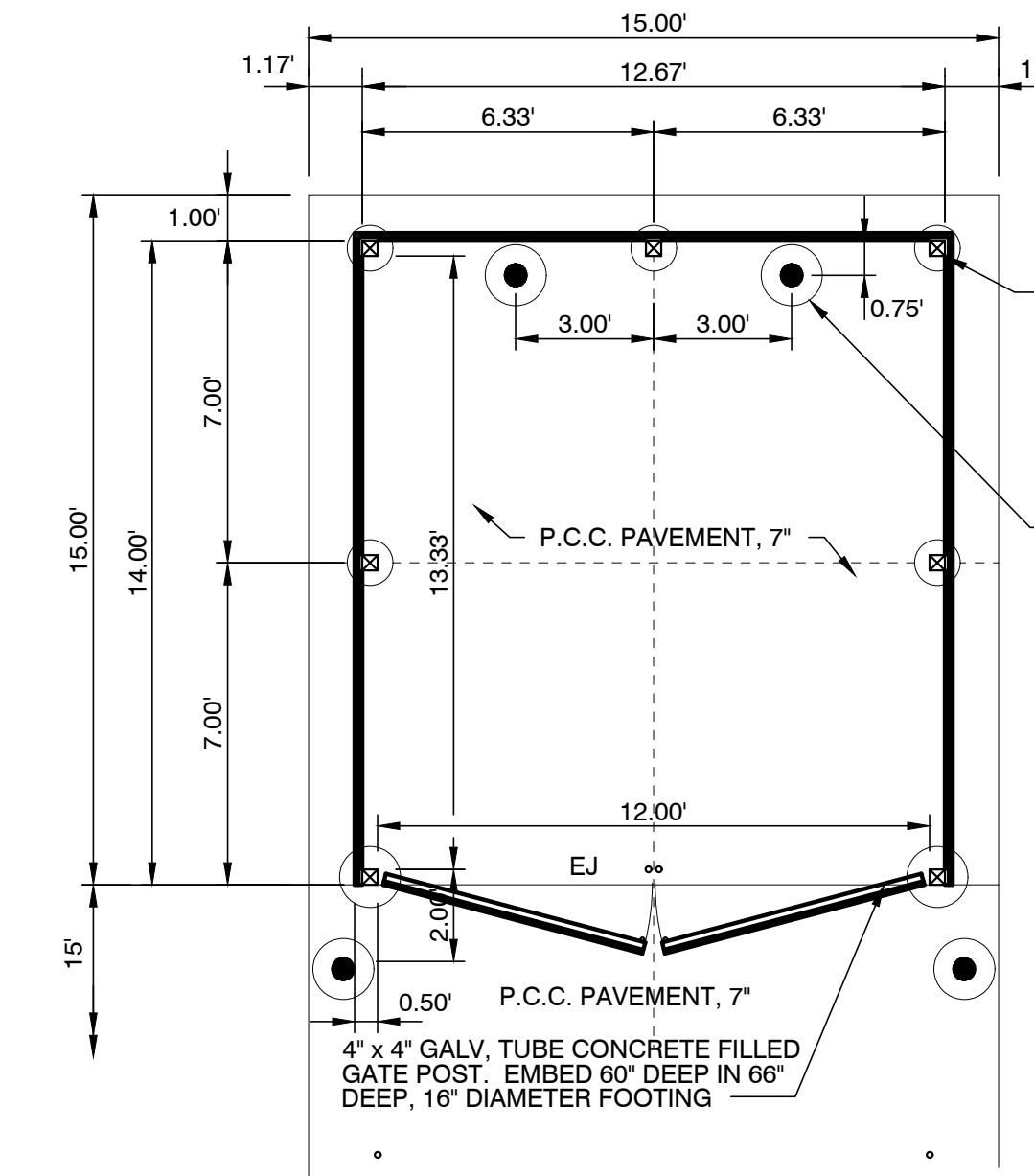
POST DETAIL

NOT TO SCALE



ENCLOSURE DOOR FRAME DETAIL

NOT TO SCALE



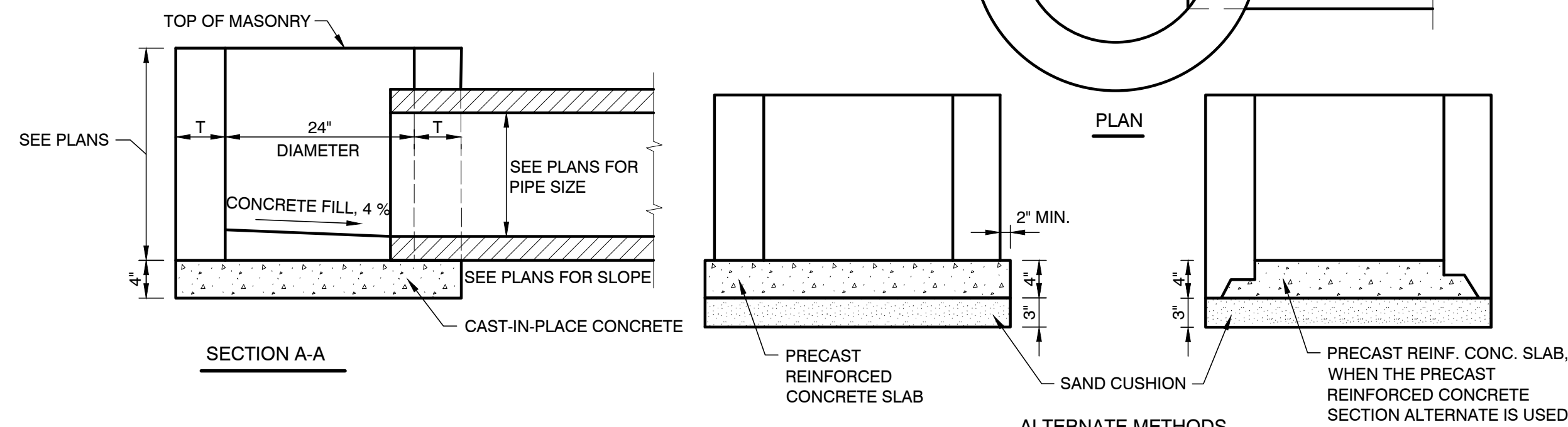
DUMPSTER ENCLOSURE

NOT TO SCALE

ALTERNATE MATERIALS FOR WALLS	T
BRICK MASONRY	8"
CAST-IN-PLACE CONCRETE	6"
CONCRETE MASONRY UNIT	5"
PRECAST REINFORCED CONCRETE SECTION	3"

GENERAL NOTES

- AN ALTERNATE PAVED INVERT MEETING THE APPROVAL OF THE ENGINEER MAY BE SUBSTITUTED FOR THAT SHOWN IN SIDE VIEW.



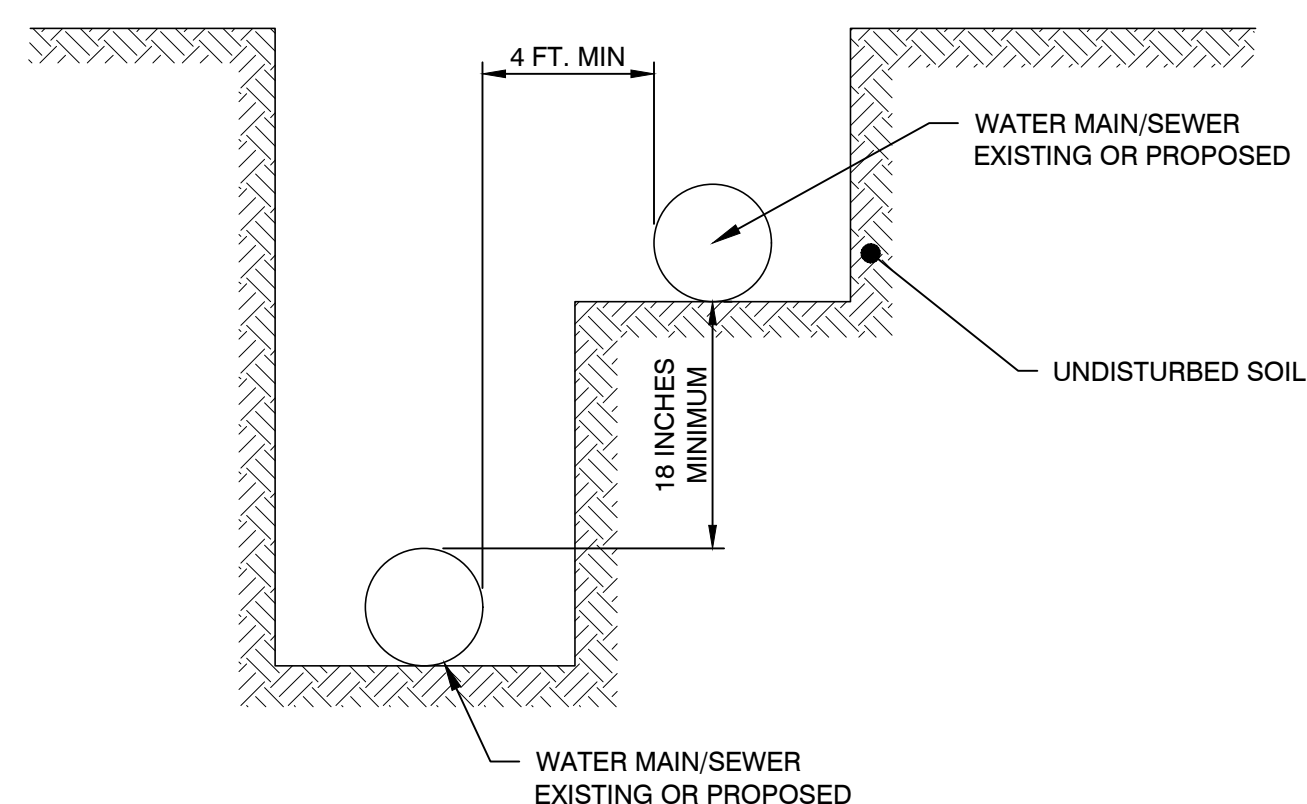
INLET TYPE A DETAILS

NOT TO SCALE

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

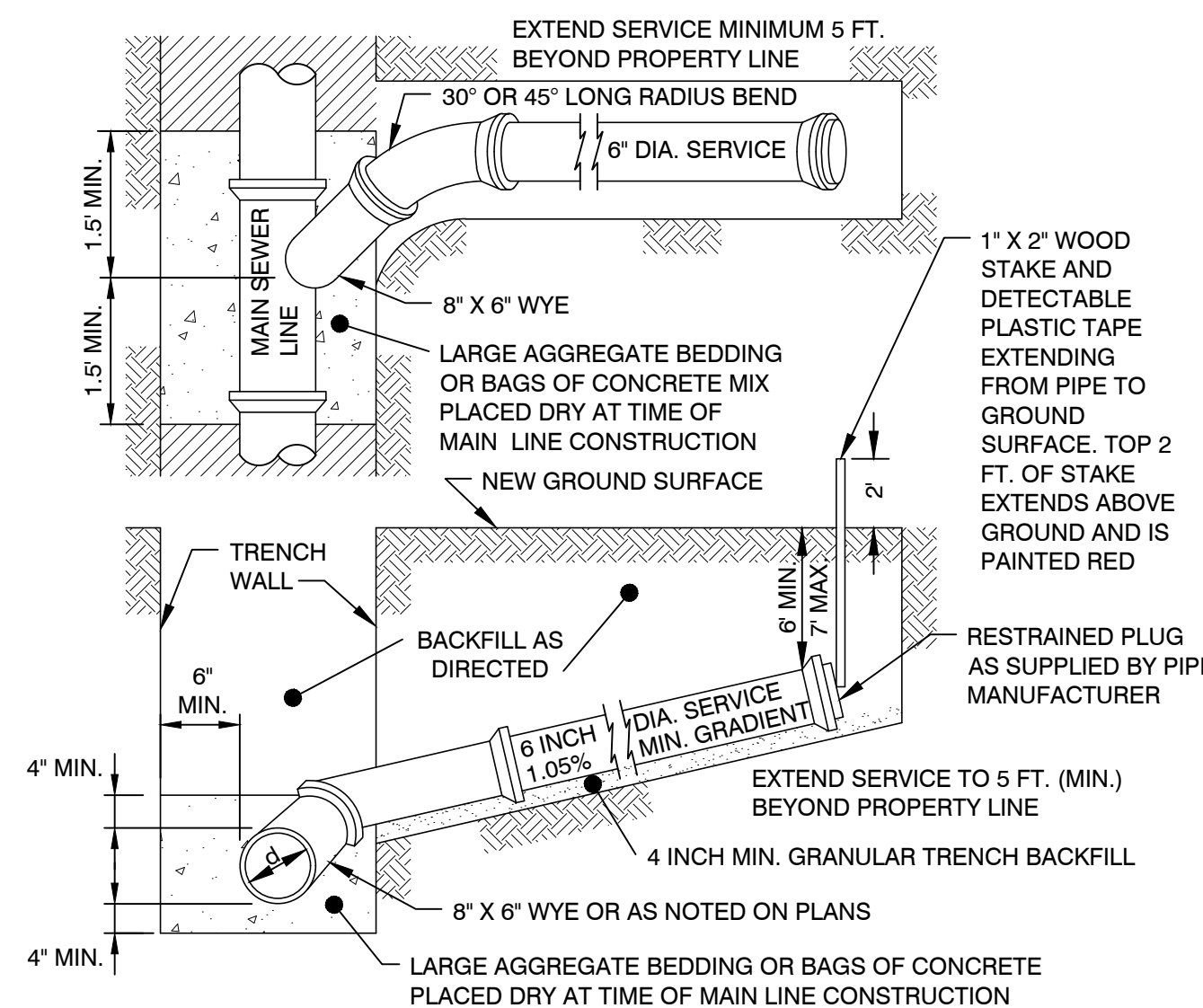
UTILITY CROSSING NOTES

1. WATER MAIN QUALITY PVC CASING PIPE SHALL BE SCHEDULE 40 OR EQUAL WITH A MINIMUM PRESSURE RATING OF 160 P.S.I.
2. SEAL ENDS OF CASING PIPE WITH A MINIMUM OF 1/2 CUBIC YARD OF CONCRETE OR EXPANDING FOAM PLUG.
3. DUCTILE IRON PIPE FOR SEWER OR TILE REPAIR SHALL BE THICKNESS CLASS 50 OR GREATER COMPLYING WITH AWWA C-151 WITH BITUMINOUS MATERIAL EXTERIOR COATING AND CEMENT LINED INTERIOR PER AWWA C-150.
4. STRICTLY ADHERE TO THE 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION REQUIREMENTS BETWEEN WATER MAINS AND STORM AND SANITARY SEWERS AT ALL TIMES. IF A WATER/SEWER SEPARATION CONFLICT IS IDENTIFIED DURING CONSTRUCTION IMMEDIATELY NOTIFY THE ENGINEER.
5. COMPLY WITH SUBSECTION 41-2.01 AND STANDARD DRAWINGS 18 THROUGH 24 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS", AT ALL TIMES.

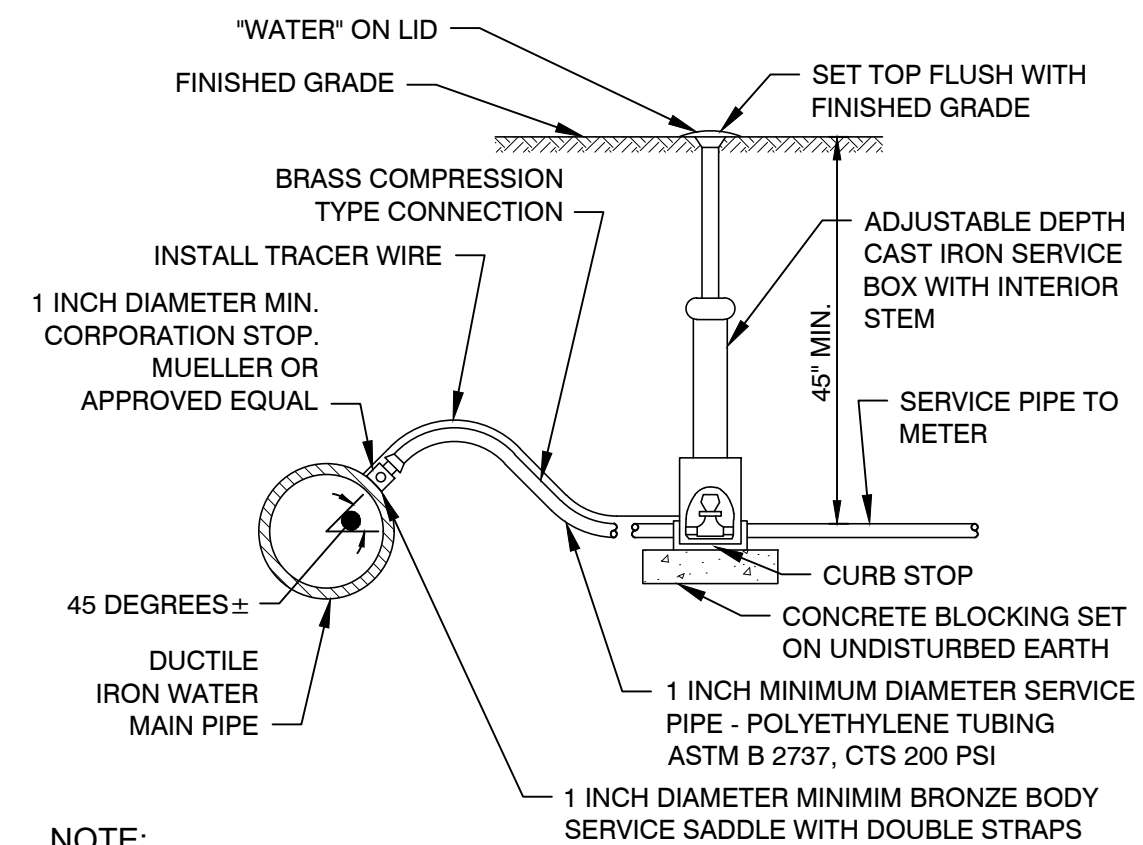


NOTE:
WHEN PROPOSED SEWER (OR WATER) IS LOCATED LESS THAN 10 FEET FROM EXISTING WATER (OR SEWER), THIS DETAIL SHALL APPLY. SEE UTILITY CROSSING NOTES ABOVE.

PARALLEL UTILITY INSTALLATION
NO SCALE

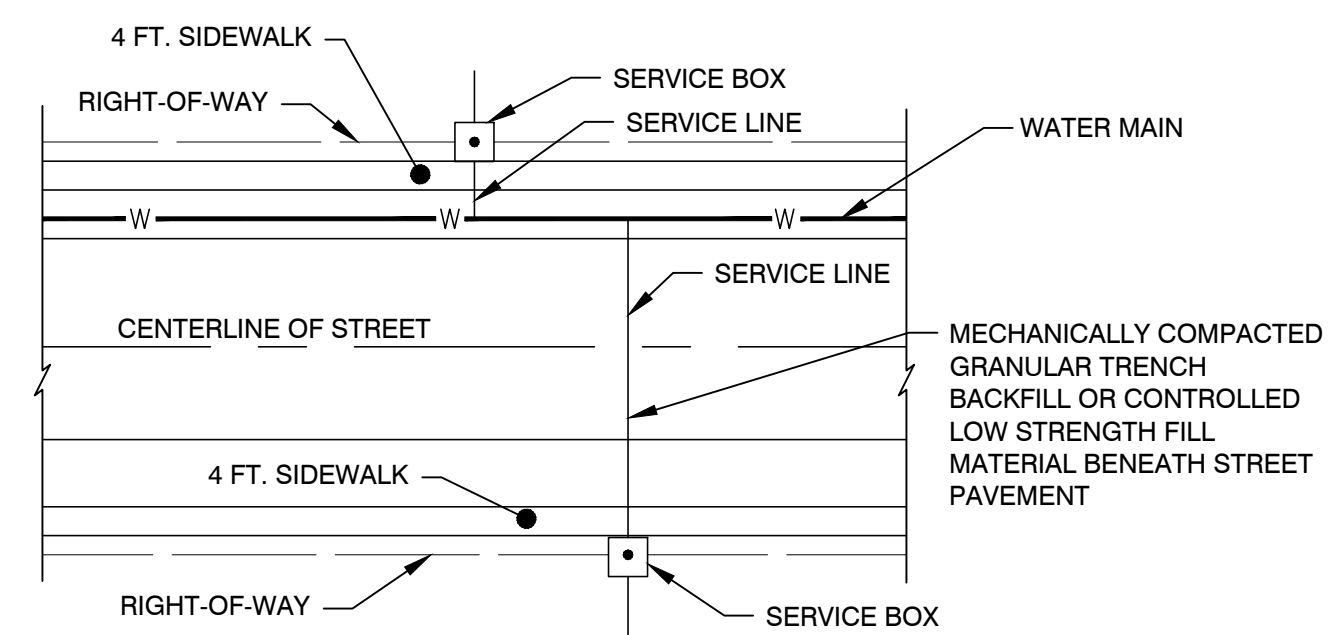


SHALLOW SERVICE LATERAL
NO SCALE



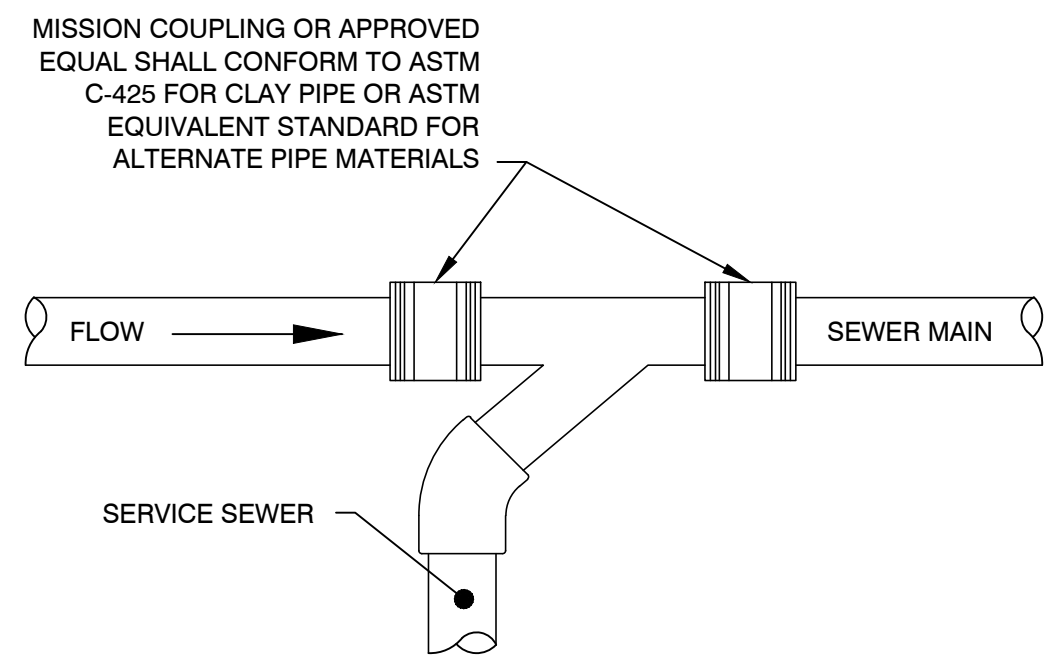
NOTE:
TRENCH BACKFILL SHALL BE CAREFULLY PLACED AND HAND TAMPED.

WATER SERVICE CORPORATION STOP AND CURB STOP WITH BOX AND SERVICE TUBING
NO SCALE



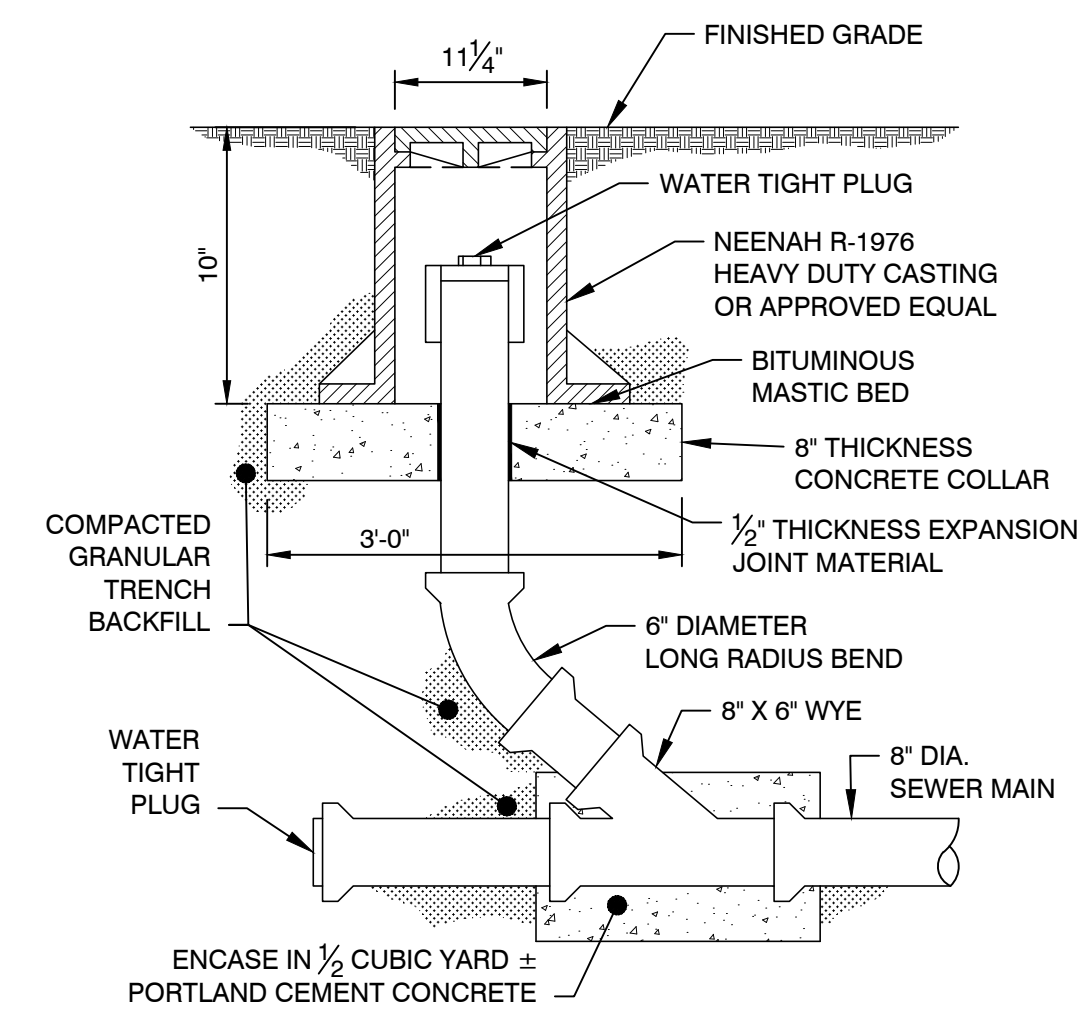
WATER SERVICE CONNECTIONS TO ALL LOTS FRONTING ON STREETS WITHIN THE DEVELOPMENT TO BE CONSTRUCTED BY THE DEVELOPER AS A PART OF THE SUBDIVISION PUBLIC IMPROVEMENTS.

WATER SERVICE SHUT-OFF VALVE LOCATIONS
NO SCALE

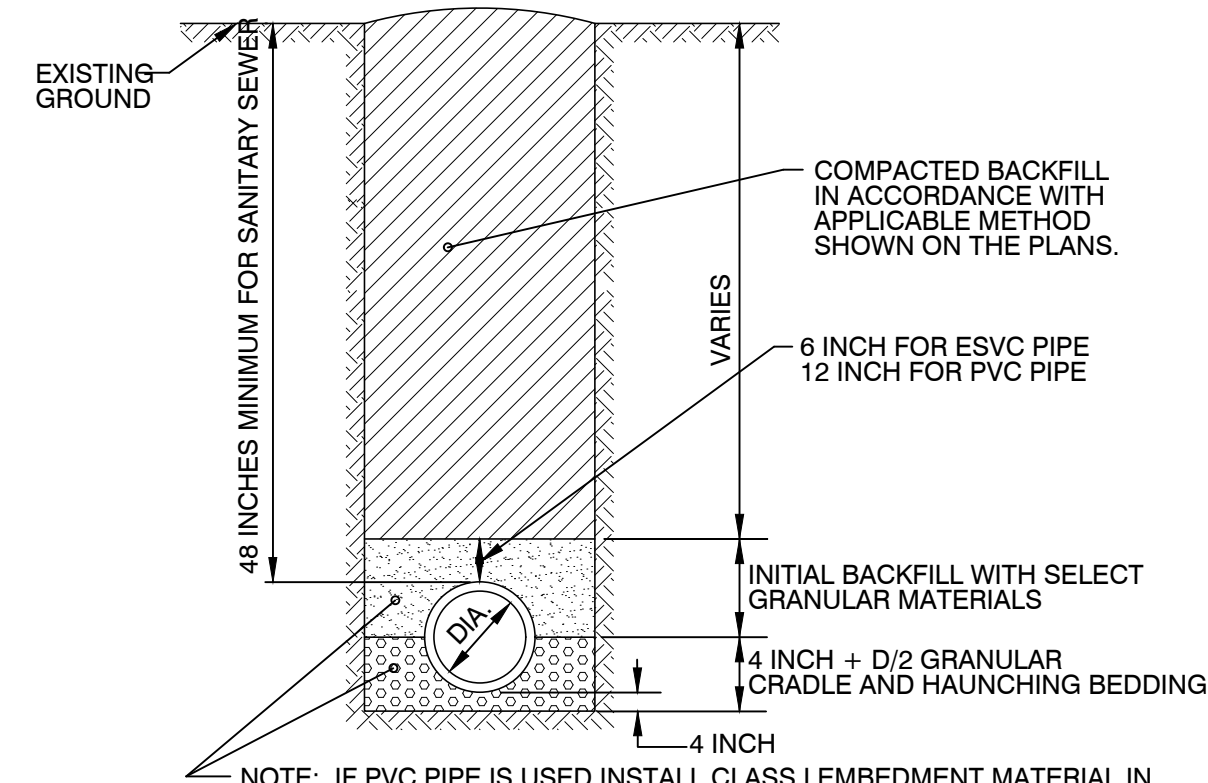


- NOTES:**
1. PVC MATERIAL SHALL NOT BE ALLOWED IN THE SEWER MAIN.
 2. BEDDING MATERIAL FOR THE WYE SHALL BE CRUSHED AGGREGATE WITH A GENERAL SIZE RANGE OF 1/4 INCH DIAMETER TO 3/4 INCH DIAMETER.
 3. CONNECTIONS TO SEWER MAINS THAT ARE SMALLER THAN 12 INCH DIAMETER SHALL BE DONE BY REMOVING A LIMITED AMOUNT OF THE SEWER MAIN AND INSERTING A WYE CONNECTION WITH APPROVED COUPLINGS. CONNECTIONS TO MANHOLES OR PIPES 12 INCH DIAMETER AND LARGER SHALL BE MADE BY CORE DRILLING THE EXISTING PIPE/MANHOLE AND INSTALLING A FLEXIBLE CONNECTOR ASSEMBLY SUCH KOR-N-SEAL BY NPC INC., OR APPROVED EQUAL.

SANITARY SEWER WYE INSTALLATION
NO SCALE

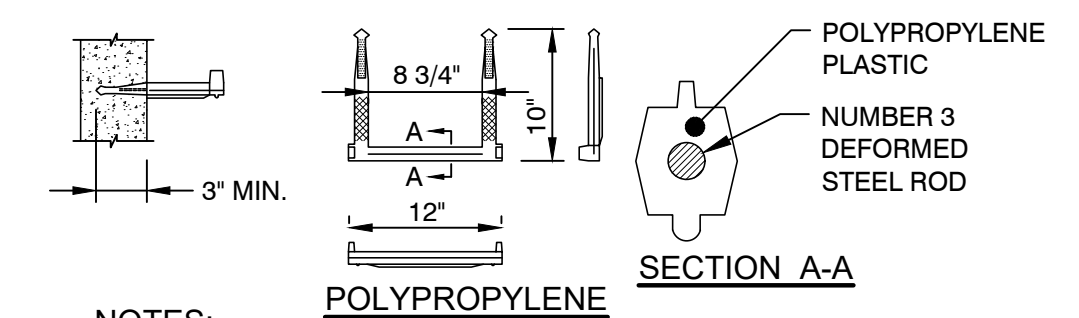


TYPICAL SANITARY CLEANOUT
NO SCALE



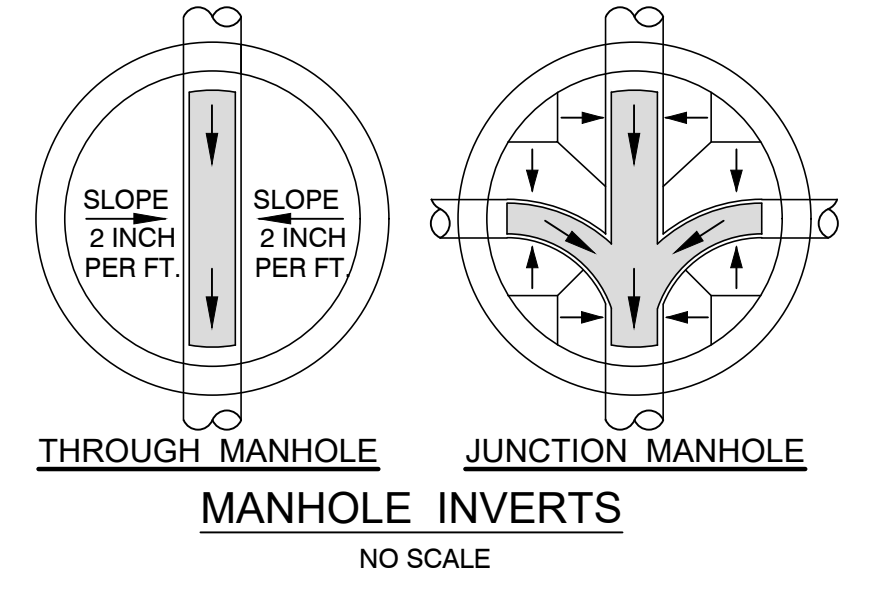
NOTE: IF PVC PIPE IS USED INSTALL CLASS I EMBEDMENT MATERIAL IN ACCORDANCE WITH ASTM D 2321. IF EXTRA STRENGTH CLAY PIPE IS USED INSTALL CLASS B EMBEDMENT MATERIAL IN ACCORDANCE WITH ASTM C-12.

SANITARY SEWER TRENCH DETAIL
NO SCALE



- NOTES:**
1. MANHOLE STEPS SHALL CONFORM TO ASTM C-478 & RESIST PULL-OUT FORCES TO 1900 LBS.
 2. STEPS SHALL BE PLACED INTO WET CONCRETE WALL DURING MANUFACTURING.

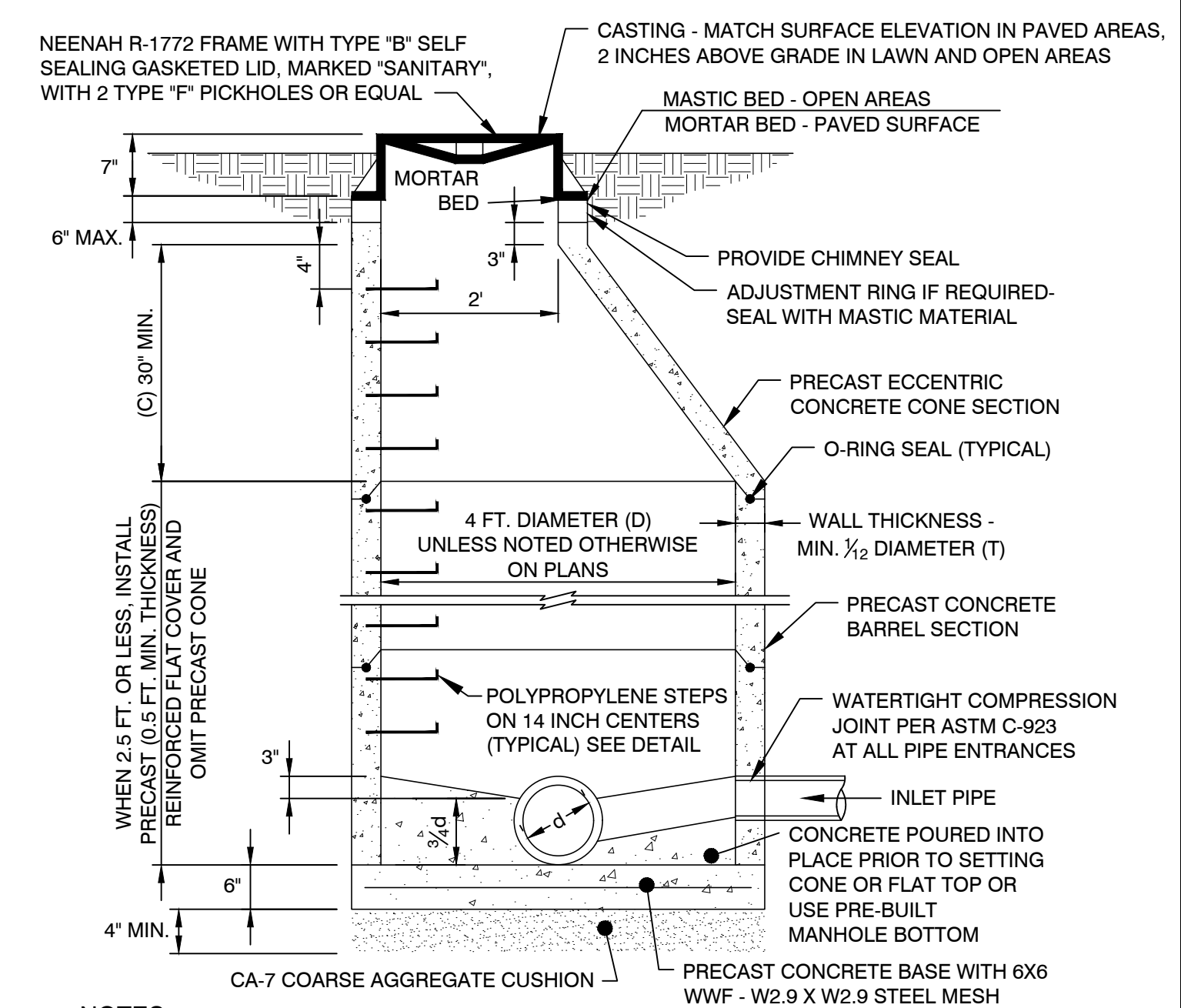
MANHOLE STEPS
NO SCALE



DIAMETER OF MAIN SEWER (d)	(D)
18 INCHES AND UNDER	4 FT.-0 INCHES
21 INCHES TO 36 INCHES INCLUSIVE	5 FT.-0 INCHES

ALTERNATE MATERIALS FOR WALL	(D)	(C)	(T)
MONOLITHIC CONCRETE	4 FT.-0 INCHES	2 FT.-6 INCHES	6 INCHES
PRECAST REINFORCED CONCRETE	5 FT.-0 INCHES	3 FT.-9 INCHES	6 INCHES
	4 FT.-0 INCHES	2 FT.-6 INCHES	4 INCHES
	5 FT.-0 INCHES	3 FT.-9 INCHES	5 INCHES

SANITARY SEWER MANHOLE SCHEDULES




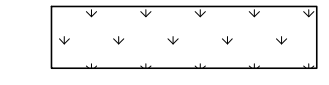
- NOTES:**
1. PRECAST MANHOLES SHALL BE USED AND SHALL BE SEALED BY A RUBBER GASKET AT RING JOINTS.
 2. INSIDE OF ALL JOINTS TO BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
 3. SEAL EXTERIOR OF ALL JOINTS AND CONNECTIONS WITH BITUMINOUS MASTIC WATERPROOFING MATERIAL.
 4. SANITARY SEWER LID SHALL BE SELF SEALING AND FRAME SHALL BE PLACED ON A BITUMINOUS MASTIC BED IN OPEN AREAS AND ON A MORTAR BED UNDER PAVED SURFACES.
 5. MANHOLE COMPONENTS SHALL COMPLY WITH THE MATERIALS REQUIREMENTS OF SECTION 32 OF THE CURRENT STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS; SECTION 602 OF THE CURRENT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS; AND I.D.O.T. HIGHWAY STANDARD 602401.
 6. PROVIDE NOT LESS THAN 0.1 FOOT FALL ACROSS MANHOLE BETWEEN INFLUENT AND EFFLUENT PIPES OF EQUAL DIAMETER.
 7. WHEN INLET PIPE IS A 6 INCH OR SMALLER DIAMETER SERVICE LINE, INVERT OF SERVICE LINE SHALL BE NOT LESS THAN 1/2 THE EFFLUENT PIPE DIAMETER ABOVE THE INVERT OF THE EFFLUENT PIPE.
 8. ALL MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS PER ASTM C1244.
 9. ALL OPENINGS FOR INLET AND OUTLET PIPES SHALL BE PRECAST WITH BOTTOM MANHOLE SECTION.
 10. INTERIOR AND EXTERIOR OF PIPE OPENING SHALL BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
 11. PRECAST REINFORCED CONCRETE FLAT SLAB TOP DIMENSIONS, REINFORCING SIZE AND PLACEMENT SHALL CONFORM TO IDOT STANDARD 602601 AND IDOT STANDARD 602406.

SANITARY SEWER MANHOLE
NO SCALE

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**



EROSION CONTROL LEGEND

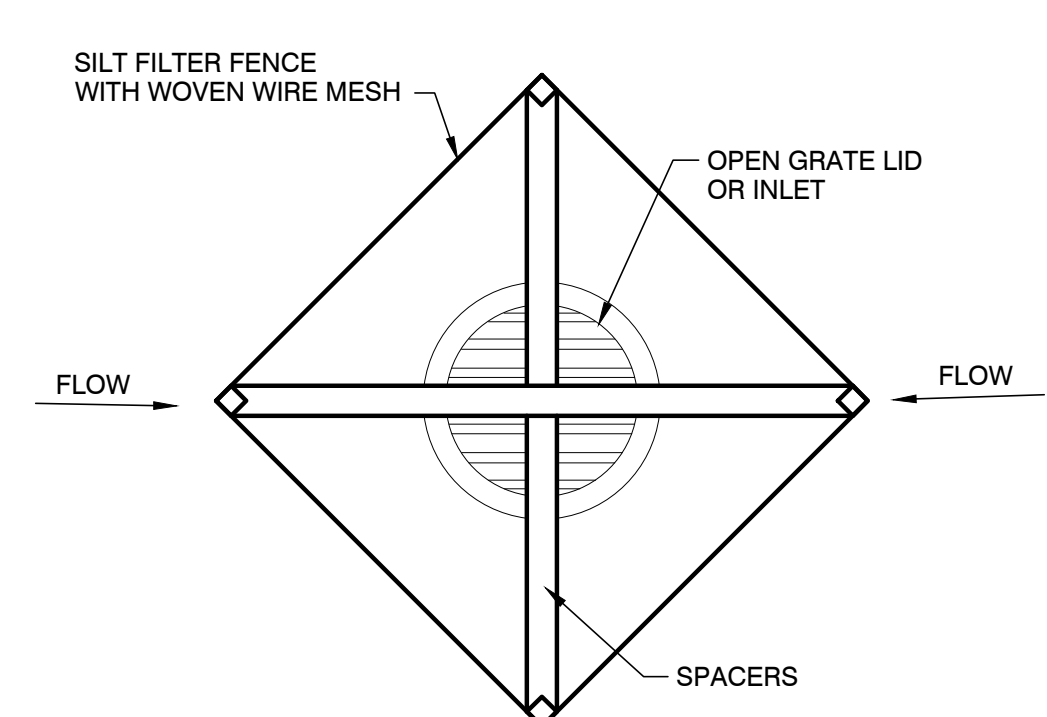
- PERIMETER EROSION BARRIER ——— s ———
- CONSTRUCTION LIMITS - - - - -
- INLET AND PIPE PROTECTION 
- IDOT CLASS 7 SEEDING (TEMPORARY SEEDING) 

SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION BARRIER
2. CONSTRUCT STORM SEWER
3. INSTALL INLET AND PIPE PROTECTION
4. CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS
5. GRADE SITE
6. BEGIN STRUCTURE CONSTRUCTION
7. TEMPORARY SEED BARE AREAS
8. PAVE SITE
9. COMPLETE GRADING AND FINAL SEED OR SOD
10. REMOVE TEMPORARY EROSION DEVICES ONCE SITE IS STABILIZED

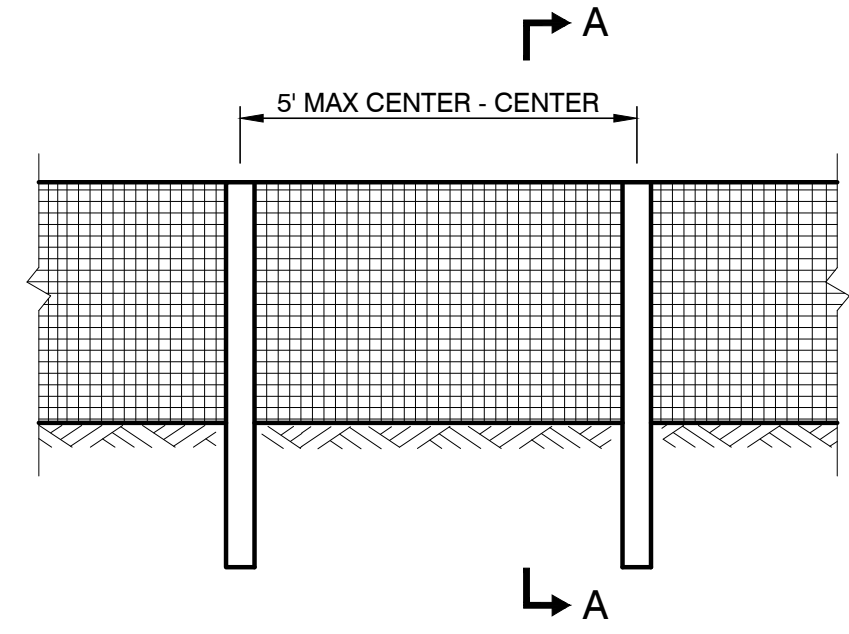
- AREA OF CONSTRUCTION LIMITS = 1.60 AC
- DISTURBED AREA = 1.60 AC
- IMPERVIOUS AREA ADDED = 0.62 AC
- TEMPORARY SEEDING = 1.55 AC

SEE CONSTRUCTION DETAIL SHEET 8 FOR ADDITIONAL SWPPP DETAILS

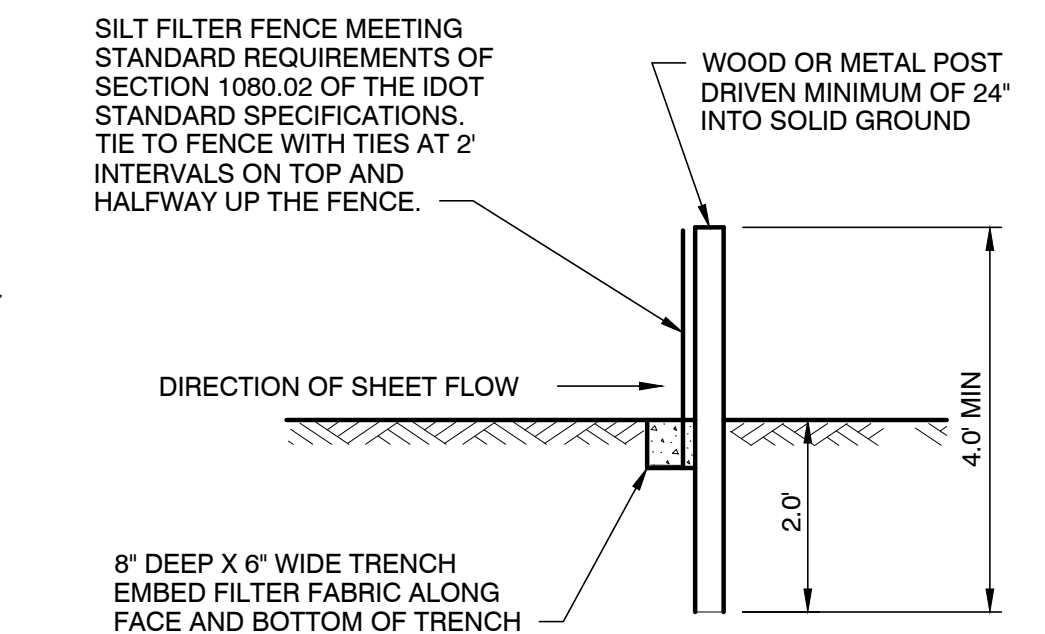


APPROVED INLET BAGS ARE ACCEPTABLE
INLET BAGS SHALL BE MAINTAINED AFTER EVERY RAINFALL

INLET PROTECTION
NOT TO SCALE



ELEVATION
NOT TO SCALE



SECTION A-A

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

DEMOLITION NOTES

FULL DEPTH SAW CUTS SHALL BE REQUIRED FOR THE REMOVAL LIMITS OF STORM SEWER AND PAVEMENT. ALL SAW CUTTING OF EXISTING STRUCTURES SHALL BE INCLUDED IN THE PRICE OF THE CONTRACT.

ALL DEMOLITION MATERIAL, TREE REMOVAL, SURPLUS AND UNSUITABLE SOILS TO BE REMOVED FROM SITE PER SECTION 202 OF I.D.O.T. STANDARD SPECIFICATION.

ALL VEGETATION, ROOTS, AND DEMOLITION DEBRIS SHALL BE STRIPPED AND REMOVED FROM THE SITE.

PLAN IS INTENDED TO SHOW ALL MAJOR REMOVAL ITEMS. SITE SHALL BE CLEARED OF ALL OBSTRUCTIONS, FENCES, WALLS, FOUNDATION, RIPRAP, CONCRETE VAULT, HEADWALLS, RUBBISH, STORM SEWER AND ASSOCIATED PIPING, ETC. TO ALLOW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND CONFIRMING DEMOLITION PLAN. NO ADDITIONAL PAYMENT SHALL BE MADE TO CLEAR THE SITE.

NEW FILL AND BACKFILL MATERIAL FOR THE PROJECT SHALL BE WELL GRADED GRANULAR OR NON-EXPANSIVE COHESIVE MATERIAL FREE OF ORGANIC DEBRIS.

ALL FILL AREAS SHALL BE COMPACTED TO 95% MIN. DRY DENSITY. THE MATERIAL SHOULD BE COMPACTED BETWEEN - 2% AND 3% OF THE OPTIMUM MOISTURE VALUE.

EROSION CONTROL NOTES

THE CONTRACTOR SHALL HAVE WRITTEN DOCUMENTATION OF ALL INSPECTIONS AND REPAIRS.

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE PLAN SHEETS, STANDARD DETAILS, PERMITS AND ALL REPORTS AND RELATED DOCUMENTS.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE SWPPP AND BECOME FAMILIAR WITH THE REQUIREMENTS.

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS CONDITIONS DICTATE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT CLEARING TO THE MINIMUM PRACTICAL EXTENT AND AS REQUIRED BY THE GENERAL PERMIT.

DUST ON THE SITE SHALL BE CONTROLLED AT NO ADDITIONAL COST TO THE OWNER.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE TEMPORARILY STOPPED FOR AT LEAST 21 DAYS SHALL BE TEMPORARILY SEEDDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENT SEEDDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

CONTRACTOR SHALL BE REQUIRED TO REMOVE ANY COLLECTED SEDIMENT FROM DETENTION PONDS, SILT BASINS, AND STORM SEWERS AT NO ADDITIONAL COST TO THE OWNER UNTIL THE SITE IS STABILIZED.

DUE TO GRADE CHANGES DURING THE CONSTRUCTION ACTIVITY, THE CONTRACTOR MAY BE REQUIRED TO ADJUST SILT FENCES, STRAW BALES, ETC. AT NO ADDITIONAL COST TO THE OWNER.

MAINTENANCE

ALL EROSION CONTROL DEVICES AND MEASURES SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL THE SITE OR SECTIONS OF THE SITE ARE STABILIZED. ALL EROSION CONTROL DEVICES AND MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT EXCEEDING 0.5" RAIN. INSPECTION REPORTS SHALL BE MAINTAINED ON SITE AND SHALL BE PRODUCED UPON REQUEST OF ANY LOCAL, STATE OR FEDERAL INSPECTOR. THE FOLLOWING SHALL BE THE MINIMUM MAINTENANCE REQUIREMENTS:

AN INLET OR PIPE PROTECTION OR PERIMETER EROSION BARRIER THAT SHOWS SIGNS OF DETERIORATION OR UNDERMINING SHALL BE REPLACED OR REPAIRED.

ANY SEEDED AREAS THAT SHOW SIGNS OF GULLIES OR EROSION SHALL BE REGRADED, RESEDED, WATERED AND FERTILIZED AS REQUIRED TO MAINTAIN A COVER THAT IS ADEQUATE TO PREVENT EROSION.

SEDIMENT SHALL BE REMOVED FROM PERIMETER EROSION BARRIER WHEN SILT REACHES ONE HALF THE HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCES SHALL BE MAINTAINED TO PREVENT TRACKING OF MUD ONTO THE RIGHT OF WAY OR PUBLIC PARKING LOTS. TOP DRESSING MAY BE REQUIRED ON THE CONSTRUCTION ENTRANCES.

ANY MUD OR DEBRIS TRACKED ON A PUBLIC ROAD SHALL BE REMOVED BY THE CONTRACTOR TO THE SATISFACTION OF THE JURISDICTIONAL BODY OF THE ROAD. THIS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

STORM WATER POLLUTION PREVENTION PLAN
SCALE: 1" = 20'

M MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.
5901 N. Prospect Road, Suite 6B
Peoria, Illinois 61614
www.mohrandkerr.com

Office: (309) 692-8500
Fax: (309) 692-8501
Professional Design Firm #184.005091

SURVEYED	WLC	CLIENT:	TABELING DEVELOPMENT CO.
DRAWN	JMM		VISION SOUTH LOT 1102 R
CHECKED	SDK		MAHOMET, IL 61853
SCALE	1" = 20'		
DATE	11-04-2021		

TITLE: **STORM WATER POLLUTION PREVENTION PLAN**

PROJECT NO. 21-355
SHEET 12 OF 12
DRAWING NO. 12



LEGEND

	DEED LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	BUILD SETBACK LINE
	EXIST. WATER MAIN SERVICE
	RIGHT OF WAY LINE
	EXIST. STORM SEWER
	EXIST. CONTOUR LINE
	EXIST. SURVEY MONUMENT
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. MANHOLE
	EXISTING
	PORTLAND CEMENT CONCRETE
	CONCRETE
	HOT MIX ASPHALT
	SIDEWALK

ZONING
 LOT ZONED C-2, GENERAL COMMERCIAL DISTRICT

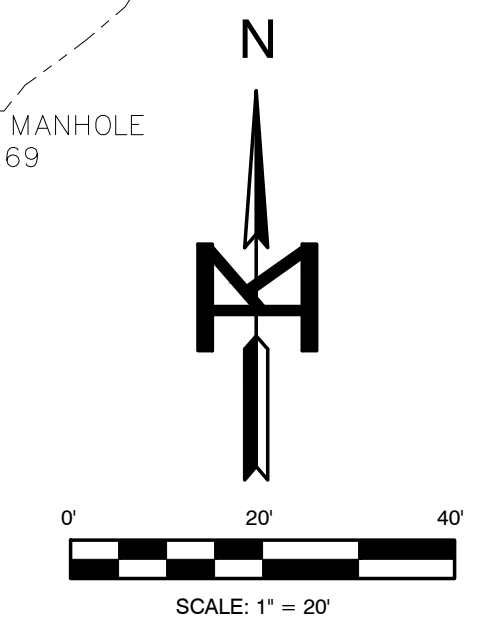
LOT AREA
 LOT 1.99 ACRES±

BUILDING AREA

NEW BUILDING	4,960 SF ±
FUTURE BUILDINGS	15,340 SF ±
TOTAL	20,300 SF ±

PARKING
 PARKING BASED ON ALL NONRESIDENTIAL BUILDINGS
 1 PARKING SPACE PER 300 SF OF FLOOR AREA
 68 TOTAL PARKING SPACES REQUIRED
 3 SPACES REQUIRED TO BE ACCESSIBLE
 64 PARKING SPACES PROVIDED
 4 ACCESSIBLE SPACES PROVIDED
 68 TOTAL SPACES PROVIDED

SITE LAYOUT EXHIBIT
 SCALE: 1" = 20'



REV.	DATE	NATURE OF REVISION	CHECKED

SURVEYED -
 DRAWN JMM
 CHECKED SDK
 SCALE 1" = 20'
 DATE 8/3/21

CLIENT:
TABELING DEVELOPMENT CO.

TITLE:
SITE LAYOUT EXHIBIT

The following strike-out uses will not be considered for the Vision South Phase 1, C2 zoned site. Lot:

§ 152.028 C-2 GENERAL COMMERCIAL DISTRICT.

The purpose of the C-2 General Commercial District is to provide for a wide range of retail, service, mixed, office and commercial uses. The C-2 District is intended as a moderate intensity commercial district for uses serving a community wide trade area.

(A) Permissive uses:

- ~~—(1) Assisted living retirement community;~~
- ~~—(2) Public park or playground;~~
- (3) Church;
- ~~—(4) Public school, elementary and high, or private school having a curriculum equivalent to a public elementary or public high school and having no rooms regularly used for housing or sleeping purposes;~~
- ~~—(5) Golf course;~~
- (6) Bank or financial institution;
- (7) Dressmaking, tailoring, shoe repairing, repair of household appliances and bicycles, catering, and other uses of a similar character;
- ~~(8) Mortuary or funeral home;~~
- (9) Office or office buildings;
- (10) Personal service uses including barber shop, beauty parlor, photographic or art studio, newspaper, florist, laundry service, animal grooming and other uses of a similar character;
- ~~—(11) Nursery, pre-kindergarten, kindergarten, play, special and other private school or day care center;~~
- (12) General merchandise retail store, in connection with which there shall be no slaughtering of animals or poultry, nor commercial fish cleaning and processing on the premises;
- (13) Restaurants, cafeterias, bars and taverns, donut/bakery shop and other uses of a similar character;
- (14) Computer and personal electronics sales and repair;
- (15) Private indoor recreational or fitness facility;
- (16) Specialty retail store, such as apparel, jewelry, book, shoe, stationary, antique and other similar stores;

- ~~—(17) Automobile service station or gas station;~~
- ~~—(18) Bowling alley or billiard parlor;~~
- ~~—(19) Business, commercial or trade school;~~
- (20) Dancing or music academy;
- (21) Display and salesroom;
- ~~—(22) Hotel or motel;~~
- (23) Laboratory, research, experimental or testing;
- ~~—(24) Automobile repair shop;~~
- ~~—(25) Radio or television broadcasting station or studio;~~
- (26) Property rental or real estate agency;
- ~~—(27) Animal clinic or animal hospital;~~
- ~~—(28) Used or new car, trailer or boat sales or storage lot;~~
- ~~(29) Dyeing, cleaning, laundry, printing, painting, plumbing, tin-smithing, tire sales and service, upholstering and other general service or repair establishment of similar character. Not more than 10% of the lot or tract occupied by the establishment shall be used for the open and unenclosed storage of materials or equipment;~~
- (30) Grocery store;
- ~~—(31) Packaged food storage and/or distribution center;~~
- (32) Drive-through or drive-in facility, see standards in § [152.053](#);
- ~~—(33) Animal boarding;~~
- (34) Automobile/vehicle sales building/lot;
- (35) Medical, chiropractic, eye, or dental clinic;
- ~~—(36) Check-cashing or short term loan service;~~
- (37) Heating and air conditioning sales and service;
- ~~—(38) Theater, not including drive-in theater;~~
- (39) Private club or lodge;
- (40) Car wash;
- (41) Convenience store with or without gasoline sales;
- ~~—(42) Automobile parking lot, storage lot or parking garage;~~
- (B) Conditional uses:
 - ~~—(1) Farm implements, sale and repair;~~

- ~~—(2) Farm store or feed store, including accessory storage of liquid or solid fertilizer;~~
- ~~—(3) Drive-in theater;~~
- ~~(4) Lumberyard and building materials storage or sales;~~
- (5) Bakery for off-site sales;
- ~~—(6) Bottling works;~~
- ~~—(7) Wholesale equipment or warehouse in a completely enclosed building;~~
- ~~—(8) Taxi or bus terminal;~~
- ~~—(9) Greenhouse incidental to retail sale;~~
- ~~—(10) Public utility substation;~~
- (11) Shopping center;
- ~~—(12) Mixed use;~~
- ~~—(13) Self-service storage or mini-warehouse facility;~~
- ~~—(14) Towing service;~~
- ~~—(15) Woodworking shop;~~
- ~~—(16) Animal daycare;~~
- ~~—(17) Hospital;~~
- ~~—(18) Travel plaza or truck stop;~~
- ~~—(19) Mobile or modular home sales lot;~~
- ~~—(20) Landscaping contractor/business;~~
- ~~—(21) Commercial outdoor recreation;~~
- (22) Micro-brewery;
- ~~—(23) Dwelling, when located with any use of the C-2 District.~~

(Ord. passed 7-23-2002; Ord. 12-01-01, passed 1-24-2012; Ord. 17-09-02, passed 9-26-2017; Ord. 17-11-06, passed 11-28-2017)



**Plan and Zoning Commission
Staff Report
Meeting January 4, 2022**

FROM: Abby Heckman, Planner
Kelly Pfeifer, Community Development Director and Village Planner

PROJECT: CU2022-02 - CONDITIONAL USE PERMIT – Vision South 1st Sub Lot 102

PETITIONER: Tabling Development Co, LLC

REQUESTED ACTION: The petitioner has requested consideration of a conditional use to establish a multiple-family residential development with an office / clubhouse building, 18 single-home units and eight (8) townhome buildings of four (4) residential units each for a total of 50 residential units. The subject property is split zoned R3C Multiple-Family Residential and C2 General Commercial. The proposed multi-family residential development and the proposed dwellings on commercially zoned property requires a conditional use permit in the R-3C and C-2 zoning districts (152.028(B)(1) and 152.031(B)(23)).

PUBLIC HEARING / PROCEDURAL ISSUES: The Zoning Ordinance requires the Plan and Zoning Commission (PZC) to hold a public hearing upon request for a Conditional Use permit. The public hearing is scheduled for the January 4, 2022 PZC meeting. Public notice was published in the News-Gazette on December 19, 2021. Courtesy notice letters were sent to neighbors via USPS. The PZC acts in an advisory role to the Board of Trustees regarding conditional use requests.

LOCATION / SITE DESCRIPTION: The site is located on the south side of Patton Drive approximately 650 east of Churchill Road and includes one 5.74± acre lot zoned R-3C Multiple-Family Residential (4.81± AC) and C-2 General Commercial District (1.06± AC). The subject property has an approved site plan for the construction of the office building / clubhouse and ten (10) single-home units as allowed in ZO 152.055. The petitioner is asking for an additional 40 residential units as part of this Conditional Use Permit request.

LAND USE AND ZONING:

Direction	Current Land Use	Current Zoning
On-Site	Vacant Lot / Existing Residential Structures	C-2 General Commercial District
North	Residential	R-2 Two-Family Residential District
South	Residential	R-3C Multiple-Family Residential District
East	Commercial / Mixed Use	C-2 General Commercial District
West	Commercial	C-2 General Commercial District

The Zoning Ordinance requires a conditional use permit for multiple-family residential developments that are not compliant with the standards in 152.055 as follows:

§152.055 STANDARDS FOR MULTIPLE- FAMILY RESIDENTIAL DEVELOPMENT.

Any multiple-family residential dwelling development on a property of 20,000 square feet or larger and/or which contains any principle building with more than four dwelling units must comply with the following standards and all other applicable standards in this chapter, unless the use is approved by issuance of a conditional use permit in which alternative standards are determined. Multiple-family residential dwelling developments that exceeds 16 dwelling units must obtain a conditional use permit to establish the use.

A. Development standards:

- 1) Maximum building height: 2 stories and 30 feet.
- 2) Minimum building setback: Front 25 feet, side 25 feet, and rear 25 feet.
- 3) HVAC equipment: No HVAC equipment shall be visible from adjacent property lines including surrounding rights-of-way. Landscaping or fence screening may be provided but only when approved by the Village Planner.
- 4) Dumpsters shall be screened via a privacy fence.

B. Perimeter landscaping requirements:

- 1) Minimum landscaping: One shade tree and three shrubs must be planted and maintained within the building setback for every 40 linear feet along the length of the property lines.

The submitted landscaping plan provides a total of 38 trees, 108 shrubs, and 183 ground cover / perennials / ornamental grasses. The landscaping shown along the Patton Drive frontage exceeds the one (1) tree and three (3) shrub requirement per 40 feet of property line length (minimum 15 trees and 45 shrubs along Patton Drive). The property has approximately 2079 feet of property line length which, if the site was able to develop according to ZO 152.055, would require a minimum of 52 trees and 156 shrubs. Ground cover, perennials and ornamental grasses are not considered in the perimeter landscaping requirements but could be substituted to satisfy landscaping requirements. The PZC should consider if the proposed landscaping provides adequate landscape buffering.

PUBLIC WATER AND SANITARY SEWER FACILITIES: Water and sanitary sewer is available to this site.

AVAILABILITY OF PUBLIC UTILITIES: Public utilities exist to the site and are in the area.

STREET ACCESS / TRAFFIC: There are two (2) existing approved access drives into Patton Drive for this project which make a private circle drive named Vision Circle. All structures will be addressed off of Vision Circle.

STORMWATER MANAGEMENT: A compliant on-site detention basin will be constructed with any site development permit application. Current design submitted supports the proposed plan as included herein without any alterations.

POLICE AND FIRE PROTECTION: The Village of Mahomet Police Department currently provides police protection to this site which is approximately 1.7miles from the police station. This property is within the Cornbelt Fire Protection District and is approximately 2 miles from the Main Street fire station. Existing detached homes were assigned numbers that would assure typical numbering across the street while meeting County addressing guidelines. Prior to this development expansion request, Cornbelt Fire Chief expressed concern on the numbering of the currently constructed detached homes.

CONFORMANCE TO COMPREHENSIVE PLAN: The Village of Mahomet Comprehensive Plan currently designates this site as part of the East US 150 Gateway functional framework area. The future land use plan recommends neighborhood commercial and multi-family residential uses at this location. Multi-family residential uses are intended to be used as a buffer between lower intensity uses and more intense land use areas and along major corridors (US150). Since this area serves as a gateway to the Village, features such as signage and landscaping should be considered to provide an attractive entrance to the Village.

SUITABILITY OF PROPOSED CONDITIONAL USE: This site is located adjacent to an existing townhome community and three (3) commercial lots expected to develop. The proposed multiple-family residential development is an appropriate transition zoning adjacent to commercial uses. The land is split zoned. The commercial building will reside in the commercially zoned area. The density permitted by zoning would allow 68 dwelling units. The site is large enough to support the proposed number of dwelling units and has access from a commercial roadway which can accommodate the traffic.

STANDARDS FOR CONDITIONAL USES: The standards set forth below may be assured through the imposition of specific conditions for the Conditional Use Permit. The Mahomet Zoning ordinance states that Conditional uses must be planned in such a manner to assure that:

1. The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values with the neighborhood.
3. The establishment on the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
4. Adequate utilities access roads, drainage and/or other necessary facilities will be provided.
5. Adequate measures will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
6. The conditional use shall, in all respects, conform to the applicable regulations of the district in which it is located and the Board shall find that this is a public necessity.

A Conditional Use Permit for a Multiple-Family Residential Development (152.055 C):

1. Guidelines. In making a legislative determination to issue a conditional use permit for a multiple-family residential dwelling development, the following guidelines may be considered:
 - (a) The availability of permanent open spaces, including public parks, golf courses, schools and similar such uses in proximity to the subject property.
 - (b) The availability of permanent open spaces and recreational facilities located on the site.
 - (c) The relationship of the site to all aspects of the village transportation system, including sidewalks, bike paths and streets.
 - (d) The extent to which the multiple-family residential use of the site will promote balanced growth in the community, provide an opportunity for equal housing opportunities, provide a variety of housing types and meet a need for the type(s) of housing proposed.
 - (e) The suitability of the site plan presented for the proposed multiple-family residential use.

2. Site plan. An application for a conditional use permit to establish a multiple-family residential use shall be accompanied by a site plan which shall be reviewed and approved by the Board of Trustees.

STAFF DISCUSSION / ANALYSIS: The Conditional Use Permit process allows the Village to establish site-specific conditions upon a particular use to assure that the use does not adversely impact the neighborhood. The Plan and Zoning Commission will need to consider what conditions, if any, should be a part of the conditional use permit. Staff recommended conditions are listed below and can be altered by the PZC as necessary.

VILLAGE STAFF RECOMMENDATION: Village staff recommend the PZC impose the following conditions on the conditional use permit:

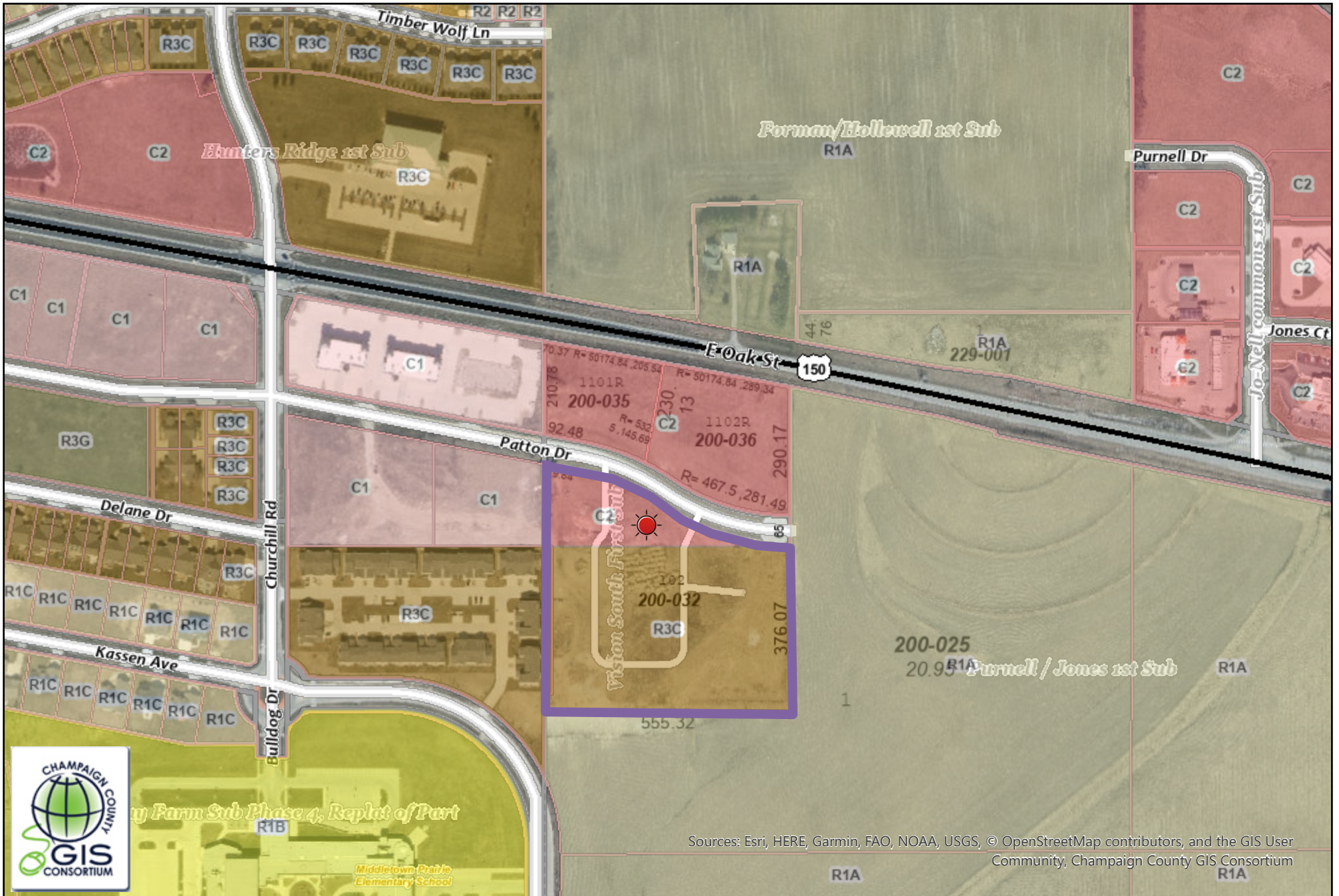
1. Site development must substantially comply with the Site Plan as presented to the PZC (Site Plan dated January 4, 2022).
2. Site landscaping must substantially comply with the Landscaping Plan as presented to the PZC (Landscaping Plan dated January 4, 2022)
3. The site must obtain Site Development Plan approval prior to the start of any site construction and maintain compliance prior to any application for building or occupancy permit.
4. All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
5. The site must comply with all applicable provisions of the Zoning Ordinance.

PROCEDURES: A draft resolution is presented with staff recommendations for conditions. However, the commission should consider the public hearing testimony and the testimony of the petitioner in the meeting and request modifications as needed.

ATTACHMENTS:

- 1) Property Aerial / Zoning Map
- 2) Draft Resolution
- 3) Site Plan
- 4) Landscaping Plan
- 5) Conditional Use Application

CU2022-01 VS lot 102 Multiple-Family Residential



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium

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RESOLUTION FOR PLAN & ZONING COMMISSION

A Resolution Concerning a Conditional Use Permit for a multiple-family residential development in the R-3C Multiple-Family Residential and C-2 General Commercial districts

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,

WHEREAS, the Petitioner, Tabela Development Co LLC, requested a conditional use permit be granted under the terms of the Village Zoning Ordinance to allow for a multiple-family residential development on land located within the R-3C Multiple-Family Residential and C-2 General Commercial districts; and,

WHEREAS, the subject project is located on the south side of Patton Drive approximately 650 east of Churchill Road and the legal description for the proposed Conditional Use Permit is as follows:

Lot 102 of Vision South First Subdivision recorded as Document 2019R00508 in the Office of the Recorder for Champaign County, Illinois.

WHEREAS, the Petitioner has submitted certain documents for review and approval by the Village; and,

WHEREAS, a Public Hearing concerning the proposed Conditional Use Permit was held on January 4, 2022 by the Plan and Zoning Commission to solicit evidence and testimony from the public; and,

WHEREAS, the Village Planner, Village Engineer, and Village Attorney provided staff with technical background, review and analysis regarding the requested conditional use; and,

WHEREAS, the Plan and Zoning Commission met and reviewed the evidence and testimony submitted and considered all of the available factual evidence concerning the requested action; and,

WHEREAS, the Plan and Zoning Commission adopted findings of fact and further provided a recommendation to the Board of Trustees to approve the requested action.

BE IT THEREFORE RESOLVED this 4th day of January, 2022 by the Plan and Zoning Commission of the Village of Mahomet that:

1. The Plan and Zoning Commission does hereby recommend the Board of Trustees **GRANT / DENY** the requested Conditional Use Permit for a multiple-family residential development at the above described property.

2. The Plan and Zoning Commission does hereby further state that the conditional use shall be subject to the following conditions:
 - a. Site development must substantially comply with the Site Plan as presented to the PZC (Site Plan dated January 4, 2022).
 - b. Site landscaping must substantially comply with the Landscaping Plan as presented to the PZC (Landscaping Plan dated January 4, 2022)
 - c. The site must obtain Site Development Plan approval prior to the start of any site construction and maintain compliance prior to any application for building or occupancy permit.
 - d. All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
 - e. The site must comply with all applicable provisions of the Zoning Ordinance.
 - f. _____
 - g. _____

3. The Plan and Zoning Commission does hereby confirm the following findings of fact regarding the requested Conditional Use Permit:
 - a. The establishment, maintenance, or operation of the Conditional Use **WILL / WILL NOT** be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
 - b. The conditional use **WILL / WILL NOT** be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values within the neighborhood;
 - c. The establishment of the conditional use **WILL / WILL NOT** impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - d. Adequate utilities, access roads, drainage, and/or other necessary facilities **WILL / WILL NOT** be provided;
 - e. The conditional use **DOES / DOES NOT** in all other respects conform to the applicable regulations of the district in which it is located;
 - f. There **IS / IS NOT** a public necessity for the conditional use at this site;
 - g. The proposed conditional use **DOES / DOES NOT** conform with the intent of the Village Comprehensive Plan.

- h. The proposed conditional use **WILL / WILL NOT** be compatible with the established land use pattern in the vicinity.
 - i. The site **IS / IS NOT** suitable for the proposed conditional use.
 - j. The proposed conditional use **WILL / WILL NOT** significantly adversely impact existing traffic patterns.
 - k. Adequate facilities for municipal water supply and wastewater disposal **ARE / ARE NOT** available for the site.
 - l. Adequate provisions for stormwater drainage **ARE / ARE NOT** available for the site.
 - m. The proposed conditional use **WILL / WILL NOT** adversely impact police protection, fire protection, schools, or public facilities.
 - n. The proposed conditional use **WILL / WILL NOT** conflict with existing public commitments for planned public improvements.
 - o. The proposed conditional use **WILL / WILL NOT** preserve the essential character of the neighborhood in which it is located.
 - p. The proposed conditional use **WILL / WILL NOT** alter the population density pattern and **WILL / WILL NOT** adversely impact public facilities.
 - q. The proposed conditional use **WILL / WILL NOT** result in private investment that will be beneficial to the proper development of the community.
 - r. _____

4. The approval recommended above shall be subject to the fulfillment of the conditions set forth in Item 2 above. In the event that these conditions are not fulfilled, the Conditional Use Permit may become void and no occupancy permit for the project may be issued, or the occupancy permit previously issued may be revoked.

Chair, Plan and Zoning Commission

Site Plan

18 Houses

8 Four-Unit Townhome Buildings

Located just east of Conway Farms along US 150, Reserve Mahomet's first phase of build-for-rent homes broke ground in Summer 2021. This phase features 10 houses, which will begin leasing in Summer 2022.

The roads and utilities have also been built as a part of Phase One. Future development includes 8 additional houses and 8 proposed townhome buildings.

This site has been zoned R3 with an allowance of 14 units per acre. With 50 proposed residences over 5 acres, the proposed project contains only 10 units per acre.

There is strong demand for a higher-end, low-density for-lease community in this area. We are proposing a unique product that fits in the neighborhood and fills the housing need in Mahomet. This community will offer an alternative to the more dense apartment developments in Mahomet.

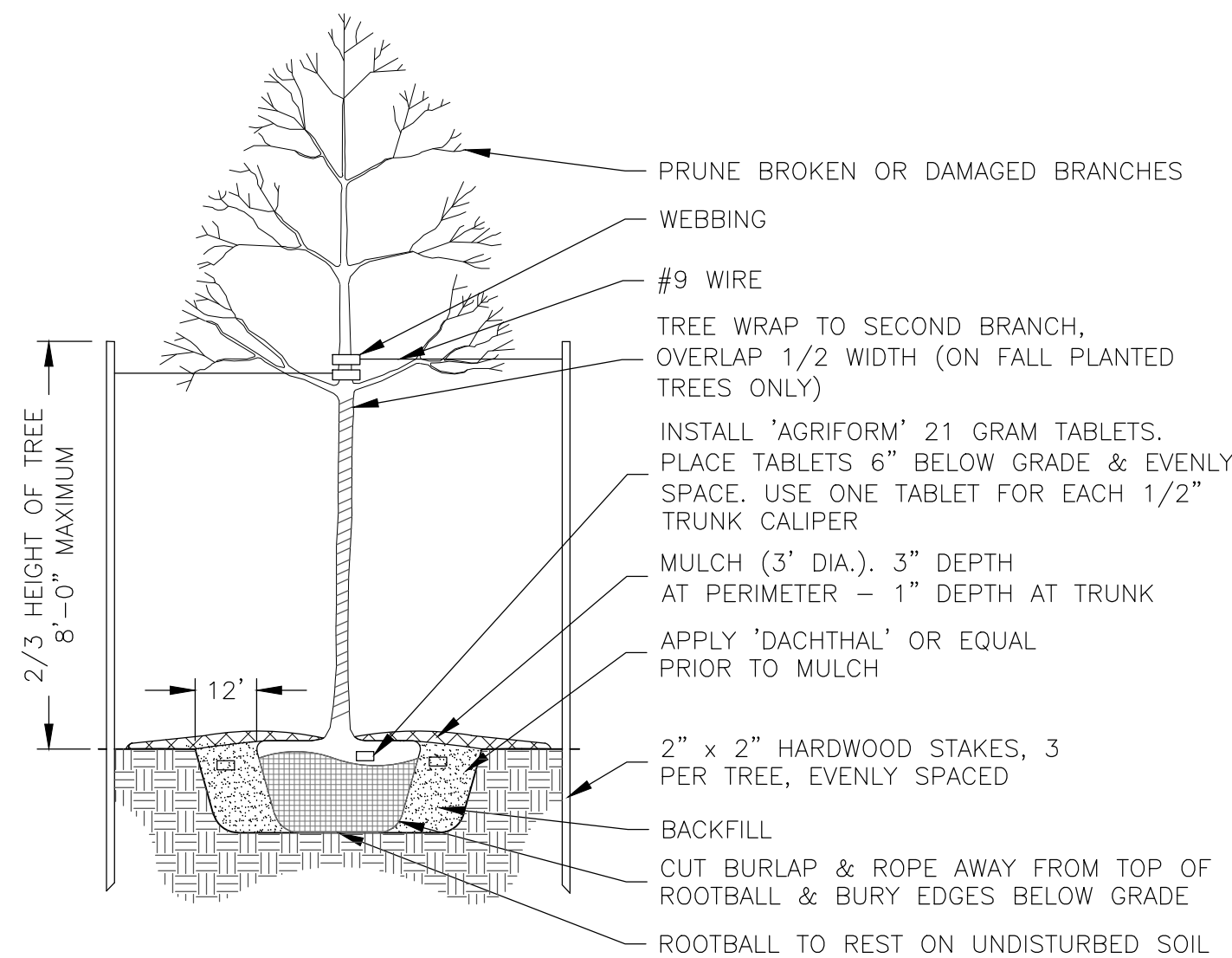


LANDSCAPE NOTES:

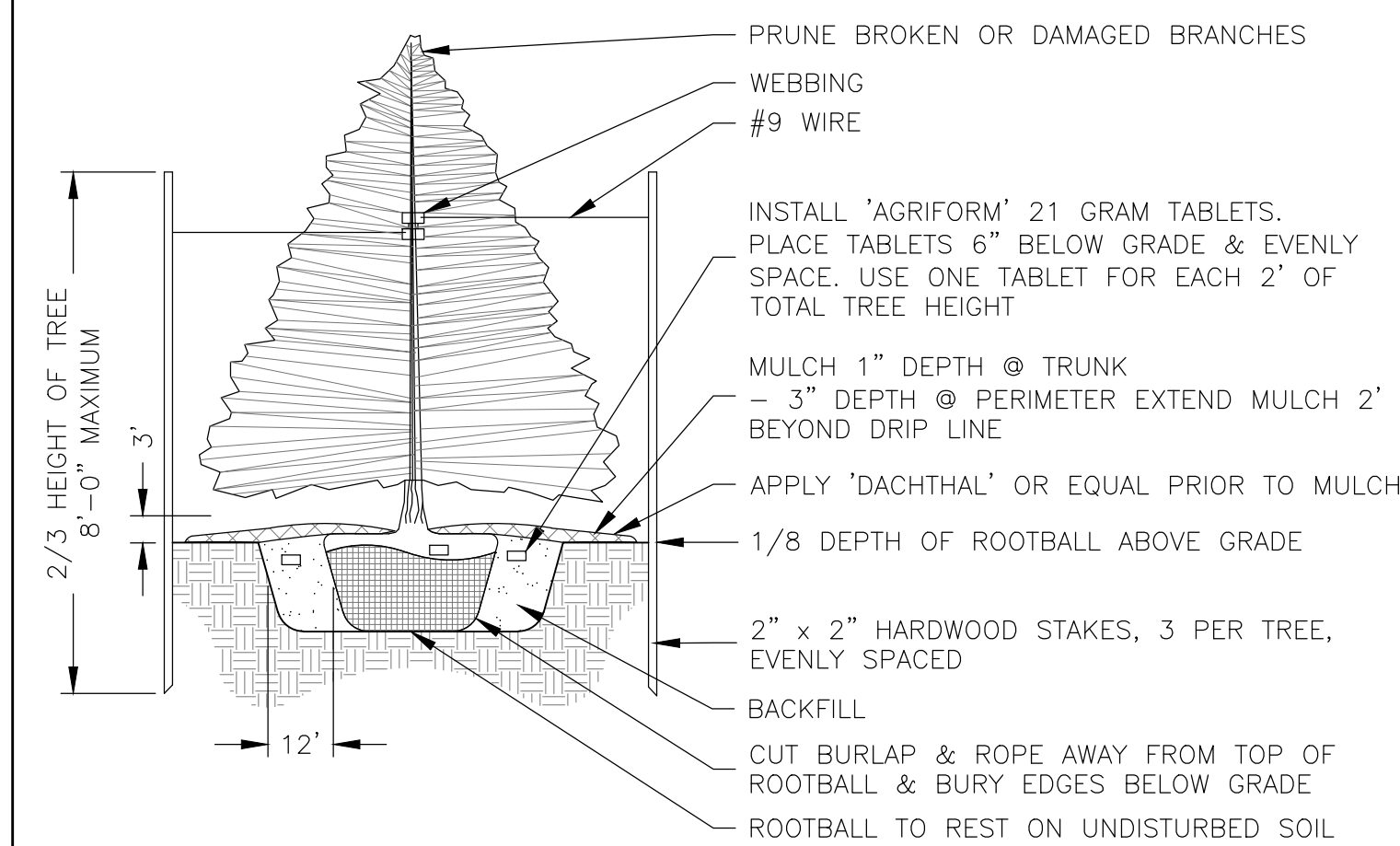
- CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND QUANTITY LISTS, PLAN SHALL GOVERN QUANTITIES.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION MAY BE LOCATED BY CALLING 811 NATIONWIDE TO REQUEST A LINE LOCATE. ANY DAMAGE TO UTILITIES OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR RESPONSIBLE FOR APPLICATION AND COST OF ALL NECESSARY PERMITS AND CODE VERIFICATIONS. SUBMIT COPIES OF ALL DOCUMENTS TO OWNER AND LANDSCAPE ARCHITECT.
- ALL SHRUB BEDS AND TREES SHALL BE MULCHED WITH A 3" DEPTH CONTINUOUS LAYER OF DARK BROWN SHREDDED HARDWOOD BARK MULCH. ALL GROUND COVER AND PERENNIAL BEDS SHALL BE MULCHED WITH A 1" DEPTH LAYER OF MULCH. ALL DECIDUOUS TREES SHALL BE MULCHED WITH A 3" DIAMETER CIRCLE OF 3" DEPTH MULCH. ALL EVERGREEN TREES SHALL BE MULCHED TO THE DRIP LINE.
- PERENNIAL AND GROUND COVER BEDS SHALL BE AMENDED WITH A 2" LAYER OF MUSHROOM COMPOST, TILLED TO A DEPTH OF 6", RAKED SMOOTH, FERTILIZED WITH COMMERCIAL 10-6-4 FERTILIZER AT A RATE OF 25 LBS. PER 1,000 S.F., PLANTED, COVERED WITH 1" LAYER OF DARK BROWN SHREDDED HARDWOOD BARK MULCH AND WATERED.
- EDGE ALL SHRUB BEDS THAT ABUTS LAWN WITH A 4" WIDTH BY 4" DEPTH 'V' SHAPED SPADED EDGE, CONTINUOUS.
- THE TOPSOIL CONDITION FOR THIS PROJECT SITE IS AS FOLLOWS:
CONTRACTOR TO SUPPLY, PLACE AND FINISH GRADE TOPSOIL AT SPECIFIED DEPTHS IN PLANTING AND LAWN AREAS. PLANTING AREAS: 12 INCHES, LAWN AREAS: 6 INCHES.
- GUARANTEE OF PLANTS FOR ONE (1) YEAR SHALL BEGIN AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES OF ALL PLANT MATERIAL, INCLUDING WATERING, CULTIVATING, WEEDING, MULCHING AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE (1) YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD.

PLANT LIST:

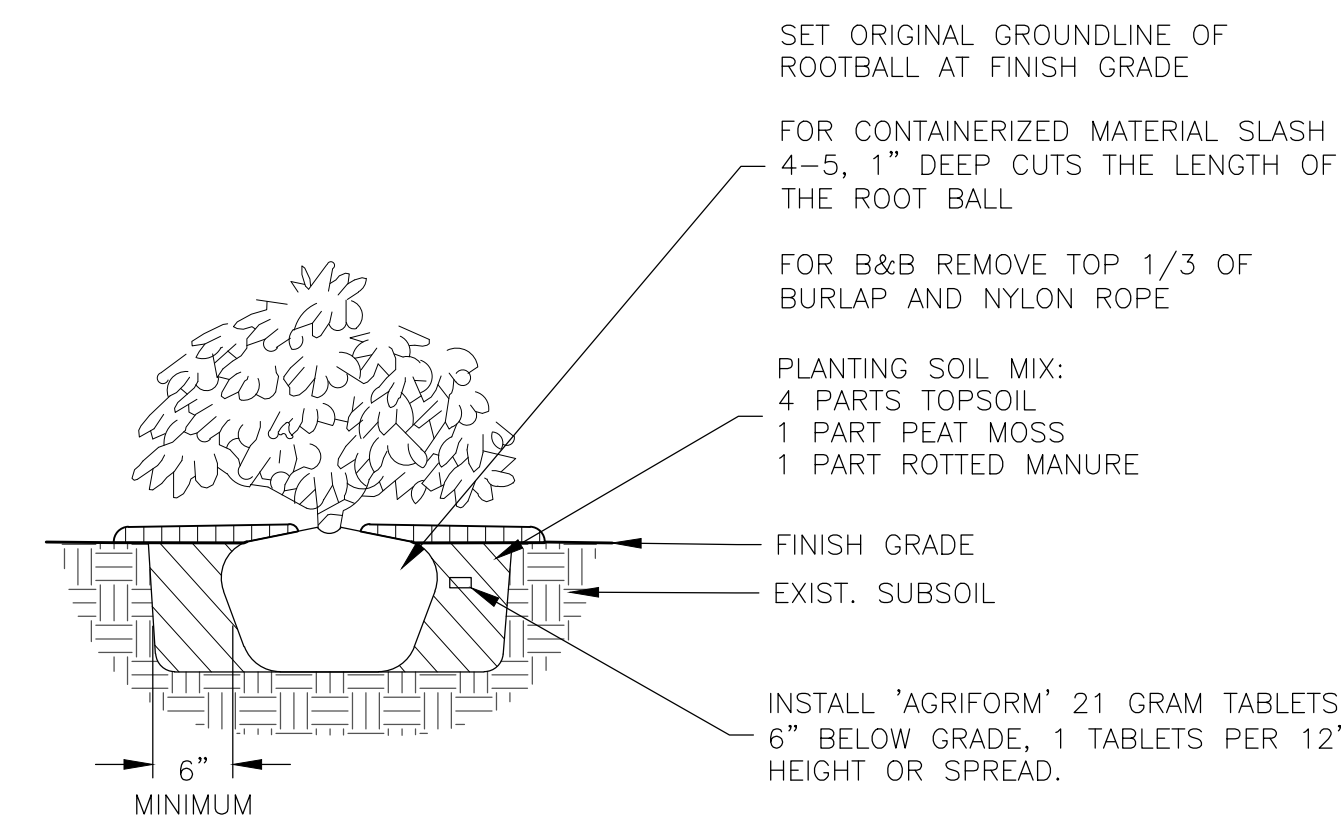
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
PAB	6	<i>Picea abies</i>	NORWAY SPRUCE	6' HT.	UNSHEARED
PGA	3	<i>Picea glauca var. densata</i>	WHITE SPRUCE	6' HT.	UNSHEARED
PS	0	<i>Pinus strobus</i>	WHITE PINE	8' HT.	UNSHEARED
PSY	3	<i>Pinus sylvestris</i>	SCOTCH PINE	6' HT.	UNSHEARED
CP	3	<i>Crataegus phaenopyrum</i>	WASHINGTON HAWTHORN	6' HT.	MULTI-STEM
MLP	6	<i>Malus 'Prairifire'</i>	PRAIRIFIRE CRABAPPLE	6' HT.	MULTI-STEM
SJT	3	<i>Syringa reticulata</i>	JAPANESE TREE LILAC	6' HT.	MULTI-STEM
AAB	5	<i>Acer x freemanii 'Autumn Blaze'</i>	AUTUMN BLAZE FREEMAN MAPLE	3" CALP.	
AP	1	<i>Acer platanoides 'Emerald Queen'</i>	EMERALD QUEEN NORWAY MAPLE	3" CALP.	
GTS	3	<i>Gleditsia triacanthos 'Skyline'</i>	SKYLINE HONEYLOCUST	3" CALP.	
QBI	0	<i>Quercus bicolor</i>	SWAMP WHITE OAK	3" CALP.	
QR	4	<i>Quercus rubra</i>	RED OAK	3" CALP.	
UJW	1	<i>Ulmus japonica x wilsoniana 'Morton'</i>	ACCOLADE ELM	3" CALP.	
SHRUBS					
CIH	9	<i>Cornus alba 'Ivory Halo'</i>	IVORY HALO DOGWOOD	36"	
CS	21	<i>Cornus sericea</i>	RED TWIG DOGWOOD	36"	
RKO	8	<i>Rosa 'Radrazz'</i>	KNOCK OUT ROSE	3 GAL.	
SNF	8	<i>Spiraea japonica 'Neon Flash'</i>	NEON FLASH SPIREA	24"	
VD	12	<i>Viburnum dentatum</i>	ARROWWOOD VIBURNUM	36"	
VLM	9	<i>Viburnum lantana 'Mohican'</i>	MOHICAN WAYFARINGTREE VIBURNUM	36"	
WWR	14	<i>Weigela florida 'Wine & Roses'</i>	WINE & ROSES WEIGELA	24"	
BMG	8	<i>Buxus 'Green Velvet'</i>	GREEN VELVET BOXWOOD	5 GAL.	
JCS	14	<i>Juniperus chinensis 'Sargentii'</i>	SARGENT JUNIPER	5 GAL.	
TMD	5	<i>Taxus x media 'Densiformis'</i>	DENSE YEW	5 GAL.	
PERENNIALS, GROUNDCOVER, ORNAMENTAL GRASSES					
AAS	31	<i>Allium angulosum 'Summer Beauty'</i>	SUMMER BEAUTY ONION	1 GAL.	2 O.C.
HHR	24	<i>Hemerocallis 'Happy Returns'</i>	HAPPY RETURNS DAYLILY	1 GAL.	2 O.C.
HMO	8	<i>Heuchera micrantha 'Obsidian'</i>	OBSIDIAN CORAL BELLS	1 GAL.	2 O.C.
VMI	120	<i>Vinca minor</i>	PERIWINKLE	3"	1 O.C.



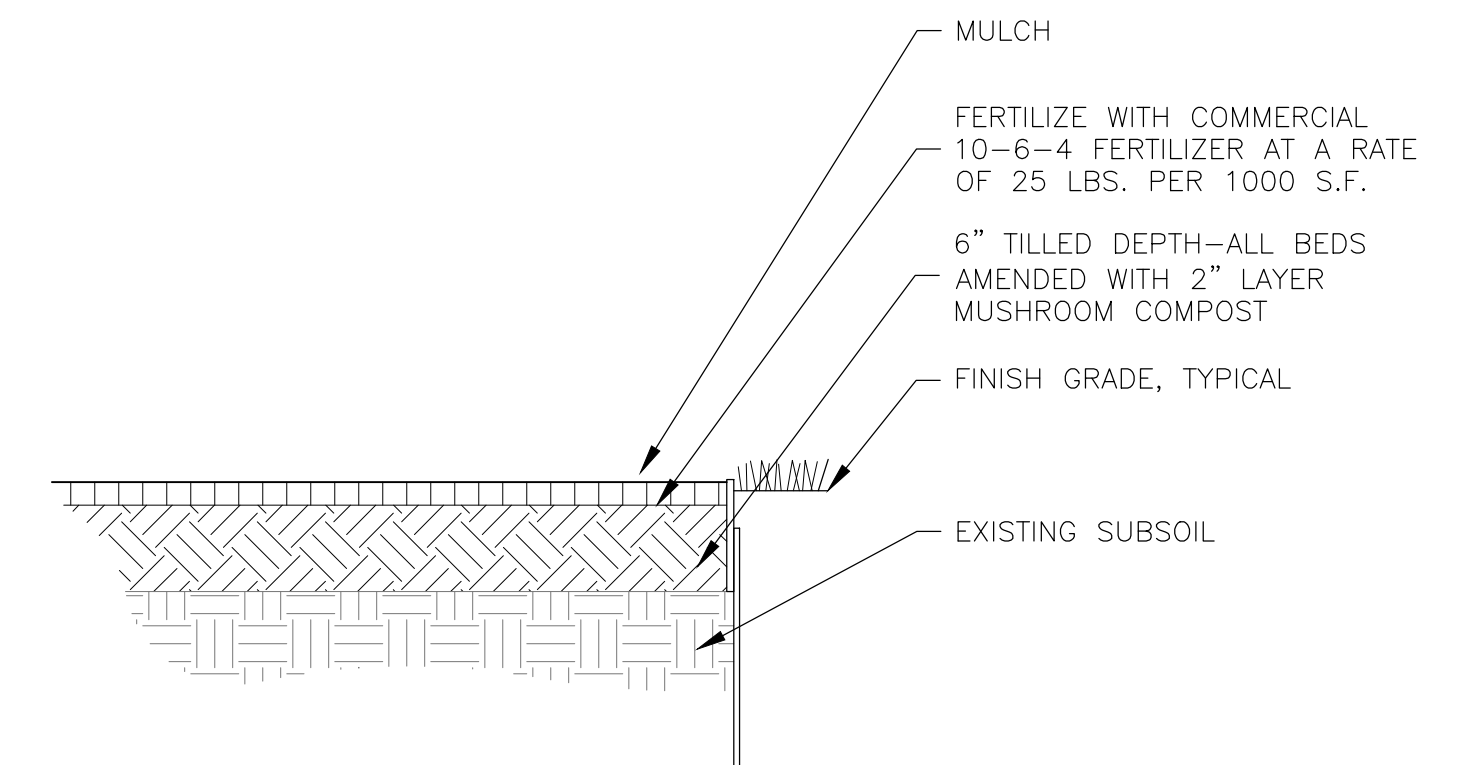
TREE PLANTING
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.



PERENNIAL/GROUNDCOVER PLANTING
N.T.S.

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
LANDSCAPE NOTES & DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
		JOB # 21-344
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		SHEET C2.7

Case Name: _____

**REQUEST FOR CONDITIONAL USE
VILLAGE OF MAHOMET**

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

Date Filed: _____ Date of Hearing: _____

Date of Published Notice: _____ Newspaper: _____

Fee Paid – Receipt No.: _____ Amount: _____ Date: _____

ck \$110.00 pd 12/17/2021

Comments (indicate other actions such as continuances): _____

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Conditional Use Permit is a Zoning adjustment which permits a change in district requirements and which permits uses not normally allowed by strict application of the ordinance. The Village of Mahomet may impose any conditions of acceptance which it deems to be in the best interests of the community, to which the applicant must abide. Those conditions may include compliance to a site development plan.
2. No Conditional Use Permit will be granted which would adversely affect surrounding property or the general neighborhood. All Conditional Uses must be in harmony with the intent and purpose of the Zoning Ordinance.
3. There will be no refund of application fee for any Conditional Use Permit not granted or withdrawn.
4. No incomplete applications will be acted upon.
5. Granting a Conditional Use Permit requires that the Village hold a Public Hearing regarding the request and publication of a Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village staff to assure consideration of their request in as timely a manner as is reasonably possible.

DATE ON APPLICANT AND OWNERS

Name of Applicant(s): _____ Phone: _____

Address of Applicant(s): _____

Property Interest of Applicant(s): _____
(Owner, Contract Purchaser/Agent, etc.)

Name of Owner: _____

Address of Owner: _____

ADDRESS, AND DESCRIPTION OF PROPERTY

Address: _____

Width of Lot: _____ Length of Lot: _____ Lot Area (Square feet): _____

Tax Parcel Number: _____

Legal Description (or attach legal description): _____

LAND USE AND ZONING

Present Zoning: _____

Present Land Use: _____

Proposed Land Use: _____

	Surrounding Zoning	Surrounding Land Use
North	_____	_____
South	_____	_____
East	_____	_____
West	_____	_____

REASONS FOR REQUEST FOR CONDITIONAL USE PERMIT

NOTE: The Following questions must be answered completely. If additional space is needed, attach extra pages to the application. Before answering, read the **Notice to Applicants** attached.

1. Describe in detail the purposed conditional use being requested.

2. Are there other sites available for the proposed use? Explain.

3. What circumstances justify the need for the proposed use at this location? Elaborate.

4. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at the present time? Yes_____ No_____ If yes, how?

5. Is the subject property planned to be improved? Yes_____ No_____

When?_____

What improvements are planned?_____

6. Will the grant of conditional use in the form requested be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance? Elaborate.

7. Have there been major land use changes since zoning was applied in 1963 i.e. new expressway, new dam, etc? Elaborate.

8. Would the proposed change create an isolated use unrelated to adjacent land use or zoning? Explain.

9. Can the owner of the property realize an economic benefit from permitted uses in accordance with existing zoning? Elaborate.

10. Are there other sites available already zoned for the proposed use? Elaborate.

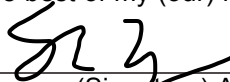
11. Additional comments by the Applicant: _____

SKETCH PLAN

1. Is there a scaled plot plan attached that indicates the location of the premises and the nature of the site? Yes _____ No _____ (Application will not be processed without the required drawing)

2. Additional exhibits submitted by Applicant: _____

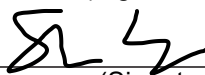
I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.



(Signature) Applicant

11.24.21

Date



(Signature) Owner

11.24.21

Date



Tabeling Development Company

Reserve Mahomet Townhomes



Site Plan

18 Houses

8 Four-Unit Townhome Buildings

Located just east of Conway Farms along US 150, Reserve Mahomet's first phase of build-for-rent homes broke ground in Summer 2021. This phase features 10 houses, which will begin leasing in Summer 2022.

The roads and utilities have also been built as a part of Phase One. Future development includes 8 additional houses and 8 proposed townhome buildings.

This site has been zoned R3 with an allowance of 14 units per acre. With 50 proposed residences over 5 acres, the proposed project contains only 10 units per acre.

There is strong demand for a higher-end, low-density for-lease community in this area. We are proposing a unique product that fits in the neighborhood and fills the housing need in Mahomet. This community will offer an alternative to the more dense apartment developments in Mahomet.



Reserve Mahomet Townhomes Floorplans



3br/2ba
1,542 sqft



2br/2ba
1,027 sqft



Reserve Mahomet Townhomes Elevations



Shown above are a preliminary front elevation, and a photo of a similar project we recently completed.



Reserve Mahomet Townhomes Details

- High end finishes throughout, including quartz tops, LVP flooring, master dual vanities, stainless steel appliances, quality lighting, and more.
- Fiber-optic internet.
- Full in-unit laundry.
- Attached garages.
- Ample storage.



About our Company



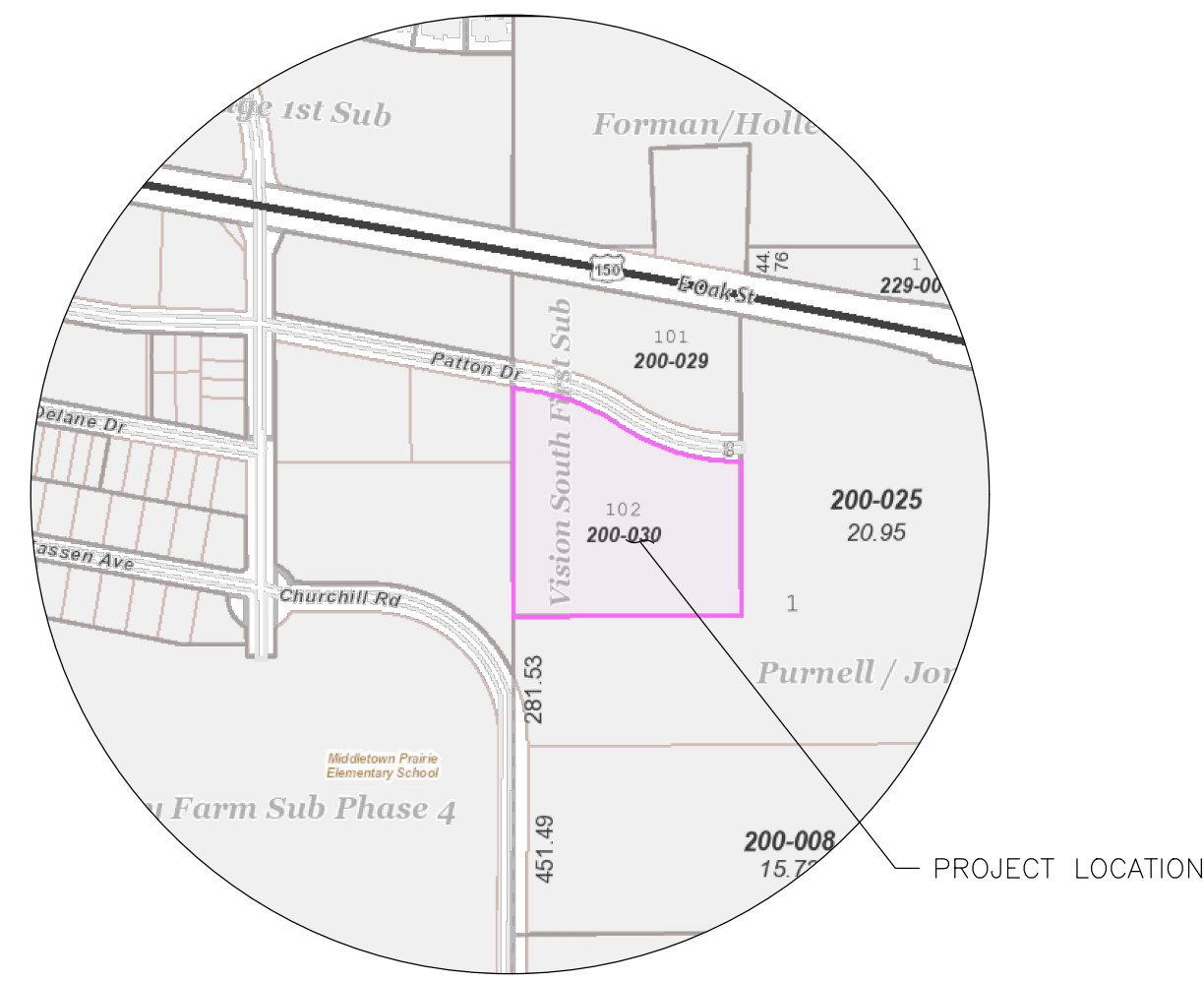
Tabeling Development Company has a long history of development in Mahomet. We are currently involved in model and custom homes, commercial complexes, land development, and build-for-lease growth in the area. We take the time to make sure all of our projects complement each other and the area properly.

Our familiarity with the area and our past success in real estate development and sales gives us a competitive advantage, and positions us to deliver the highest quality build-for-lease properties in town.

Learn more about us at www.tabelingco.com



SITE ENGINEERING PLANS FOR THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS



LOCATION MAP
N.T.S.

OWNER/DEVELOPER
TABELING DEVELOPMENT COMPANY
601 E. MAIN STREET, SUITE 102
MAHOMET, ILLINOIS 61853
(217) 722-9374

ENGINEER/SURVEYOR
FEHR GRAHAM ENGINEERING & ENVIRONMENTAL
1610 BROADMOOR DR.
CHAMPAIGN, ILLINOIS 61821
(217) 352-7922

LEGEND

	BOUNDARY OF TRACT		INLET/MANHOLE PROTECTION
	SETBACK		FLARED END PROTECTION
	EXISTING EASEMENT		EXISTING FIRE HYDRANT
	EXISTING RIGHT-OF-WAY		PROPOSED FIRE HYDRANT
	EXISTING STORM SEWER		EXISTING WATER VALVE
	PROPOSED STORM SEWER		PROPOSED WATER VALVE
	PROPOSED DOWNSPOUT DRAIN		EXISTING WATER MAIN BLOWOFF
	EXISTING SURVEY MONUMENT FOUND		PROPOSED WATER MAIN BLOWOFF
	SURVEY MONUMENT SET		PARKING LOT LIGHT
	HORIZONTAL CONTROL POINT		EXISTING DECIDUOUS TREE
	BENCHMARK		PROPOSED DECIDUOUS TREE
	EXISTING SANITARY SEWER LINE		EXISTING CONIFEROUS TREE
	PROPOSED SANITARY SEWER LINE		PROPOSED CONIFEROUS TREE
	PROPOSED SANITARY SERVICE LINE		EXISTING CONTOUR LINE
	EXISTING WATER MAIN		PROPOSED CONTOUR LINE
	PROPOSED WATER MAIN		EXISTING SPOT ELEVATION
	PROPOSED 2" WATER SERVICE LINE		PROPOSED SPOT ELEVATION
	ELECTRICAL CONDUIT		EXISTING SANITARY SEWER MANHOLE
	SILT FENCE		PROPOSED SANITARY SEWER MANHOLE
	BENCHMARK		EXISTING CLEANOUT
	EXISTING STORM SEWER INLET/MANHOLE		CLEANOUT
	PROPOSED STORM SEWER INLET/MANHOLE		
	EXISTING FLARED END SECTION		
	PROPOSED FLARED END SECTION		

BENCHMARKS

BM #1
TOP OF NORTHEAST CAP NUT ON FIRE HYDRANT ON NORTH SIDE OF PATTON DRIVE NORTHEAST OF SITE.
ELEVATION=783.62'

BM #2
TOP OF NORTHEAST CAP NUT WITH "BURY 4" TAG ON FIRE HYDRANT IN MIDDLETOWN APARTMENTS.
ELEVATION=781.98'

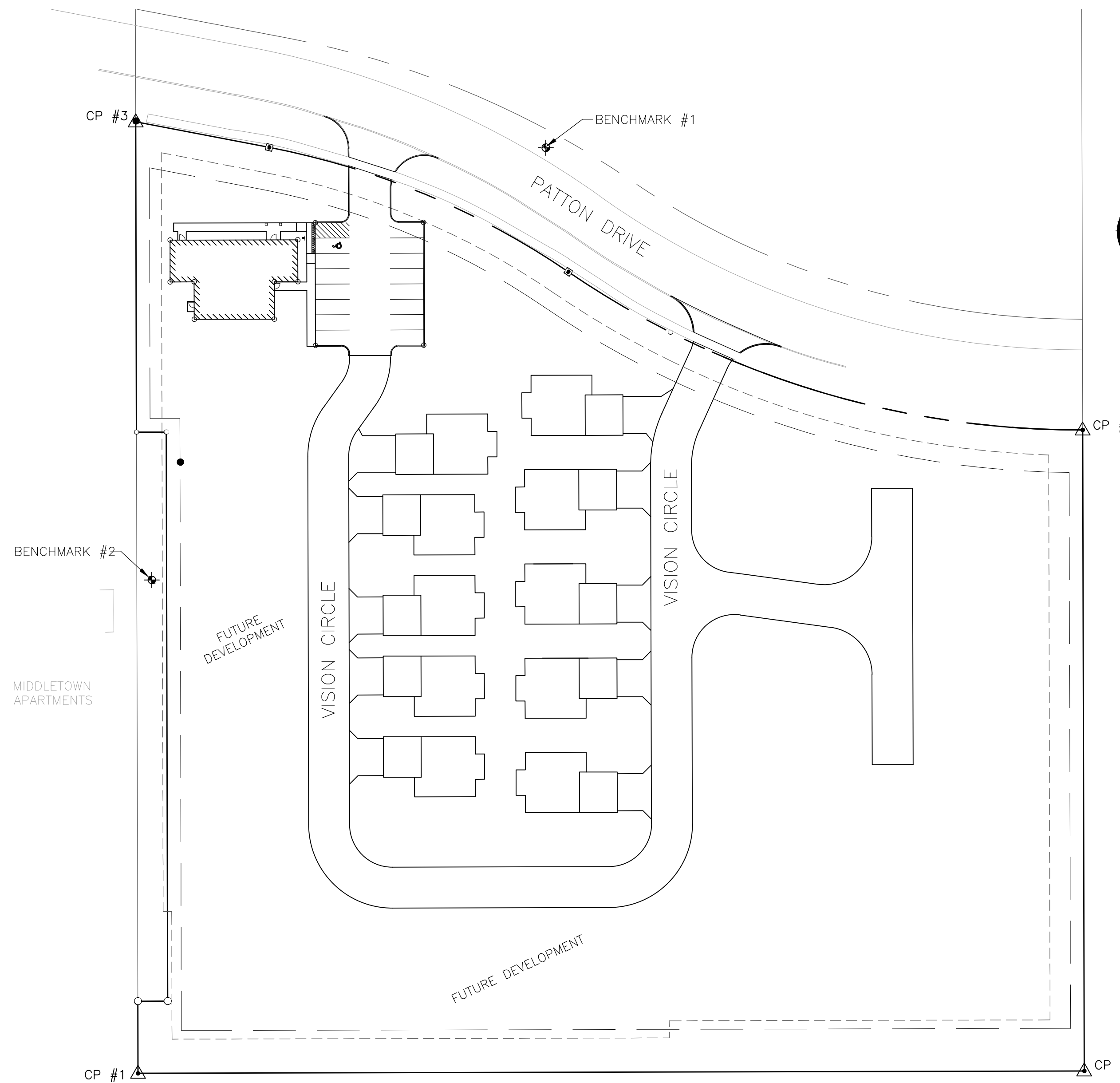
HORIZONTAL CONTROL POINTS

CP #1
#4 REBAR WITH CAP STAMPED *PLS 3176/PLS 3920*
N=1280752.15'
E=972689.63'

CP #2
#4 REBAR WITH CAP STAMPED *PLS 3176/PLS 3920*
N=128075.52'
E=973244.95'

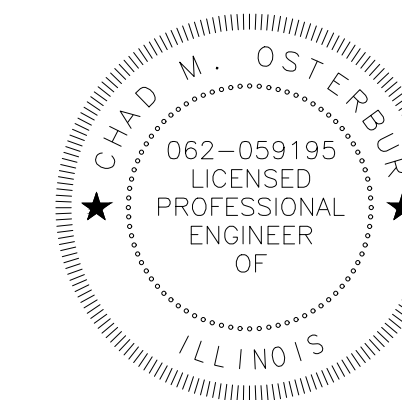
CP #3
#4 REBAR WITH CAP STAMPED *PLS 3176/PLS 3920*
N=1281310.41'
E=972688.26'

CP #4
#4 REBAR WITH CAP STAMPED *PLS 3176/PLS 3920*
N=1281129.59'
E=973244.02'



SHEET INDEX

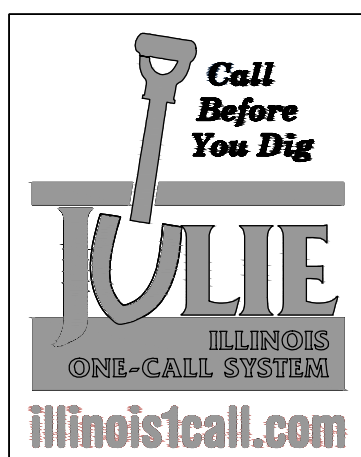
- C1.0 COVER & LEGEND
- C1.1 GENERAL NOTES & SPECIFICATIONS
- C1.2 GENERAL NOTES & SPECIFICATIONS
- C1.3 GENERAL NOTES & SPECIFICATIONS
- C1.4 GENERAL NOTES & SPECIFICATIONS
- C2.0 PAVING PLAN
- C2.1 CLUBHOUSE PAVING PLAN
- C2.2 GRADING PLAN
- C2.3 CLUBHOUSE GRADING PLAN
- C2.4 UTILITY PLAN
- C2.5 CLUBHOUSE UTILITY PLAN
- C2.6 LANDSCAPE PLAN
- C2.7 LANDSCAPE NOTES & DETAILS
- C2.8 STORM SEWER PROFILES
- C2.9 SANITARY SEWER PROFILES
- C2.10 WATERMAIN PROFILES
- C3.0 GENERAL DETAILS
- C3.1 GENERAL DETAILS
- C3.2 GENERAL DETAILS
- C3.3 GENERAL DETAILS
- C3.4 GENERAL DETAILS
- C3.5 GENERAL DETAILS
- C3.6 GENERAL DETAILS
- C3.7 GENERAL DETAILS
- C3.8 GENERAL DETAILS



Chad M. Osterbur
DATE 6/7/2021

CHAD M. OSTERBUR
ILLINOIS LICENSED PROFESSIONAL ENGINEER #062-059195
LICENSE EXPIRES 11/30/2021

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
COVER & LEGEND		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C1.0



GENERAL CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE REFERENCED STANDARD SPECIFICATIONS, THE REQUIREMENTS OF THE VILLAGE OF MAHOMET SUBDIVISION ORDINANCE, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- SPECIFICATIONS ADOPTED BY REFERENCE IN THESE PLANS REFER TO THE LATEST PUBLISHED REVISION THEREOF.
- ATTENTION IS CALLED TO CURRENT LOCAL, STATE, AND FEDERAL (OSHA) SAFETY REGULATIONS AND GUIDELINES. CONTRACTORS AND THEIR EMPLOYEES SHALL BE FAMILIAR WITH THESE REGULATIONS AND GUIDELINES AND SHALL STRICTLY ADHERE TO THEM.
- MAINTAIN ACCESS TO ADJACENT BUSINESSES AND HOMES AT ALL TIMES. CONTRACTOR SHALL SCHEDULE WORK, PREPARE DETOURS AND CONSTRUCT TEMPORARY BRIDGES OR RAMPS AS NECESSARY TO PROVIDE FOR ACCESS.
- NOTIFY THE VILLAGE ENGINEER (217-586-4456 EXT. 202) OR BUILDING INSPECTOR (217-586-4456 EXT. 114) AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO STARTING OR RESTARTING ANY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION WORK PERFORMED OR EQUIPMENT AND MATERIALS SUPPLIED MAY BE SUBJECT TO OBSERVATION BY THE VILLAGE ENGINEER.
- BEFORE BEGINNING WORK CONTACT J.U.L.I.E. (800-892-0123) AND ANY COMPANIES MAINTAINING UTILITIES AND REQUEST THEIR ASSISTANCE IN FIELD LOCATING UTILITIES IN THAT AREA.
- ANY DAMAGE TO EXISTING UTILITIES AS A RESULT OF THIS CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER OF THE UTILITY AT NO EXPENSE TO THE VILLAGE OF MAHOMET.
- EXISTING PAVEMENTS NOT SCHEDULED FOR DEMOLITION THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED AT NO EXPENSE TO THE VILLAGE OF MAHOMET.
- THE NEED FOR REPLACEMENT AND REPAIR OF ANY FIELD TILE OR FIELD TILE OUTLETS ENCOUNTERED DURING CONSTRUCTION WILL BE DETERMINED BY THE VILLAGE ENGINEER.
- DISPOSE OF LANDSCAPE DEBRIS, CONCRETE, AND DEMOLITION DEBRIS OFF-SITE IN A LEGAL MANNER.
- ORGANIC SOILS (TOPSOIL) FROM EXCAVATIONS AROUND THE SITE SHALL BE STRIPPED AND STOCKPILED DURING CONSTRUCTION AND SPREAD ON THE TOP OF DISTURBED AREAS. THE ENGINEER SHALL DETERMINE SOILS SUITABLE FOR USE AS TOPSOIL DURING CONSTRUCTION. SUBSOIL SHALL BE EXCAVATED AND STOCKPILED SEPARATELY. AFTER CONSTRUCTION, SUBSOIL SHALL FIRST BE PLACED IN TRENCHES AND COMPACTED. NEXT, TOPSOIL SHALL BE SPREAD OVER DISTURBED AREAS (A MINIMUM OF EIGHT (8) INCH THICKNESS) AT THE DIRECTION OF THE ENGINEER.
- EXCAVATE THE EXISTING MATERIAL ENCOUNTERED, FILL AND COMPACT MATERIAL AND GRADE IMPROVEMENTS CONTAINED IN THIS CONTRACT IN ACCORDANCE WITH LINES, GRADES, SPOT ELEVATIONS, FLOW ARROWS, PROFILES, AND CROSS SECTIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO DRAIN. FINISHED SURFACES SHOULD MATCH SURROUNDING GROUND WITH ALLOWANCE FOR SETTLEMENT, OR AS OTHERWISE DIRECTED BY THE ENGINEER.
- NO MATERIALS, DUMPSTERS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN PUBLIC STREET RIGHT-OF-WAY, WITHOUT APPROVAL OF THE VILLAGE ENGINEER.
- SNOW AND ICE CONTROL SHALL BE PROVIDED BY THE DEVELOPER UNTIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE BOARD OF TRUSTEES.
- HAUL ROUTES ON VILLAGE STREETS TO AND FROM THE SITE SHALL BE APPROVED IN ADVANCE BY THE VILLAGE ENGINEER.
- APPROPRIATE MEASURES SHALL BE TAKEN TO MINIMIZE OR ELIMINATE WASTES OR UNUSED BUILDING MATERIALS, INCLUDING, BUT NOT LIMITED TO, GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, AND OTHER SUBSTANCES FROM BEING CARRIED FROM A SITE BY RUNOFF. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIALS, APPROPRIATE TO THE NATURE OF THE WASTE MATERIAL, IS REQUIRED.

STORM DRAIN NOTES

- STORM DRAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 550 OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, THE SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISION, LATEST EDITION, THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- PIPE MATERIALS FOR STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 OR CONCRETE SEWER PIPE CONFORMING TO ASTM C-14 FOR SIZES SMALLER THAN 12 INCH DIAMETER.
OR
PRECOATED AND FULLY LINED, PVC LINED, OR SMOOTH LINED ALUMINIZED CORRUGATED STEEL PIPE, WITH GASKETED JOINTS, FOR PIPES 18 INCHES IN DIAMETER AND SMALLER.
OR
EXTRA STRENGTH VITRIFIED CLAY PIPE PER ASTM C-700.
OR
POLYVINYL CHLORIDE PIPE (PVC) IN ACCORDANCE WITH ASTM D-3034, TYPE PSM, WITH A MINIMUM WALL THICKNESS STANDARD DIMENSION RATIO (SDR) OF 26 (HEAVY WALL PIPE).
OR
HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (HDPE) DUAL WALL WITH A SMOOTH INTERIOR CONFORMING TO ASTM F677 AND AASHTO M294, TYPE S WITH A STANDARD DIMENSION RATIO (SDR) OF 32.5 AND COMPLYING WITH AASHTO SECTION 18 (ADS N-12 OR EQUIVALENT).
OR
TYPE S HIGH DENSITY CORRUGATED, DUAL WALL, SMOOTH INTERIOR, STEEL REINFORCED POLYETHYLENE PIPE WITH PUSH ON GASKETED JOINTS WITH A PIPE STIFFNESS OF NOT LESS THAN 120 PPI FOR PIPES 18 INCHES TO 36 INCHES IN DIAMETER. THE PIPE SHALL COMPLY WITH THE REQUIREMENTS OF ASTM F-2562 OR AASHTO MP-20 AND ASTM 3350.
OR
HIGH PERFORMANCE POLYPROPYLENE (PP) PIPE DUAL WALL WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS THAT COMPLIES WITH THE REQUIREMENTS OF ASTM F-2881 AND AASHTO M330.

STORM DRAIN NOTES

- PVC, CORRUGATED STEEL, POLYPROPYLENE, AND HDPE STORM DRAIN PIPE SHALL NOT BE USED UNLESS PIPE COVER EXCEEDS 30 INCHES.
- ALL SEGMENTS OF PVC, PP, OR HDPE STORM DRAIN PIPE SHALL BE MANDREL TESTED FOR DEFLECTION PER ASTM D-3034 METHODOLOGY BY THE CONTRACTOR. THE VILLAGE ENGINEER MUST BE PRESENT DURING ALL DEFLECTION TESTING.
- PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE:
CONCRETE PIPE: BITUMINOUS MASTIC PER ASTM C-76 OR PUSH-ON FLEXIBLE RUBBER GASKET TYPE PER ASTM C-361 OR ASTM C-433.
OR
PVC PIPE: PUSH-ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212
OR
HDPE PIPE: PUSH-ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212
OR
CORRUGATED STEEL PIPE: SMOOTH SLEEVE TYPE COUPLER PER AASHTO M-36 WITH POLYPROPYLENE GASKETS PER ASTM D-2240
OR
CLAY PIPE: PUSH ON GASKET TYPE PER ASTM: C-425.
OR
TYPE S STEEL REINFORCED PIPE: PUSH ON FLEXIBLE ELASTOMERIC GASKETED BELL AND SPIGOT TYPE PER ASTM D-3212.
OR
PP PIPE: PUSH ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212.
- BEDDING, HAUNCHING, INITIAL BACKFILL AND FINAL BACKFILL SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS AND NOTES ON THESE PLANS.
- PROVIDE COMPACTED SELECTED GRANULAR MATERIAL FOR TRENCH BACKFILL WHEN THE INNER EDGE OF A TRENCH OR MANHOLE EXCAVATION IS WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT, CURB, OR SIDEWALK. CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL MAY BE UTILIZED IN LIEU OF COMPACTED SELECTED GRANULAR MATERIAL BACKFILL.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER AND STORM DRAIN FACILITIES. SEE SECTION 41-2.01B AND STANDARD DRAWINGS 18 THROUGH 24 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" FOR WATER AND STORM DRAIN SEPARATION REQUIREMENTS. WATER MAIN CASING PIPE SHALL BE USED FOR A DISTANCE OF 10 FEET EACH WAY FROM THE STORM DRAIN WHENEVER WATER/STORM DRAIN MINIMUM SEPARATION REQUIREMENTS CANNOT BE MAINTAINED.
- WHERE REQUIRED FOR SEPARATION OR OTHER PURPOSES, DUCTILE IRON PIPE SHALL CONFORM TO AWWA C-151 AND ASTM A-746, THICKNESS CLASS 50 PER AWWA C-150 WITH MECHANICAL OR PUSH-ON RUBBER SEAL JOINTS PER AWWA C-111 AND SHALL BE INSTALLED PER AWWA C-600. PIPE SHALL HAVE A BITUMINOUS MATERIAL EXTERIOR COATING PER AWWA C-151 AND BE INSIDE LINED FOR SEWER USE PER ASTM A-746.
- PIPES OF EQUAL DIAMETER SHALL BE PROVIDED WITH NOT LESS THAN 0.1 FEET OF FALL ACROSS MANHOLES. THE CROWNS OR 0.8 DIAMETER POINT OF PIPES OF UNEQUAL DIAMETER SHALL BE MATCHED AT MANHOLES SO AS TO PROMOTE CONTINUOUS HYDRAULIC GRADE LINES.
- ALL STORM DRAINS 10 INCHES IN DIAMETER OR LARGER UTILIZING FLEXIBLE PIPE MATERIALS SHALL BE INSPECTED VIA A TELEVISION CAMERA SURVEY. A RECORDING OF THE INSPECTION SHALL BE MADE, A COPY OF WHICH SHALL BE PROVIDED TO THE VILLAGE ENGINEER. ANY DEFECTS NOTED DURING THE TELEVISION CAMERA INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
- STORM DRAIN MANHOLE AND INLET CASTINGS SHALL BE DEPRESSED 1 TO 2 INCHES IN UNPAVED AREAS, ¼ TO ½ INCH IN PAVEMENT AREAS AND ½ TO 1 INCHES IN CURBS WITH APPROPRIATE TRANSITIONS IN CURBS TO AID THE DIRECTION OF RUNOFF INTO THE CASTING. CASTINGS SHALL BE SET IN ACCORDANCE WITH THE PLAN ELEVATION.
- WYE CONNECTIONS TO STORM DRAINS OR DRAIN TILES, SUMP PUMP DISCHARGE PIPES AND SIMILAR SMALL DIAMETER LINES SHALL BE ALLOWED ONLY IF APPROVED BY THE VILLAGE ENGINEER. A WYE CONNECTION TO THE STORM DRAIN SHALL BE MADE BY ONE OF THE METHODS INDICATED BELOW:
A. CONCRETE PIPE: BITUMINOUS MASTIC PER ASTM C-76 OR PUSH-ON FLEXIBLE RUBBER GASKET TYPE PER ASTM C-361 OR ASTM C-433.
OR
PVC PIPE: PUSH-ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212
OR
HDPE PIPE: PUSH-ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212
OR
CLAY PIPE: PUSH-ON GASKET TYPE PER ASTM C-425.
OR
PP PIPE: PUSH ON FLEXIBLE ELASTOMERIC SEAL TYPE PER ASTM D-3212.
B. CIRCULAR SAW CUT OUT THE SEWER MAIN AND INSTALL A PRE MANUFACTURED SADDLE TAP CONNECTION IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION DIRECTIONS. ENCASE SADDLE TAP IN CONCRETE.
C. USE OF A PREFABRICATED WYE.
IF ANY OTHER METHOD IS DESIRED, SUBMIT SAID METHOD TO THE VILLAGE ENGINEER FOR REVIEW AND APPROVAL BEFORE THE CONNECTION IS MADE. INDISCRIMINATE BREAKING OF THE PIPE IS NOT ALLOWED.
- THE JOINTING OF DISSIMILAR PIPES SHALL BE ACCOMPLISHED BY USING APPROVED FABRICATED "BAND-SEAL" TYPE COUPLINGS AND CONCRETE ENCASEMENT OF 6 INCH THICKNESS EXTENDING 1 FOOT ON EACH SIDE OF THE JOINT.
- ALL SUBSURFACE DRAINAGE TILES AND DRAINS ENCOUNTERED AND DETERMINED TO REMAIN IN SERVICE BY THE VILLAGE ENGINEER SHALL BE REPAIRED OR CONNECTED TO PROPOSED STORM DRAIN MANHOLES USING APPROPRIATE MATERIALS.
- BREAK-IN CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE DRILLING OR SAW-CUTTING INTO THE SIDE OF THE MANHOLE FOR PROPER INSERTION OF THE NEW PIPE. THE CONNECTION SHALL BE SEALED WITH AN EXPANDING MORTAR OR GROUT AND A BITUMINOUS WATERPROOFING MATERIAL SHALL BE COATED ON THE OUTSIDE OF THE CONNECTION. THE CONCRETE BOTTOM (INVERT) OF THE MANHOLE SHALL BE REMOVED SUFFICIENTLY TO SET THE NEW SEWER CONNECTION AT THE APPROPRIATE ELEVATION AND A NEW INVERT POURED.

- ALL INSIDE JOINTS OF THE MANHOLES AND INLETS SHALL BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
- MANHOLES OR INLETS CONSTRUCTED OF CONCRETE MASONRY UNITS SHALL HAVE ½ INCH TO ¾ INCH OF MORTAR PLASTERED ON THE INSIDE AND OUTSIDE OF THE ENTIRE MANHOLE OR INLET AND THEN SEALED WITH A BITUMINOUS MASTIC WATERPROOF MATERIAL. MORTAR ON THE ENTIRE INSIDE OF THE MANHOLE OR INLET SHALL ALSO BE BRUSHED SMOOTH.
- CASTING NUMBERS REFER TO NEENAH CASTINGS. APPROVED EQUALS MAY BE USED. ALL STANDARD CURB INLET FRAMES AND OPEN GRATE COVERS SHALL BE CAST BY THE MANUFACTURER WITH THE WORDAGE, "DUMP NO WASTE, DRAINS TO RIVER".
- AGGREGATE BEDDING MATERIAL FOR HDPE, PP, CSP AND PVC PIPE SHALL BE PLACED AND SHAPED IN THE TRENCH TO CONFORM TO THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS LAID, AGGREGATE COVER SHALL BE PLACED ALONG BOTH SIDES OF THE PIPE AND WALKED IN OR RODDED TO COMPACT THE MATERIAL UNDER THE HAUNCHES OF THE PIPE. AGGREGATE COVER SHALL BE PLACED TO ONE (1) FOOT ABOVE THE TOP OF THE PIPE.
- WHERE REQUIRED FOR SEPARATION OR OTHER PURPOSES PVC WATERMAIN QUALITY PIPE USED FOR STORM SEWERS SHALL BE SDR-21 COMPLYING WITH THE REQUIREMENTS OF ASTM D-2241 WITH PUSH-ON GASKET JOINTS PER ASTM F477.
- ALL DRAINAGE FACILITIES WHICH ARE BROKEN OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL STATE, EXCEPT THAT ALL FIELD TILES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM WHERE NECESSARY FOR PROTECTION OF IMPROVEMENTS OR PREVENTION OF UPSTREAM FLOOD DAMAGE. THIS REQUIREMENT MAY BE WAIVED BY THE VILLAGE ENGINEER IF THE REPAIR OR CONNECTION WOULD SERVE NO USEFUL PURPOSE.

SANITARY SEWER NOTES

- "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION, THE VILLAGE SEWER USE ORDINANCE, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS, SHALL GOVERN THE MATERIALS, CONSTRUCTION AND TESTING OF SANITARY SEWERS.
- PIPE MATERIAL FOR SANITARY SEWERS SHALL BE EXTRA STRENGTH VITRIFIED CLAY PIPE IN ACCORDANCE WITH ASTM C-700, OR POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM D-3034 SDR-26, VITRIFIED CLAY PIPE JOINTS SHALL BE IN ACCORDANCE WITH ASTM C-425. PLAIN END VITRIFIED CLAY PIPE WITH PVC BELL MATERIAL SHALL BE IN ACCORDANCE WITH ASTM C-1784 AND FLEXIBLE GASKET MEETING ASTM C-425 SPECIFICATIONS. PVC PIPE JOINTS SHALL BE PUSH-ON FLEXIBLE ELASTOMERIC SEAL JOINTS IN ACCORDANCE WITH ASTM D-3212.
- WHERE REQUIRED FOR SEPARATION OR OTHER PURPOSES, DUCTILE IRON PIPE SHALL CONFORM TO AWWA C-151, AWWA-C150, AND ASTM A-746, THICKNESS CLASS 50, PRESSURE CLASS 350 PER AWWA C-150 WITH PUSH-ON RUBBER SEAL JOINTS, PER AWWA C-111 AND SHALL BE INSTALLED PER AWWA C-600. PIPE SHALL HAVE A BITUMINOUS COATED EXTERIOR PER AWWA C151 AND INSIDE LINED FOR SEWER USE PER ASTM A-746.
- DROP MANHOLE CONNECTIONS, INCLUDING SERVICE LINES, SHALL HAVE ONLY EXTERNAL DROP ASSEMBLIES UNLESS APPROVED BY THE VILLAGE ENGINEER.
- NEW CONNECTIONS TO EXISTING MANHOLES SHALL BE ANGLED IN THE DIRECTION OF FLOW, AND SHALL BE ACCOMPLISHED BY CORE DRILLING THROUGH THE WALL OF THE MANHOLE AND INSTALLING AN APPROPRIATELY SIZED CONNECTOR BOOT.
- ABIDE BY ANY CONDITION(S) OF ACCEPTANCE IMPOSED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
- ALL CLEAR WATER, INCLUDING THAT FROM ROOF LEADERS, YARD DRAINS, FOUNDATION DRAINS AND SUMP PUMPS, SHALL BE EXCLUDED FROM THE SANITARY SEWERS.
- THE ENGINEER SHALL BE PRESENT DURING CONSTRUCTION ACTIVITIES. ALL WORK SHALL BE SUBJECT TO OBSERVATION BY THE ENGINEER.
- BEDDING, HAUNCHING, INITIAL BACKFILL AND FINAL BACKFILL SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS AND SECTION 20 OF THE STANDARD SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE CONSTRUCTED WITH A MINIMUM OF 6 FEET OF COVER ABOVE THE TOP OF THE PIPE. IN ALL LOCATIONS WHERE THIS IS NOT POSSIBLE THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE MATERIAL OR ENCASED WITHIN 4 INCH THICKNESS CLASS "SI" PORTLAND CEMENT CONCRETE AS APPROVED BY THE VILLAGE ENGINEER.
- PROVIDE COMPACTED SELECTED GRANULAR MATERIAL FOR FINAL TRENCH BACKFILL WHEN THE INNER EDGE OF A TRENCH OR MANHOLE EXCAVATION IS WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT, CURB, OR SIDEWALK (BACKFILL METHOD 1). CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL MAY BE UTILIZED IN LIEU OF COMPACTED SELECTED GRANULAR MATERIAL FOR FINAL TRENCH BACKFILL.
- ALL TRENCH BACKFILL SHALL BE WATER JETTED AND/OR MECHANICALLY COMPACTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE STANDARD SPECIFICATIONS.
- ALL SANITARY SEWER MANHOLES SHALL HAVE A RIM ELEVATION 2 INCHES HIGHER THAN THE FINISHED GRADE OF THE SURROUNDING GROUND EXCEPT MANHOLES IN PAVEMENTS, WHICH SHALL MATCH SURROUNDING GRADE.
- PRE-BUILT MANHOLE BOTTOMS SHALL BE USED IN ALL CASES UNLESS AUTHORIZED BY THE VILLAGE ENGINEER. A RUBBER GASKET SHALL BE CAST INTO THE MANHOLE WHERE PIPES ENTER AND BETWEEN MANHOLE SECTIONS. THE INSIDE OF ALL JOINTS AND PIPE CONNECTIONS SHALL BE FILLED WITH MORTAR OR EXPANDING GROUT AND BRUSHED SMOOTH. THE OUTSIDE OF ALL JOINTS AND PIPE CONNECTIONS SHALL BE FILLED WITH MORTAR, BRUSHED SMOOTH AND A BITUMINOUS WATERPROOFING MATERIAL APPLIED.
- BREAK-IN CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY CORE DRILLING OR SAW-CUTTING INTO THE SIDE OF THE MANHOLE FOR PROPER INSERTION OF THE NEW PIPE. THE CONNECTION SHALL BE SEALED WITH AN EXPANDING MORTAR OR GROUT AND A BITUMINOUS WATERPROOFING MATERIAL SHALL BE COATED ON THE OUTSIDE OF THE CONNECTION. THE CONCRETE BOTTOM OF THE MANHOLE SHALL BE REMOVED SUFFICIENTLY TO SET THE NEW SEWER CONNECTION AT THE APPROPRIATE ELEVATION AND A NEW INVERT POURED.

SANITARY SEWER NOTES

- LEAKS TO EXISTING MANHOLES CAUSED BY CONSTRUCTION MUST BE REPAIRED.
- CASTING NUMBERS SHOWN REFER TO "NEENAH" CASTINGS. APPROVED EQUALS MAY BE USED.
- SERVICE SEWERS SHALL BE A MINIMUM OF 6 INCH DIAMETER. THE SLOPE OF ALL SERVICE SEWERS SHALL BE A MINIMUM OF 1.05%.
- WHERE THE SANITARY SEWER SERVICE LINE IS GREATER THAN 8 FEET BELOW FINISHED GRADE, A RISER SHALL BE INSTALLED TO BRING THE SERVICE LINE TO WITHIN 7 FEET OF THE FINISHED GRADE.
- ALL SANITARY SEWER MANHOLES SHALL HAVE NO LESS THAN 0.1 FOOT DROP IN INVERT ELEVATION FROM THE UPSTREAM TO THE DOWNSTREAM SEWER MAIN.
- THE INVERT OF ANY SERVICE CONNECTION MADE IN MANHOLES SHALL ENTER THE MANHOLE AT A POINT WHICH IS BETWEEN THE CENTERLINE AND THE TOP OF THE MAIN SEWER LINE IN THE MANHOLE, AND SHALL BE FILLETED TO MEET THE INVERT OF THE MAIN SEWER LINE. DROP STRUCTURES SHALL BE CONSTRUCTED WHERE INDICATED.
- A WYE CONNECTION TO THE EXISTING SANITARY SEWER SHALL BE MADE BY ONE OF THE METHODS INDICATED BELOW:
A) INSTALLATION AT A MANHOLE - WHERE NECESSARY, EXISTING FILLET SHALL BE REMOVED TO CREATE A SMOOTH FLOW CHANNEL.
B) USING PIPE CUTTER ONLY, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING. REMOVE BOTH HUB AND BELL ENDS, OR OTHER COMPRESSION COUPLINGS FROM THE WYE BRANCH FITTING TO BE INSERTED WITH NO MORE THAN A TOTAL OR ONE-HALF INCH (½") GAP. USE BAND-SEAL "MISSION" TYPE COUPLINGS, OR SIMILAR COUPLINGS, AND SHEAR RINGS AND CLAMPS TO FASTEN THE INSERTED FITTING AND HOLD IT FIRMLY IN PLACE. WORK SHALL BE ENCASED IN CLASS "SI" CONCRETE HAVING A MINIMUM THICKNESS OF FOUR INCHES (4") AND EXTENDING EIGHT INCHES (8") BEYOND THE LIMITS OF THE PIPE REMOVED.
- THE JOINTING OF DISSIMILAR PIPES SHALL BE ACCOMPLISHED BY USING APPROVED FABRICATED "MISSION" TYPE COUPLINGS AND CONCRETE ENCASEMENT 6 INCHES THICKNESS EXTENDING 1 FOOT ON EACH SIDE OF THE JOINT.
- A RECORD SHALL BE KEPT OF ACTUAL FIELD LOCATIONS FOR ALL SERVICE WYES BY MEASURING FROM THE CENTER OF THE NEAREST DOWNSTREAM MANHOLE. THE VILLAGE ENGINEER SHALL BE PROVIDED WITH THE RECORDED WYE LOCATIONS UPON COMPLETION OF CONSTRUCTION.
- ALL SERVICE WYES AND LATERAL LINES SHALL BE MARKED BY THE CONTRACTOR WITH BOTH A WOODEN LEADER 1 INCH X 2 INCH (MIN.) AND WITH A DETECTABLE UNDERGROUND MARKING TAPE, "LINEGUARD 11", OR APPROVED EQUAL. THE WOODEN LEADER SHALL EXTEND TO A MINIMUM OF 2 FEET ABOVE FINISHED GRADE.
- MAINTAIN MINIMUM HORIZONTAL/VERTICAL SEPARATION BETWEEN SANITARY SEWERS AND WATER MAINS AT ALL TIMES. MAINTAIN MINIMUM 10 FOOT HORIZONTAL SEPARATION AND 18 INCH VERTICAL SEPARATION PER SECTION 41-2.01 AND STANDARD DRAWINGS 18 THRU 24 OF THE STANDARD SPECIFICATIONS. UTILIZE WATER MAIN QUALITY PIPE FOR SANITARY SEWER WHEN REQUIRED FOR COMPLIANCE WITH SEPARATION REQUIREMENTS.
- ALL REACHES OF SANITARY SEWERS SHALL BE FULLY TESTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION" AND SHALL MEET THE MINIMUM REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION" AND SHALL BE CERTIFIED AS TO THE SAME AND BE APPROVED BY THE VILLAGE ENGINEER BEFORE ANY SERVICE LINES ARE CONNECTED. ONLY AIR-TEST PROCEDURES SHALL BE UTILIZED UNLESS PRIOR WRITTEN APPROVAL FROM THE VILLAGE ENGINEER IS OBTAINED AND UNLESS GROUND WATER LEVELS ARE MORE THAN 3.0 FEET ABOVE THE TOP OF PIPE. IN THIS SITUATION, TESTING OF SANITARY SEWERS SHALL BE BY THE INFILTRATION METHOD. MAXIMUM INFILTRATION RATE SHALL BE 200 GAL/DAY/INCH DIA./MILE. LOW-PRESSURE AIR METHOD AS PER ASTM C-828 SHALL BE USED IF THERE IS INSUFFICIENT WATER TABLE. LOW AIR PRESSURE METHOD MUST BE ADJUSTED FOR AMBIENT WATER TABLE. IF THE GROUND WATER TABLE AT THE DOWNSTREAM MANHOLE EXCEEDS 6 INCHES, A ½ DIAMETER NIPPLE WITH CAP SHALL BE PLACED AT THE TOP OF SEWER PIPE IN THE MANHOLE TO ASSIST IN DETERMINING THE AMBIENT WATER TABLE LEVEL. ALL SEGMENTS OF SANITARY SEWER SHALL BE LAMPED. ALL SEGMENTS OF PVC SANITARY SEWER PIPE SHALL BE MANDREL TESTED FOR DEFLECTION PER ASTM-3034 METHODOLOGY. A REPRESENTATIVE OF THE VILLAGE ENGINEER MUST BE PRESENT FOR ALL TESTING.
- ALL SANITARY SEWER SERVICE LATERAL TRENCHES UNDER PAVED SURFACES SHALL RECEIVE COMPACTED SELECTED GRANULAR MATERIAL (METHOD 1) FOR TRENCH BACKFILL OR CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL (METHOD 3).
- ALL SANITARY SEWER MANHOLES SHALL BE TESTED FOR LEAKAGE BY EITHER WATER TIGHTNESS PER ASTM C-969 OR VACUUM TESTED PER ASTM C-1244.
- THE OUTSIDE OF THE SIDEWALK OR PAVEMENT CURB SHALL BE MARKED WITH A PERMANENT "S" TO INDICATE THE LOCATION OF THE SERVICE LINE.
- PIPE COUPLINGS SHALL CONFORM TO THE APPLICABLE PORTIONS OF ASTM C-425, ASTM C-443, ASTM C-5864, ASTM C-1173 AND ASTM D-1869.
- ALL SANITARY SEWERS SHALL BE INSPECTED VIA A TELEVISION CAMERA SURVEY. A COPY OF THE SURVEY SHALL BE MADE AND PROVIDED TO THE VILLAGE ENGINEER. ANY DEFECTS NOTED DURING THE INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
- WHERE REQUIRED FOR SEPARATION OR OTHER PURPOSES PVC WATER MAIN QUALITY PIPE USED FOR SANITARY SEWERS SHALL BE SDR-21 COMPLYING WITH THE REQUIREMENTS OF ASTM D-2241 WITH PUSH-ON GASKET JOINTS PER ASTM F-477.

REV. #	REV. DATE:	REVISION MADE:
DATE:	04/28/21	SCALE: AS SHOWN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLТ
CHECKED BY:	CMO	
FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821		
GENERAL NOTES & SPECIFICATIONS		
ILLINOIS DESIGN FIRM NO. 184-003525		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C1.1

PORTLAND CEMENT CONCRETE PAVEMENT NOTES

- PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE CONCRETE PAVEMENT CONSTRUCTION NOTES AND DETAILS CONTAINED IN THESE PLANS.
- THE SUBGRADE FOR PAVEMENTS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 301 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- SEPARATE CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 606 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND TO THE REQUIREMENTS OF THE NOTES AND DETAILS CONTAINED IN THESE PLANS. SEPARATE PORTLAND CEMENT CONCRETE CURB AND GUTTER SHALL BE TIED TO THE ADJACENT PORTLAND CEMENT CONCRETE PAVEMENT BY A DOWELED CONSTRUCTION JOINT. THE DEPTH OF THE CURB AND GUTTER SHALL MATCH THE ADJACENT PAVEMENT. CURBS PLACED ADJACENT TO PORTLAND CEMENT CONCRETE PAVEMENTS SHALL HAVE CONTRACTION JOINTS PLACED ON FIFTEEN (15) FOOT MAXIMUM INTERVALS.
- PORTLAND CEMENT CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX, WITH FIVE PERCENT (5%) TO EIGHT PERCENT (8%) ENTRAINED AIR. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN FOURTEEN (14) DAYS OF 3,500 P.S.I. THE MAXIMUM SLUMP SHALL BE THREE (3) INCHES, FOR MACHINE PLACED PAVEMENT, 3½ INCHES FOR VIBRATORY SCREED PLACED PAVEMENT, AND FOUR (4) INCHES FOR SMALL AREAS (LESS THAN 25 SQ. FT.) OF HAND PLACED PAVEMENT. MINIMUM SLUMP SHALL BE TWO (2) INCHES. FAILURE TO MEET ANY OF THESE REQUIREMENTS SHALL BE CAUSE FOR REJECTION OF THE CONCRETE.
- PORTLAND CEMENT CONCRETE MIX DESIGN AND PRIOR TEST PERFORMANCE REPORTS FOR THE MIX DESIGN, SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR APPROVAL. APPROVAL OF THE MIX DESIGN DOES NOT RELIEVE THE CONTRACTOR OF HIS DUTY TO PROVIDE CONCRETE MEETING ALL APPLICABLE REQUIREMENTS.
- ALL STICKS, ROOTS, TOPSOIL, AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE SUBGRADE. ALL SPONGY AREAS IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH COMPACTED AGGREGATE OR CLAY MATERIAL SUITABLE TO THE ENGINEER.
- NEEDED FILL BENEATH PAVEMENTS SHALL BE CLAY FROM ON SITE SOURCES OR CRUSHED STONE AGGREGATE CONFORMING TO CA-6 OR CA-10 GRADATION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
- THE SUBGRADE SHALL BE MECHANICALLY COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR DENSITY. THE PAVEMENT SUBGRADE SHALL HAVE SUFFICIENT STABILITY TO ACCOMMODATE CONSTRUCTION TRAFFIC WITHOUT EXCESSIVE SUBGRADE RUTTING OR SHOIVING. AT THE TIME OF PLACEMENT OF PAVEMENT, THE IN-SITU SUBGRADE SHALL HAVE A CALIFORNIA BEARING RATIO (CBR) OF AT LEAST SIX (6) IN THE TOP TWELVE (12) INCHES OF SUBGRADE. THE CBR VALUE WILL BE ASCERTAINED BY USE OF THE DYNAMIC CONE PENETROMETER (DCP) WITH ONE TEST EVERY 100 FEET OF ROADWAY WITH TESTS ALTERNATING BETWEEN TRAFFIC LANES (EG TEST EACH LANE AT 200 FT. INTERVALS).
- AGGREGATE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 351 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS. THE AGGREGATE BASE COURSE SHALL BE CA-6 OR CA-10, CRUSHED AGGREGATE MATERIALS SHALL BE PLACED TO THE THICKNESS SHOWN IN THE PLANS. RECYCLED OR CRUSHED ASPHALT THAT HAS BEEN PROCESSED AND SCREENED AND WHICH MEETS CA-6 GRADUATION REQUIREMENTS MAY ALSO BE UTILIZED. THE AGGREGATE BASE SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE STANDARD PROCTOR DENSITY.
- THE SUBGRADE SHALL BE TEST ROLLED AND APPROVED IN ACCORDANCE WITH THE FOLLOWING PROCEDURE. TRUCKS SHALL BE LOADED AS FOLLOWS: 27,000 POUNDS ON TWO (2) AXLES OR 45,000 POUNDS ON THREE (3) AXLES WITH THE TOLERANCE NOT TO EXCEED TEN PERCENT (10%). THE TRUCK SHALL MAKE PARALLEL PASSES ALONG EACH LANE OF STREET OR PARKING SUBGRADE AT DISTANCES AS DIRECTED BY THE ENGINEER AND NOT TO EXCEED TEN (10) FEET APART. ANY AREAS WHICH SHOW RUTTING, CRACKING, OR ROLLING OF THE COMPACTED SUBGRADE UPON TEST ROLLING WILL NOT BE ACCEPTED. THE AREAS THAT FAIL SHALL BE RECONSTRUCTED AND TEST ROLLED AGAIN PRIOR TO ACCEPTANCE. THE VILLAGE ENGINEER SHALL BE PRESENT DURING PROOF ROLL TESTING.
- FORMS WHEN USED, SHALL BE SET TRUE TO LINE AND GRADE AND SHALL BE CHECKED BY THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE. GRADES ARE CRITICAL TO ENSURE PROPER DRAINAGE. IF THE ELEVATION OF ANY PORTLAND CEMENT CONCRETE IMPROVEMENT VARIES FROM THAT SHOWN ON THE PLANS OR STAKED BY THE ENGINEER BY MORE THAN FOUR-HUNDRETHS (0.04) OF A FOOT, OR IF AN AREA IS NOT PROPERLY DRAINED, THE CONTRACTOR SHALL REMOVE AND REPLACE SUFFICIENT PAVEMENT TO CORRECT THE DEFECT.
- THE PAVEMENT THICKNESS SPECIFIED OR SHOWN ON THE DRAWINGS SHALL BE THE MINIMUM ALLOWABLE. PAVEMENT WITH LESS THAN THE MINIMUM THICKNESS SHALL BE REMOVED AND REPLACED.
- NO MORE THAN ½ GALLON OF WATER FOR EVERY CUBIC YARD OF PORTLAND CEMENT CONCRETE MAY BE ADDED ON SITE.
- COAT FORM CONTACT SURFACES WITH FORM COATING COMPOUND BEFORE PLACING REINFORCEMENT OR TIE BARS. DO NOT ALLOW EXCESS FORM COATING MATERIAL TO ACCUMULATE IN THE FORMS OR COME INTO CONTACT WITH SURFACES WHICH WILL BE BONDED TO FRESH CONCRETE. APPLY IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS. COAT STEEL FORMS WITH NONSTAINING RUST PREVENTATIVE FORM OIL OTHERWISE PROTECT AGAINST RUSTING. RUST STAINED STEEL FORMWORK IS NOT ACCEPTABLE.
- MOISTEN THE SUBGRADE BEFORE PLACING CONCRETE PAVEMENTS.
- ALL CONCRETE USED FOR PAVEMENT CONSTRUCTION SHALL BE VIBRATED WITH A MECHANICAL CONCRETE VIBRATOR FOR CONSOLIDATION TO REMOVE VOIDS AND AIR POCKETS.
- PAVEMENTS AND CURBS WHICH ARE POURED AND DO NOT CONFORM TO ALL REQUIREMENTS OF THESE SPECIFICATIONS WILL BE REJECTED.

PORTLAND CEMENT CONCRETE PAVEMENT NOTES

- NEW PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE JOINED TO EXISTING PAVEMENTS WITH 30 INCH LONG STEEL NUMBER FOUR (4) REBAR AT 30 INCH CENTERS, DRILLED NINE (9) INCHES AND EPOXY GROUTED INTO THE EXISTING PAVEMENT. EPOXY GROUTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 584 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- ISOLATION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. ISOLATION JOINTS MAY BE LOCATED BETWEEN A NEW PAVEMENT AND EXISTING PAVEMENT, CURB OR OTHER STRUCTURES AS SHOWN ON THE PLANS. ISOLATION JOINTS SHALL BE CONSTRUCTED OF ¾ INCH EXPANSION MATERIAL WITH ½ INCH THICKNESS JOINT SEALANT.
- EXPANSION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED AT THE LOCATIONS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE CONSTRUCTED OF ¾ INCH EXPANSION MATERIAL PLACED FULL DEPTH THROUGH THE PAVEMENT AND DEPRESSED ¾ INCH FROM THE SURFACE WITH EIGHTEEN (18) INCH LONG DOWELS ON TWELVE (12) INCH CENTERS PLACED AT MID-DEPTH IN THE PAVEMENT. DOWEL CAPS SHALL BE PROVIDED ON ONE END OF THE DOWEL AND THE DOWELS SHALL BE COATED WITH AN APPROVED HEAVY GREASE. IN THE SPACE ABOVE THE EXPANSION MATERIAL, THE JOINT SHALL BE FILLED WITH JOINT SEALANT.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AND LOCATED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. CONSTRUCTION JOINTS SHALL BE USED BETWEEN POURS. NUMBER FOUR (4) REBARS, THIRTY (30) INCHES LONG ON THIRTY (30) INCH CENTERS SHALL BE PLACED AT MID-DEPTH OF THE PAVEMENT. THE CONCRETE POURS SHALL BE EDGED TO MATCH A ONE (1) INCH DEEP JOINTER AND FILLED WITH JOINT SEALANT OR SHALL BE SAWEED TWO (2) INCHES DEEP OR AS INDICATED ON THE APPROPRIATE DETAIL AND FILLED WITH JOINT SEALANT.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED AND LOCATED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. CONTRACTION JOINTS SHALL BE TWO (2) INCH DEEP SAWCUTS OR HAND TOOLED JOINTS MADE WITH AN ONE (1) INCH DEEP JOINTER. THE JOINTS SHALL BE FILLED WITH JOINT SEALANT.
- CONVENTIONAL SAWCUTS SHALL BE MADE WITHIN TEN (10) HOURS OF THE PLACEMENT OF THE CONCRETE. THE DEVELOPER'S ENGINEER SHALL PROVIDE WRITTEN DOCUMENTATION TO THE VILLAGE ENGINEER AS TO THE TIMING OF PAVEMENT SAW CUTTING. SEE THE TABLE FOR OPTIMAL SAWCUT TIMING.
- AS AN ALTERNATIVE TO CONVENTIONAL SAW CUTTING, CONTRACTION AND CONSTRUCTION JOINTS MAY BE "SOFF-CUT" AS SOON AS THE CONCRETE HAS HARDENED ENOUGH TO WALK ON. THIS SHALL BE DONE WITH A "SOFF-CUT" SAW AS MANUFACTURED BY SOFF-CUT INTERNATIONAL, INCORPORATION. FOR PAVEMENTS UP TO NINE (9) INCHES IN THICKNESS A MINIMUM OF ONE (1) INCH DEPTH SAWCUT SHALL BE MADE. FOR PAVEMENTS GREATER THAN NINE (9) INCHES IN THICKNESS A MINIMUM ½ DEPTH SAWCUT SHALL BE REQUIRED.
- DOWEL BARS SHALL BE PLAIN ROUND BILLET-STEEL BARS MEETING THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR BILLET-STEEL CONCRETE REINFORCEMENT BARS", ASTM DESIGNATION A-15. THE FINISHED BARS SHALL BE FREE FROM BURRS OR OUT OF ROUND ENDS WHICH WOULD PREVENT EASY SLIPPAGE IN THE DOWEL BAR CAPS.
- JOINT SEALANT SHALL BE HOT-POURED TYPE PAF-3 COMPLYING WITH SECTION 1050.02 OF THE STANDARD SPECIFICATIONS. JOINTS SHALL BE SEALED TO WITHIN ONE-EIGHTH (⅛) INCH OF THE SURFACE.
- CONCRETE POURS SHALL BE ENDED AT CONSTRUCTION, ISOLATION, EXPANSION, OR CONTRACTION JOINTS AS INDICATED ON THE PLANS. PARTIAL SLABS SHALL NOT BE ALLOWED. FOR POURS ENDED AT CONTRACTION JOINTS THE JOINT SHALL BE CONSTRUCTED AS A CONSTRUCTION JOINT.
- ALL CASTINGS IN PAVEMENT AREAS SHALL BE ADJUSTED FLUSH WITH THE PROPOSED PAVEMENT SURFACE ELEVATION. STORM SEWER MANHOLE AND INLET CASTINGS IN THE PAVEMENT GUTTERS SHALL BE DEPRESSED ONE-HALF (½) INCH TO ONE (1) INCH OR AS APPROPRIATE TO AID IN DIRECTING RUNOFF INTO THE CASTING. THE CONCRETE PAVEMENT ADJACENT TO ALL CASTINGS SHALL BE EDGED WITH A ONE-QUARTER (¼) INCH RADIUS EDGER.
- PAVEMENT SHALL BE FINISHED WITH A FINISHING MACHINE APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE MACHINE SHALL BE SELF-PROPELLED, CAPABLE OF STRIKING OFF, CONSOLIDATING, AND FINISHING THE CONCRETE OF THE CONSISTENCY REQUIRED TO THE PROPER CROWN AND GRADE, OR OTHER METHOD APPROVED BY THE VILLAGE ENGINEER.
- WATER SHALL NOT BE ADDED TO THE SURFACE OF THE CONCRETE FOR FINISHING PURPOSES. PAVEMENTS SHALL HAVE A HEAVY BROOMED FINISH TRANSVERSE TO THE DIRECTION OF TRAVEL.
- A PROTECTIVE COAT SHALL APPLIED TO ALL CONCRETE PAVEMENTS WITHIN PUBLIC RIGHT OF WAY IN ACCORDANCE WITH SECTION 420.18 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" INCLUDING CONCRETE PAVEMENTS CONSTRUCTED PRIOR TO NOVEMBER 1. A PROTECTIVE COAT SHALL BE APPLIED TO ALL OTHER CONCRETE PAVEMENTS IN ACCORDANCE WITH SECTION 420.18 OF THE STANDARD SPECIFICATIONS.
- VIBRATING SCREEDS SHALL NOT RUN ON THE EDGE OF NEW PAVEMENTS UNTIL CONCRETE HAS CURED AT LEAST 72 HOURS.
- ALL BACK OF CURBS, GUTTER EDGES, ENDS OF PAVEMENT SLABS AND PAVEMENTS THAT ABUT BITUMINOUS EXPANSION MATERIAL OR FORMS SHALL BE EDGED WITH A ONE-QUARTER (¼) INCH RADIUS EDGER. CONCRETE THAT ABUTS OTHER PAVEMENT OR IS "SLIP FORMED" WITHOUT THE USE OF FORMS NEED NOT BE EDGED.
- PAVEMENTS AND CURBS SHALL BE CURED USING POLYETHYLENE FILM OR A CURING COMPOUND APPLIED UNIFORMLY TO ALL EXPOSED SURFACES INCLUDING THE BACK OF CURBS DURING SLIP FORMING. PAVEMENTS SHALL BE PROTECTED FROM HOT AND COLD WEATHER WHEN WARRANTED BY WEATHER CONDITIONS IN ACCORDANCE WITH ARTICLE 1020.13 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND AS DIRECTED BY THE ENGINEER.
- WHEN CURING COMPOUND IS UTILIZED IT SHALL BE APPLIED WITHIN 30 MINUTES OF SURFACE FINISHING.
- PROTECT EXISTING PORTLAND CEMENT CONCRETE SURFACES FROM DAMAGE IMMEDIATELY AFTER BEING POURED AND DURING THE CONSTRUCTION OPERATIONS. EXISTING CONCRETE AND NEW CONCRETE DAMAGED BY CONSTRUCTION OPERATIONS OR BY DEFACING THE CONCRETE SURFACE BEFORE FINAL SET SHALL BE REPLACED.


PORTLAND CEMENT CONCRETE PAVEMENT NOTES

- FORMS SHALL NOT BE REMOVED FOR 24 HOURS AFTER CONCRETE PLACEMENT. CARE SHOULD BE EXERCISED WHEN REMOVING THE FORMS SO CONCRETE EDGES ARE NOT CRACKED OR DAMAGED. AFTER FORMS ARE REMOVED, ALL VISIBLE VOIDS AND HONEYCOMBS OF ONE-HALF (½) INCH IN DIAMETER OR LARGER SHALL BE FILLED IN WITH MORTAR OR GROUT AND BRUSHED SMOOTH IMMEDIATELY AFTER FORM REMOVAL.
 - TRAFFIC, INCLUDING CONSTRUCTION EQUIPMENT, SHALL NOT BE ALLOWED ON PAVEMENTS FOR AT LEAST SEVEN (7) DAYS.
 - THE AREA ADJACENT TO THE PAVEMENT SHALL BE CLEANED UP, BACKFILLED, AND GRADED AS SOON AS POSSIBLE AFTER PAVEMENT CONSTRUCTION.
 - ODD SHAPED SLABS AT INTERSECTIONS AND SLABS CONTAINING CATCH BASINS SHALL BE REINFORCED WITH WELDED WIRE FABRIC WHICH MEETS THE REQUIREMENTS OF ARTICLE 1006.10 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND AS SHOWN ON THE DETAILS. THE WELDED WIRE FABRIC SHALL BE IN SHEETS AND NOT ROLLS.
 - AREAS OF SUBGRADE THAT ARE CHANGED BY MORE THAN 3 INCHES, SUBJECT TO A FREEZE-THAW CYCLE, OR SUBJECT TO SIGNIFICANT RAINFALL MUST BE RETESTED FOR COMPACTION.
 - ANY AREAS OF STREET SUBGRADE WHICH FAIL TO MEET OR EXCEED COMPACTION REQUIREMENTS SHALL BE REMEDIATED TO ACHIEVE THE REQUIRED STABILITY. ALL REMEDIATED AREAS SHALL BE FULLY RETESTED.
 - SEE THE VILLAGE OF MAHOMET ADMINISTRATIVE RULES FOR WEATHER REQUIREMENTS RELATED TO PORTLAND CEMENT CONCRETE PAVEMENT PLACEMENT AND SAW CUTTING. DO NOT PLACE PORTLAND CEMENT CONCRETE WHEN THE EVAPORATION RATE IS EXPECTED TO EXCEED 0.15 POUNDS/SQ. FT./HOUR.
 - REAPPLY CURING COMPOUND TO ALL SAW JOINTS WITHIN ½ HOUR OF JOINT SAWING.
- PORTLAND CEMENT CONCRETE CURB NOTES**
- CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 606 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE REQUIREMENTS OF NOTES AND DETAILS CONTAINED IN THESE PLANS.
 - PORTLAND CEMENT CONCRETE FOR CURB CONSTRUCTION SHALL BE A MINIMUM OF SIX (6) BAG MIX, WITH 5 PERCENT (5%) TO 8 PERCENT (8%) ENTRAINED AIR. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN SEVEN (7) DAYS OF 3,500 P.S.I. THE MAXIMUM SLUMP SHALL BE THREE (3) INCHES.
 - CONTRACTOR SHALL SUBMIT THE PORTLAND CEMENT CONCRETE CURB MIX DESIGN TO THE VILLAGE ENGINEER FOR APPROVAL. THE MIX SHALL BE IDOT APPROVED. FAILURE TO MEET THE SPECIFICATIONS SHALL BE CAUSE TO REJECT THE CURB AND GUTTER AND REQUIRE REMOVAL AND REPLACEMENT.
 - THE SPECIFIED CURB AND GUTTER MAY BE POURED MONOLITHICALLY WITH PORTLAND CEMENT CONCRETE PAVEMENTS IN A SLIPFORM OPERATION. WHEN NOT POURED MONOLITHICALLY CONNECT THE CURB AND GUTTER TO THE PORTLAND CEMENT CONCRETE PAVEMENT WITH A DOWELED CONSTRUCTION JOINT. THE DEPTH OF THE CURB AND GUTTER SHALL MATCH THE ADJACENT PAVEMENT.
 - ALL STICKS, ROOTS, TOPSOIL AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE SUBGRADE. THE SUBGRADE SHALL BE MECHANICALLY COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR DENSITY. ALL DEFICIENT AREAS IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH COMPACTED AGGREGATE OR CLAY MATERIAL SUITABLE TO THE ENGINEER.
 - FORMS, STRING AND LASER GRADE CONTROL SHALL BE SET TRUE TO LINE AND GRADE INDICATED ON THE PLANS AND SHALL BE CHECKED BY THE ENGINEER PRIOR TO PLACEMENT OF ANY PORTLAND CEMENT CONCRETE.
 - COAT FORM CONTACT SURFACES WITH FORM-COATING COMPOUND BEFORE PLACING REINFORCEMENT OR TIE BARS. DO NOT ALLOW EXCESS FORM-COATING MATERIAL TO ACCUMULATE IN THE FORMS OR COME IN CONTACT WITH SURFACES WHICH WILL BE BONDED TO FRESH CONCRETE. APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COAT STEEL FORMS WITH NON-STAINING RUST PREVENTATIVE FORM OIL OR OTHERWISE PROTECT AGAINST RUSTING. RUST STAINED STEEL FORM WORK IS NOT ACCEPTABLE.
 - ISOLATION JOINTS, EXPANSION JOINTS, CONSTRUCTION JOINTS, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN IN THE PLANS AND IN ACCORDANCE WITH THE DETAILS FOR EACH JOINT TYPE.
 - EXPANSION JOINTS AND ISOLATION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED AT THE LOCATIONS INDICATED ON THE PLANS AND AT ALL CHANGES IN CURB DIRECTION, POINTS OF CURVATURE AND POINTS OF TANGENCY. EXPANSION JOINTS SHALL BE CONSTRUCTED OF ¾ INCH EXPANSION MATERIAL PLACED FULL DEPTH THROUGH THE PAVEMENT AND DEPRESSED ¾ INCHES FROM THE SURFACE WITH 12 INCH LONG DOWELS ON 12 INCH CENTERS PLACED AT MID-DEPTH IN THE PORTLAND CEMENT CONCRETE PAVEMENT. DOWEL CAPS SHALL BE PROVIDED ON ONE END OF THE DOWEL AND COATED WITH AN APPROVED HEAVY GREASE. ABOVE THE EXPANSION MATERIAL, THE JOINT SHALL BE FILLED WITH AN APPROVED JOINT SEALANT. EXPANSION MATERIAL SHALL BE PRE-FORMED BITUMINOUS IMPREGNATED FIBER BOARD OF THE INDICATED THICKNESS AND SHALL CONFORM TO THE CURB CROSS SECTION WITH A ¾ INCH DEPRESSION WITH BACKER ROD OR BOND BREAKER AT THE SURFACE FOR JOINT SEALANT. ISOLATION JOINTS SHALL BE CONSTRUCTED AS EXPANSION JOINTS EXCEPT WITHOUT DOWELS.
 - DOWEL BARS SHALL BE PLAIN ROUND BILLET-STEEL BARS MEETING THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR BILLET-STEEL CONCRETE REINFORCEMENT BAR", ASTM DESIGNATION A-15. THE FINISHED BARS SHALL BE FREE FROM BURRS OR OUT-OF-ROUND ENDS WHICH WOULD PREVENT EASY SLIPPAGE IN THE DOWEL CAPS. ALL EXPOSED BAR SURFACE OUTSIDE OF THE CAP ON THE SLIPPAGE SIDE SHALL BE FULLY COATED WITH GREASE.
 - CONTRACTION JOINTS SHALL BE CONSTRUCTED AND LOCATED IN ACCORDANCE WITH THE NOTES AND DETAILS SHOWN IN THE PLANS. CURB TRANSVERSE JOINTS (CONTRACTION JOINTS) SHALL BE PLACED AT A MAXIMUM OF 20 FOOT INTERVALS FOR ADJACENT BITUMINOUS PAVEMENT OR SHALL BE PLACED TO COINCIDE WITH ADJACENT PORTLAND CEMENT CONCRETE PAVEMENT JOINTS AND NOT EXCEEDING A MAXIMUM OF 15 FOOT INTERVALS. CONTRACTION JOINTS SHALL BE 2 INCH DEEP SAWCUTS MADE WITH A ¼ INCH WIDE CONVENTIONAL BLADE WITHIN EIGHT (8) HOURS OF CONCRETE PLACEMENT.

PORTLAND CEMENT CONCRETE CURB NOTES

- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN IN THE PLANS AND SHALL BE LOCATED COINCIDENT WITH PLANNED LOCATIONS OF CONTRACTION JOINTS. PARTIAL SLABS WILL NOT BE ALLOWED. CONSTRUCTION JOINTS SHALL BE USED BETWEEN ADJACENT POURS. NUMBER 4 REBAR, 30 INCHES LONG ON 30 INCH CENTERS SHALL BE PLACED AT MID-DEPTH OF THE PAVEMENT. THE CONCRETE POURS SHALL EACH BE EDGED TO MATCH A 1 INCH DEEP JOINTER OR SHALL BE SAWEED WITH A ¼ INCH WIDE CONVENTIONAL BLADE WITHIN EIGHT (8) HOURS OF PLACEMENT OF ADJACENT POUR. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH AN APPROVED JOINT SEALANT.
- CONTRACTOR SHALL MOISTEN THE SUBGRADE BEFORE PLACING CONCRETE.
- ALL CONCRETE USED FOR CURB CONSTRUCTION SHALL BE MECHANICALLY VIBRATED AT TIME OF PLACEMENT FOR CONSOLIDATION AND TO REMOVE VOIDS AND AIR POCKETS.
- CURBS SHALL BE CONSTRUCTED USING A CURB FORM OR MULE OF THE REQUIRED CROSS SECTION. HAND FORMED (DARBYING) CURB WILL NOT BE ACCEPTED.
- ALL BACK OF CURBS, GUTTER EDGES, END OF CURBS THAT ABUT BITUMINOUS EXPANSION MATERIAL OR FORMS SHALL BE EDGED WITH A ¼ INCH RADIUS EDGER. CONCRETE THAT ABUTS OTHER CURB OR IS "SLIP-FORMED" WITHOUT THE USE OF FORMS NEED NOT BE EDGED.
- WATER SHALL NOT BE ADDED TO THE SURFACE OF THE CONCRETE FOR FINISHING PURPOSES.
- CURBS SHALL HAVE A HEAVY BROOMED FINISH PARALLEL TO THE DIRECTION OF GUTTER FLOW.
- CURBS SHALL BE CURED USING POLYETHYLENE FILM OR AN APPROVED CURING COMPOUND APPLIED UNIFORMLY TO ALL EXPOSED CURB SURFACES, INCLUDING THE BACK OF CURB DURING SLIP FORMING. CURBS SHALL BE PROVIDED WITH HOT OR COLD WEATHER PROTECTION WHEN WARRANTED BY WEATHER CONDITIONS AND AS DIRECTED BY THE ENGINEER.
- WHEN CURING COMPOUND IS UTILIZED IT SHALL BE APPLIED WITHIN 30 MINUTES OF CONCRETE PLACEMENT.
- FORMS SHALL NOT BE REMOVED FOR 24 HOURS. CARE SHALL BE EXERCISED WHEN REMOVING FORMS SO CONCRETE EDGES ARE NOT CRACKED, CHIPPED OR DAMAGED. AFTER FORMS ARE REMOVED, ALL VISIBLE VOIDS AND HONEYCOMBS ¾ INCH IN DIAMETER OR LARGER SHALL BE FILLED IN WITH MORTAR OR GROUT AND BRUSHED SMOOTH IMMEDIATELY AFTER FORM REMOVAL.
- PROTECT EXISTING PORTLAND CEMENT CONCRETE AND BITUMINOUS SURFACES FROM DAMAGE DURING CONSTRUCTION OPERATIONS. TRAFFIC, INCLUDING CONSTRUCTION EQUIPMENT, SHALL NOT BE ALLOWED TO OPERATE ATOP OR OVER CURBS. VIBRATING SCREEDS SHALL NOT RUN ON THE EDGE OF NEW CURBS UNTIL CONCRETE HAS CURED AT LEAST 72 HOURS.
- AT THE TIME THAT CURB AND GUTTER IS POURED THE TOP OF THE CURB SHALL BE MARKED WITH AN "S" FOR SEWER AND A "W" FOR WATER TO INDICATE THE APPROXIMATE LOCATIONS OF THE SANITARY SEWER AND PUBLIC WATER SERVICE LINES EXTENDED TO EACH LOT.
- CURBS WHICH ARE POURED AND DO NOT CONFORM TO ALL REQUIREMENTS OF THESE SPECIFICATIONS WILL BE REJECTED.
- CONVENTIONAL SAWCUTS SHALL BE MADE WITHIN EIGHT (8) HOURS OF PLACEMENT OF THE CONCRETE. SEE APPLICABLE ADMINISTRATIVE RULE FOR SAWCUT TIMING.

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REV. #	REV. DATE:	REVISION MADE:			
DATE:	04/28/21	SCALE: AS SHOWN	ILLINOIS	IDWA	WISCONSIN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLТ	 FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821		
CHECKED BY:	CMO				
GENERAL NOTES & SPECIFICATIONS			ILLINOIS DESIGN FIRM NO. 184-003525		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS			JOB # 21-344 SHEET C1.2		

WATER MAIN NOTES


1. ALL WATER MAIN MATERIALS, CONSTRUCTION, STERILIZATION, AND TESTING SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, SHALL COMPLY WITH THE PROVISIONS OF AWWA C600 AND AWWA C651, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
2. ABIDE BY ANY CONDITION(S) OF ACCEPTANCE IMPOSED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY OR THE MUNICIPAL AGENCY TO WHICH THE WATER MAIN IS CONNECTED. NO WATER MAIN SHALL BE PLACED INTO SERVICE UNTIL LABORATORY TESTS REVEAL THAT THE WATER MAIN HAS BEEN PROPERLY STERILIZED.
3. ALL MATERIAL INCORPORATED INTO THE PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. WATER MAIN SHALL BE DUCTILE IRON PIPE THICKNESS CLASS 50, PRESSURE CLASS 350, CEMENT LINED INSIDE AND OUTSIDE COATED (ANSI A21.4 AWWA C151 AND C104), WITH RUBBER GASKETED PUSH ON JOINTS MEETING (ANSI A21.11 AWWA C111). WHERE INDICATED ON PLANS MECHANICAL JOINT OR RESTRAINED JOINT (ANSI A2.11 AWWA C111) SHALL BE INSTALLED. PIPE SHALL BE NSF CERTIFIED.
5. FITTINGS FOR DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 DUCTILE IRON CEMENT LINED INSIDE AND OUTSIDE COATED MECHANICAL JOINT STANDARD BODY (ANSI A21.53 AWWA C153). FITTINGS IN ACCORDANCE WITH THE ABOVE NOTED ANSI/AWWA REQUIREMENTS. RUBBER GASKETED PUSH ON JOINTS MAY BE UTILIZED FOR FITTINGS ONLY WHERE NOTED ON THE PLANS.
6. VALVES SHALL BE 200 PSI RATED IRON BODY RESILIENT SEAL GATE VALVES COMPLYING WITH AWWA C509 WITH INTERIOR FERROUS SURFACE EPOXY COATED (MINIMUM 8 MILLIMETER THICKNESS) INTERIOR SURFACES PER AWWA C-550 AND SHALL BE NSF CERTIFIED. GATE VALVES SHALL HAVE A 2 INCH OPERATING NUT, O-RING SEAL, VERTICAL NON-RISING BRONZE STEM, AND SHALL OPEN BY TURNING COUNTER-CLOCKWISE. VALVE SHALL BE DESIGNED FOR 200 PSI WATER WORKING PRESSURE AND 400 PSI TEST PRESSURE WITH MECHANICAL JOINT ENDS.
7. VALVE BOXES SHALL BE 3/8 INCHES MINIMUM THICKNESS CAST IRON WITH 5/8 INCH DIAMETER MINIMUM SHAFT. PLASTIC CENTERING INSERTS SHALL BE PROVIDED FOR ALL VALVE BOXES. VALVE BOXES SHALL BE ADJUSTABLE SCREW TYPE, AND CONSIST OF A BASE, BOTTOM SECTION, TOP SECTION, AND LID. A VALVE BOX SHALL BE PROVIDED FOR EVERY VALVE, CENTERED OVER THE OPERATING NUT OF THE VALVE.
8. ALL SERVICE PIPES SHALL BE COPPER WATER TUBE SIZE POLYETHYLENE TUBING SDR-9, MINIMUM 1 INCH DIAMETER, FOR UNDERGROUND SERVICE, CONFORMING TO ASTM B 2737. THE PIPE SHALL BE MARKED WITH THE MANUFACTURER'S NAME OR TRADEMARK AND MARK INDICATIVE OF THE TYPE OF PIPE. HORIZONTAL AND VERTICAL LOCATION MEASUREMENTS SHALL BE PROVIDED TO THE VILLAGE ENGINEER.
9. THE DEVELOPER'S ENGINEER SHALL RECORD ALL ACTUAL FIELD LOCATIONS FOR ALL SERVICE TAPS. THE VILLAGE ENGINEER SHALL BE PROVIDED WITH THE RECORDED SERVICE TAP LOCATIONS UPON COMPLETION OF CONSTRUCTION.
10. CASTING NUMBERS REFER TO "NEENAH" CASTINGS. APPROVED EQUALS MAY BE USED.
11. PIPE SHALL BE LAID WITH A MAXIMUM DEFLECTION ANGLE OF 3 DEGREES. ALL JOINTS SHALL BE PROPERLY LUBRICATED AND SEATED.
12. ALL PLUGS, CAPS, TEES, AND BENDS, AND FITTINGS DEFLECTING 22.5 DEGREES OR MORE ON MAINS SHALL BE PROVIDED WITH A REACTION BACKING. THE REACTION BACKING SHOULD BE CONCRETE OF A MIX HAVING A COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI AT 28 DAYS. BACKING SHALL BE PLACED BETWEEN SOLID GROUND AND THE FITTING TO BE ANCHORED. THE ANGLE OF BEARING ON THE PIPE AND ON THE GROUND IN EACH INSTANCE SHALL BE SHOWN ON THE PLANS.
13. ALL BOLTS, TIE RODS, CLAMPS AND OTHER METAL COMPONENTS SHALL BE PROVIDED WITH A HAND APPLICATION OF BITUMINOUS MASTIC MATERIAL.
14. MAINTAIN MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER AT ALL TIMES. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION AND 18 INCH VERTICAL SEPARATION PER SECTION 41-2.01 AND STANDARD DRAWINGS 18 THROUGH 24 OF THE STANDARD SPECIFICATIONS. UTILIZE SECONDARY CASING WHEN REQUIRED FOR COMPLIANCE WITH SEPARATION REQUIREMENTS.
15. MINIMUM COVER SHALL BE 45 INCHES FOR WATER MAINS AND 45 INCHES FOR SERVICES. DEPTH SHALL BE VARIED AS NECESSARY TO ACCOMMODATE CROSSINGS WITH OTHER UTILITIES. MAXIMUM COVER SHALL BE 60 INCHES. AS BUILT DEPTH AND HORIZONTAL MEASUREMENTS SHALL BE TAKEN AT MINIMUM 200 FOOT INTERVALS TO VERIFY INSTALLED DEPTH AND HORIZONTAL LOCATION AND PROVIDED TO THE VILLAGE ENGINEER. DEPTH SHALL BE DETERMINED TO PROPOSED FINISH GRADE.
16. BEDDING, HAUNCHING, INITIAL BACKFILL AND FINAL BACKFILL SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS, THE DETAILS IN THESE PLANS, AND SECTIONS 20-2.20 AND 20-2.21 OF THE STANDARD SPECIFICATIONS.
17. COORDINATE ALL CONNECTIONS TO EXISTING WATER MAINS WITH VILLAGE OF MAHOMET STAFF.
18. ALL WATER SERVICE TRENCHES SHALL BE A MAXIMUM OF 6 INCHES IN WIDTH.
19. ALL WATER MAIN AND WATER SERVICE TRENCHES UNDER PAVED SURFACES SHALL RECEIVE COMPACTED SELECTED GRANULAR MATERIAL FOR TRENCH BACKFILL (METHOD 1) OR CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL BACKFILL (METHOD 3).
20. WATER MAINS SHALL BE PRESSURE TESTED FOR NOT LESS THAN 2 HOURS, AND LEAKAGE TESTED FOR NOT LESS THAN 1 HOUR. MINIMUM TEST PRESSURE SHALL BE 100 PSI. TESTING SHALL BE OBSERVED BY THE VILLAGE ENGINEER. PRESSURE AND LEAKAGE TESTS SHALL NOT BE COMBINED. ALL SEGMENTS OF WATER MAIN SHALL BE SEPARATELY TESTED.
21. ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651. NO WATER MAIN SHALL BE PLACED INTO SERVICE UNTIL LABORATORY TESTS UPON WATER SAMPLES TAKEN BY VILLAGE STAFF CONFIRM THAT DISINFECTION HAS BEEN SATISFACTORY.

22. RESTRAINED JOINT PIPE SHALL BE DUCTILE IRON MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C151 ANSI (A21.51) PUSH-ON JOINTS FOR SUCH PIPE SHALL BE IN ACCORDANCE WITH AWWA C111 (ANSI A21.11). FOR SIZES UP TO AND INCLUDING 18 INCH NOMINAL DIAMETER, PIPE SHALL BE MINIMUM THICKNESS CLASS 50. PIPE SHALL BE STANDARD PUSH-ON JOINT PIPE, U.S. PIPE TR FLEX PIPE, AMERICAN FLEX-RING PIPE, OR EQUAL. RESTRAINT FOR PUSH-ON JOINT PIPE SHALL CONSIST OF FIELD-LOK GASKETS OR APPROVED EQUAL. RETAINER GLANDS OF ANY STYLE ARE NOT ACCEPTABLE FOR PIPE TO PIPE JOINTS.
23. RESTRAINED JOINT FITTINGS SHALL BE DUCTILE IRON IN ACCORDANCE WITH AWWA C153 (ANSI A21.53) OR AWWA C110 (ANSI A21.10) AND SHALL CONFORM TO THE DETAILS AND DIMENSIONS SHOWN THEREIN WITH THE EXCEPTION OF THE MANUFACTURER'S PROPRIETARY DESIGN DIMENSIONS AND THICKNESSES. ALL FITTINGS SHALL HAVE MECHANICAL JOINTS MEETING THE REQUIREMENTS OF AWWA C111 (ANSI A21.11).
24. LINING FOR PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH AWWA C104. BITUMINOUS OUTSIDE COATING SHALL BE IN ACCORDANCE WITH AWWA C151 (ANSI A21.51) FOR PIPE AND AWWA C110 (ANSI A21.10) FOR FITTINGS.
25. RESTRAINED PUSH-ON JOINTS FOR PIPE AND FITTINGS SHALL BE DESIGNED FOR WATER OPERATING PRESSURE OF 350 POUNDS PER SQUARE INCH IN SIZES FOUR (4) INCHES THROUGH TWENTY-FOUR (24) INCHES.
26. FIELD FABRICATED RESTRAINED JOINTS FOR PIPE TO FITTING JOINTS SHALL UTILIZE MEGA-LUG, MJ FIELD LOK, OR APPROVED EQUAL. ALL OTHER JOINTS SHALL BE FABRICATED AT THE PLACE OF MANUFACTURE ONLY.
27. PROVIDE JOINT RESTRAINT FOR THE LAST 40 FEET OF A DEAD END WATER MAIN.
28. DUCTILE IRON PIPE WATER SERVICES SHALL BE DUCTILE IRON PIPE THICKNESS CLASS 50, PRESSURE CLASS 350, CEMENT LINED INSIDE AND OUTSIDE COATED (ANSI A21.4 AWWA C151 AND C104), WITH RUBBER GASKETED PUSH ON JOINTS MEETING (ANSI A21.11 AWWA C111). WHERE INDICATED ON PLANS MECHANICAL JOINT (ANSI A2.11 AWWA C111) SHALL BE INSTALLED. PIPE SHALL BE NSF CERTIFIED.
29. WATER MAINS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH AWWA C-600.
30. FIRE HYDRANTS SHALL BE MECHANICAL JOINT BELL, DRY BARREL, STANDARD COMPRESSION, TWO-PIECE STANDPIPE, BREAK-AWAY DESIGN, FIVE (5) INCH VALVE OPENING, WITH TWO (2) TWO-AND-A-HALF (2 1/2) INCH NOZZLES AND ONE (1) FOUR-AND-A-HALF (4 1/2) INCH NOZZLE, CONFORMING TO AWWA STANDARD C502, MANUFACTURED BY MUELLER OR U.S. PIPE. FIRE HYDRANTS SHALL BE PAINTED RED. OUTLETS SHALL HAVE NATIONAL STANDARD THREADS. FIRE HYDRANTS SHALL BE DESIGNED FOR NOT LESS THAN 150 PSI WORKING PRESSURE, AND SHALL OPEN COUNTERCLOCKWISE. THE INLET SHALL BE A MINIMUM SIX (6) INCHES IN DIAMETER.
31. SERVICE BOXES SHALL BE OF THE BEST QUALITY CAST IRON, WITH THE BASE OF AMPLE SIZE TO COMPLETELY HOUSE THE SERVICE STOP, AND OF SUCH CONSTRUCTION THAT IT SHALL BE CAPABLE OF EXTENSION FROM A MINIMUM OF THREE (3) FEET, SIX (6) INCHES IN LENGTH, TO A MAXIMUM OF SIX (6) FEET, SIX (6) INCHES IN LENGTH. BOXES SHALL BE 2-1/2 INCHES IN DIAMETER FOR STOPS 1-1/4 INCHES AND SMALLER, AND SHALL BE THREE (3) INCHES IN DIAMETER FOR STOPS OVER 1-1/4 INCHES. BOXES SHALL BE FURNISHED WITH A CAST IRON COVER LABELED "WATER."
32. ALL CORPORATION STOPS AND CURB STOPS SHALL BE FABRICATED OF BRASS AND SHALL BE PROVIDED WITH OUTLETS SUITABLE FOR COPPER CONNECTIONS. CURB STOPS SHALL BE OF THE ROUNDWAY TYPE. FITTINGS SHALL BE COPPER AND OF THE COMPRESSION TYPE.
33. PROVIDE TRACER WIRE: SINGLE CONDUCTOR #12 AWG SOLID COPPER WIRE WITH 30 MIL HOPE JACKETING, BLUE IN COLOR, TAPED OR LAID ON TOP OF ALL WATER MAINS. THE WIRE SHALL TERMINATE WITH TWO (2) FEET OF SLACK AT EACH VALVE BOX. DRILL A SMALL HOLE JUST BELOW THE GROUND SURFACE AND LEAVE THE SLACK WIRE COILED INSIDE THE STRUCTURE.
34. PROVIDE TRACER WIRE BETWEEN WATER MAIN AND THE SERVICE BOX ON ALL WATER SERVICE LINES.
35. UTILIZE MUELLER BR2B SERIES BRONZE BODY SERVICE SADDLES OR APPROVED EQUALS WITH DOUBLE STAINLESS STEEL STRAPS. SADDLES SHALL COMPLY WITH AWWA C800 AND BE NSF 61 CERTIFIED.
36. ALL HYDRANTS SHALL STAND PLUMB AND SHALL HAVE THEIR HOSE NOZZLES PARALLEL WITH THE LENGTH OF THE STREET, WITH PUMPER NOZZLE (4-1/2 INCH) FACING THE STREET. HYDRANTS SHALL BE SET WITH THE BOTTOM FLANGE OF THE TOP SECTION TWO (2) INCHES ABOVE ULTIMATE FINAL GRADE OF THE GROUND, WITH A MAXIMUM DEVIATION OF TWO (2) INCHES IN ELEVATION BEING ALLOWED. EACH HYDRANT SHALL BE CONNECTED TO THE MAIN WITH A SIX (6) INCH OR LARGER DIAMETER BRANCH CONTROLLED BY AN INDEPENDENT VALVE. THE VALVE SHALL BE RESTRAINED TO ALLOW SHUT-OFF WHEN THE HYDRANT IS TO BE REMOVED. ALL HYDRANTS AND HYDRANT LEADS SHALL HAVE RESTRAINED JOINTS FROM THE MAIN TO THE HYDRANT INCLUDING THE CONNECTION TO THE MAIN AND THE HYDRANT FOOT.
37. MECHANICAL JOINT RESTRAINT SHALL BE INCORPORATED IN THE DESIGN OF THE FOLLOWER GLAND AND SHALL INCLUDE A RESTRAINING MECHANISM WHICH WHEN ACTUATED, IMPARTS A WEDGING ACTION AGAINST THE PIPE, INCREASING THE RESISTANCE AS THE PRESSURES INCREASES. FLEXIBILITY OF THE JOINT SHALL BE MAINTAINED AFTER BURIAL. ALL MECHANICAL JOINT RESTRAINT DEVICES SHALL HAVE A WORKING PRESSURE OF ALL LEAST 250 PSI WITH A MINIMUM SAFETY FACTOR OF TWO. ALL MECHANICAL JOINT RESTRAINT DEVICES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE INSPECTED PRIOR TO BURIAL.
38. PERFORMING WET TAPS OF 4 INCH DIAMETER NOMINAL SIZE AND LARGER SHALL BE SCHEDULED IN ADVANCE WITH THE VILLAGE WATER SUPERINTENDENT. ALL TAPPING SLEEVES AND OTHER MATERIALS SHALL BE APPROVED IN ADVANCE BY THE VILLAGE WATER SUPERINTENDENT. SEE ADMINISTRATIVE RULE 2017-10 FOR APPROVED METHODS AND MATERIALS.
39. WATER MAINS SHALL BE PROVIDED WITH POLYETHYLENE ENCASEMENT IN ACCORDANCE WITH AWWA C-105 METHOD A. THE POLYETHYLENE FILM SHALL BE A MINIMUM OF 8-MIL THICKNESS.

WATER SERVICE LINE NOTES

1. ALL WATER SERVICE LINE MATERIALS, CONSTRUCTION, STERILIZATION, AND TESTING SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, SHALL COMPLY WITH THE PROVISIONS OF AWWA C600 AND AWWA C651, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
2. ABIDE BY ANY CONDITION(S) OF ACCEPTANCE IMPOSED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY OR THE MUNICIPAL AGENCY TO WHICH THE WATER SERVICE LINE IS CONNECTED. NO WATER SERVICE LINE SHALL BE PLACED INTO SERVICE UNTIL LABORATORY TESTS REVEAL THAT THE WATER SERVICE LINE HAS BEEN PROPERLY STERILIZED.
3. ALL MATERIAL INCORPORATED INTO THE PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. WATER SERVICE LINES 3 INCHES DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE THICKNESS CLASS 50, PRESSURE CLASS 350, CEMENT LINED INSIDE AND OUTSIDE COATED (ANSI A21.4 AWWA C151 AND C104), WITH RUBBER GASKETED PUSH ON JOINTS MEETING (ANSI A21.11 AWWA C111). WHERE INDICATED ON PLANS MECHANICAL JOINT (ANSI A2.11 AWWA C111) SHALL BE INSTALLED. PIPE SHALL BE NSF CERTIFIED.
5. ALL SERVICE PIPES 2 INCHES IN DIAMETER AND SMALLER SHALL BE COPPER WATER TUBE SIZE POLYETHYLENE TUBING SDR-9, MINIMUM 1 INCH DIAMETER, FOR UNDERGROUND SERVICE, CONFORMING TO ASTM B 2737. THE PIPE SHALL BE MARKED WITH THE MANUFACTURER'S NAME OR TRADEMARK AND MARK INDICATIVE OF THE TYPE OF PIPE. HORIZONTAL AND VERTICAL LOCATION MEASUREMENTS SHALL BE PROVIDED TO THE VILLAGE ENGINEER.
6. MAINTAIN MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND SEWER AT ALL TIMES. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION AND 18 INCH VERTICAL SEPARATION PER SECTION 41-2.01 AND STANDARD DRAWINGS 18 THROUGH 24 OF THE STANDARD SPECIFICATIONS. UTILIZE SECONDARY CASING WHEN REQUIRED FOR COMPLIANCE WITH SEPARATION REQUIREMENTS.
7. MINIMUM COVER SHALL BE 45 INCHES. DEPTH SHALL BE VARIED AS NECESSARY TO ACCOMMODATE CROSSINGS WITH OTHER UTILITIES. MAXIMUM COVER SHALL BE 60 INCHES.
8. COORDINATE ALL CONNECTIONS TO EXISTING WATER MAINS WITH VILLAGE OF MAHOMET STAFF.
9. ALL WATER SERVICE LINE TRENCHES SHALL BE A MAXIMUM OF 6 INCHES IN WIDTH.
10. PROVIDE TRACER WIRE: SINGLE CONDUCTOR #12 AWG SOLID COPPER WIRE WITH 30 MIL HOPE JACKETING, BLUE IN COLOR, TAPED OR LAID ON TOP OF ALL WATER SERVICE LINES BETWEEN WATER MAIN AND THE SERVICE BOX.
11. SERVICE BOXES SHALL BE OF THE BEST QUALITY CAST IRON, WITH THE BASE OF AMPLE SIZE TO COMPLETELY HOUSE THE SERVICE STOP, AND OF SUCH CONSTRUCTION THAT IT SHALL BE CAPABLE OF EXTENSION FROM A MINIMUM OF THREE (3) FEET, SIX (6) INCHES IN LENGTH, TO A MAXIMUM OF SIX (6) FEET, SIX (6) INCHES IN LENGTH. BOXES SHALL BE 2-1/2 INCHES IN DIAMETER FOR STOPS 1-1/4 INCHES AND SMALLER, AND SHALL BE THREE (3) INCHES IN DIAMETER FOR STOPS OVER 1-1/4 INCHES. BOXES SHALL BE FURNISHED WITH A CAST IRON COVER LABELED "WATER."
12. ALL CORPORATION STOPS AND CURB STOPS SHALL BE FABRICATED OF BRASS AND SHALL BE PROVIDED WITH OUTLETS SUITABLE FOR COPPER CONNECTIONS. CURB STOPS SHALL BE OF THE ROUNDWAY TYPE. FITTINGS SHALL BE COPPER AND OF THE COMPRESSION TYPE.
13. VALVES FOR 3 INCH DIAMETER AND LARGER WATER SERVICE LINES SHALL BE 200 PSI RATED IRON BODY RESILIENT SEAL GATE VALVES COMPLYING WITH AWWA C509 WITH INTERIOR FERROUS SURFACE EPOXY COATED (MINIMUM 8 MILLIMETER THICKNESS) INTERIOR SURFACES PER AWWA C-550 AND SHALL BE NSF CERTIFIED. GATE VALVES SHALL HAVE A 2 INCH OPERATING NUT, O-RING SEAL, VERTICAL NON-RISING BRONZE STEM, AND SHALL OPEN BY TURNING COUNTER-CLOCKWISE. VALVE SHALL BE DESIGNED FOR 200 PSI WATER WORKING PRESSURE AND 400 PSI TEST PRESSURE WITH MECHANICAL JOINT ENDS.
14. VALVE BOXES SHALL BE 3/8 INCHES MINIMUM THICKNESS CAST IRON WITH 5/8 INCH DIAMETER MINIMUM SHAFT. PLASTIC CENTERING INSERTS SHALL BE PROVIDED FOR ALL VALVE BOXES. VALVE BOXES SHALL BE ADJUSTABLE SCREW TYPE, AND CONSIST OF A BASE, BOTTOM SECTION, TOP SECTION, AND LID. A VALVE BOX SHALL BE PROVIDED FOR EVERY VALVE, CENTERED OVER THE OPERATING NUT OF THE VALVE.
15. UTILIZE MUELLER BR2B SERIES BRONZE BODY SERVICE SADDLES OR APPROVED EQUALS WITH DOUBLE STAINLESS STEEL STRAPS. SADDLES SHALL COMPLY WITH AWWA C800 AND BE NSF 61 CERTIFIED.
16. PERFORMING WET TAPS OF 4 INCH DIAMETER NOMINAL SIZE AND LARGER SHALL BE SCHEDULED IN ADVANCE WITH THE VILLAGE WATER SUPERINTENDENT. ALL TAPPING SLEEVES AND OTHER MATERIALS SHALL BE APPROVED IN ADVANCE BY THE VILLAGE WATER SUPERINTENDENT.

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REV. #	REV. DATE:	REVISION MADE:		
DATE:	04/28/21	SCALE: AS SHOWN	ILLINOIS	IDWA
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLT	 FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR, CHAMPAIGN, ILLINOIS 61821	
CHECKED BY:	CMO			
WATER MAIN NOTES & SPECIFICATIONS			ILLINOIS DESIGN FIRM NO. 184-003525	
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS			JOB # 21-344 SHEET C1.3	

EROSION CONTROL NOTES

- ALL EROSION CONTROL WORK SHALL COMPLY WITH SECTION 280 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- STRICTLY ADHERE TO ALL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT REQUIREMENTS.
- SUBMIT SHOP DRAWINGS FOR TEMPORARY EROSION CONTROL PLANS FOR CONSTRUCTION ACTIVITIES ON SITE IN ADDITION TO AN "OFF-SITE TRACKING CONTROL PLAN" TO THE ENGINEER. THE PLAN SHALL INCLUDE PERTINENT MANUFACTURER'S DATA AND DETAILS TO DESCRIBE THE MEANS AND METHODS THAT THE CONTRACTOR PLANS TO USE TO CONTROL TRACKING AND EROSION FROM THE SITE. ACTUAL CONFIGURATION AND LOCATION OF TEMPORARY EROSION CONTROL SYSTEMS SHALL BE AS SHOWN ON THE PLANS, APPROVED TRACKING CONTROL PLAN, APPROVED EROSION CONTROL PLAN, AND AS DIRECTED BY THE ENGINEER.
- TEMPORARY EROSION CONTROL MEASURES AS INDICATED IN THE PLANS, APPROVED "TRACKING CONTROL PLAN" OR APPROVED "EROSION CONTROL PLAN" SHALL BE INSTALLED ON THE FIRST DAY OF CONSTRUCTION ACTIVITIES. TRIANGULAR SILT DIKES, SILT FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED TO HELP PREVENT SOIL FROM BEING WASHED OFF SITE OR INTO STORM SEWER OR SANITARY SEWER STRUCTURES. THE CONTRACTOR SHALL INSTALL SEDIMENT COLLECTION BAGS IN STORM SEWER INLETS OR MANHOLES AS MAY BE REQUIRED BY THE ENGINEER. MAINTAIN THESE MEASURES IN AN EFFECTIVE CONDITION TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY STORM SEWER OR SANITARY SEWER STRUCTURES.
- PROVIDE FOR INGRESS AND EGRESS FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY BY CONSTRUCTING A STABILIZED CONSTRUCTION ENTRANCE AS SHOWN IN THE DETAILS. SOILS TRACKED OFF SITE ONTO ADJACENT PAVEMENTS SHALL IMMEDIATELY BE RECOVERED BY STREET SWEEPING OR OTHER MEANS.
- ALL DISTURBED EARTH SURFACES THAT WILL HAVE BARE SOIL FOR LONGER THAN 45 DAYS SHALL BE TEMPORARILY SEEDED. TEMPORARY SEEDING SHALL BE CLASS 7 PER SECTION 250 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". SEED SHALL BE PLACED AT A RATE OF NOT LESS THAN 200 POUNDS PER ACRE.
- FILTER BARRIERS, INLET SEDIMENT BAGS, AND OTHER MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL EVENT. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT.
- DURING EXCAVATION BE CAREFUL TO SEGREGATE AND SAVE AS MUCH TOPSOIL AS POSSIBLE FOR PLACEMENT ON TOP OF BACKFILL IN ORDER TO PROVIDE GOOD MATERIAL FOR SEEDING AND FERTILIZING. THE ENGINEER SHALL DETERMINE SOILS SUITABLE FOR USE AS TOPSOIL. NOT LESS THAN EIGHT (8) INCHES OF TOPSOIL SHALL BE REPLACED UPON TRENCH AREAS AND EXCAVATED AREAS.
- ALL DISTURBED AREAS SHALL BE FINE-GRADED, FERTILIZED, SEEDED AND MULCHED.
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH SPOT ELEVATIONS, GRADES AND FLOW ARROWS AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER. ALLOW NOT LESS THAN 2 INCHES BETWEEN SIDEWALK SURFACE AND FINISH TOPSOIL GRADE TO ALLOW FOR SOD PLACEMENT.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- APPLY SEEDING AS SHOWN IN THE PLANS AND AS DIRECTED BY THE ENGINEER. THE SEEDING WORK SHALL CONFORM TO THE REQUIREMENTS OF SECTION 250 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". THE SEED APPLIED TO THE WORK SHALL BE APPROVED BY THE ENGINEER BEFORE THE WORK IS STARTED.
- FURNISH, TRANSPORT AND PLACE MULCH OR EROSION CONTROL BLANKET OVER THE SEEDED AREA. THE METHOD, PROCEDURES AND MATERIALS APPLIED FOR MULCHING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 251 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". EROSION CONTROL BLANKET CAN REPLACE MULCHING AS METHOD FOR EROSION CONTROL. FOR GROUND SLOPES GREATER THAN 3:1 (H:V), EROSION CONTROL BLANKET SHALL BE USED FOR EROSION CONTROL.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. MATERIALS OF THE BLANKET USING ONE OR MORE CATEGORIES OF FABRIC WILL BE DECIDED BY THE ENGINEER. THE MIXTURE OF FABRIC SHALL BE APPROVED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 251 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". DETAILS OF INSTALLATION METHODS AND STAPLE PATTERN ARE SHOWN IN THE APPLICABLE DETAILS.
- INSTALL RIPRAP PROTECTION AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS OF SECTION 281 AND SECTION 282 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- GABION MATTRESSES SHALL BE INSTALLED AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND NOTES AND DETAILS CONTAINED IN THESE PLANS.
- IF CONSTRUCTION OPERATIONS CONTINUE THROUGH A WINTER SEASON, CONTRACTOR AND DEVELOPER'S ENGINEER SHALL PROVIDE AND IMPLEMENT A PLAN FOR WINTER OPERATION OF EROSION CONTROL FACILITIES WHICH SHALL BE APPROVED BY THE VILLAGE ENGINEER.
- ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH FILTER FABRIC OR SEDIMENT BAGS MEETING ACCEPTED DESIGN CRITERIA, STANDARDS, AND SPECIFICATIONS FOR THAT PURPOSE.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL COMPLY WITH THE GUIDELINES OF THE ILLINOIS URBAN MANUAL, LATEST EDITION.
- PUBLIC ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATIONS. STREET SWEEPING SHALL BE PROVIDED AS NECESSARY.
- SEDIMENT BUILDUP BE REMOVED FROM ALL EROSION CONTROL MEASURES WHEN THEY BECOME ½ FULL, OR AFTER EACH MAJOR RAIN EVENT AS NEEDED.
- ALL SEDIMENT BAG UNITS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".

TOPSOIL -- FERTILIZING -- SEEDING -- MULCHING NOTES

- FURNISHING AND PLACING TOPSOIL SHALL BE IN ACCORDANCE WITH SECTIONS 211 AND 212 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- SEEDING AND MULCHING SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 250 AND 251 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- ORGANIC SOILS (TOPSOIL) FROM EXCAVATIONS AROUND THE SITE SHALL BE STRIPPED, SEGREGATED AND STOCKPILED DURING CONSTRUCTION AND SPREAD ON THE TOP OF DISTURBED AREAS. THE ENGINEER SHALL DETERMINE SOILS SUITABLE FOR USE AS TOPSOIL DURING CONSTRUCTION.
- PLACE A MINIMUM OF 8 INCHES OF TOPSOIL IN THE STREET RIGHT-OF-WAY AREAS AND TOP SOIL DEPTH SHALL BE DESIGNATED ON THE PLANS AND IN AREAS DISTURBED DURING CONSTRUCTION. HAND RAKE THE TOPSOIL REMOVING ALL ROCKS, STICKS AND DEBRIS FROM THE AREA. PLACE 12-12-12 FERTILIZER AT A RATE OF 400 POUNDS PER ACRE AND LIME AT A RATE OF ONE TON PER ACRE UPON ALL DISTURBED AREAS.
- SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE.
- ALL STREET RIGHT-OF-WAY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED IN LOCATIONS SPECIFIED BY THE ENGINEER. SEEDING SHALL BE CLASS 1 LAWN MIXTURE KENTUCKY BLUEGRASS 100 POUNDS PER ACRE, PERENNIAL RYE GRASS 60 POUNDS PER ACRE, CREEPING RED FESCUE 40 POUNDS PER ACRE, AND SPRING OATS 50 POUNDS PER ACRE. MULCH SHALL COMPLY WITH ARTICLE 251.03, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- ALL AREAS BEYOND THE CONSTRUCTION LIMITS WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.
- WHEN SOD PLACEMENT IS INTENDED, ADJUST TOPSOIL SURFACE ELEVATION 2 INCHES DOWNWARD.
- SPECIAL ATTENTION IS CALLED TO ARTICLE 250.07 REGARDING SEEDING DATES, WHICH SHALL BE STRICTLY ADHERED TO.


SIDEWALK AND PATHWAY CONSTRUCTION NOTES

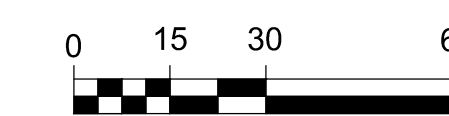
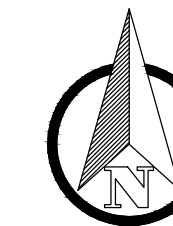
- PORTLAND CEMENT CONCRETE SIDEWALKS AND PATHWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 424 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- PORTLAND CEMENT CONCRETE SHALL BE ANY ILLINOIS DEPARTMENT OF TRANSPORTATION APPROVED MIX FOR SIDEWALKS CONFORMING TO SECTION 424 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". ENTRAINED AIR SHALL BE BETWEEN 5 PERCENT (5%) AND 8 PERCENT (8%). THE MAXIMUM SLUMP SHALL BE 4 INCHES. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 14 DAYS OF 3,000 P.S.I.
- THE PORTLAND CEMENT CONCRETE MIX DESIGN AND EVIDENCE OF PRIOR PERFORMANCE OR TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. APPROVAL OF THE MIX DESIGN SHALL IN NO WAY ALLEVIATE CONTRACTOR OF HIS DUTY TO SUPPLY CONCRETE MEETING ALL REQUIREMENTS.
- CONSTRUCT THE SIDEWALKS AND PATHWAYS ACCORDING TO THE ALIGNMENT AND GRADES SHOWN ON THE PLANS. SIDEWALKS OR PATHWAYS NOT CONSTRUCTED IN ACCORDANCE WITH THE PLANS MAY BE REJECTED.
- ALL STICKS, ROOTS AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE SUBGRADE OF SIDEWALKS AND PATHWAYS. ALL TOPSOIL SHALL BE REMOVED FROM THE SUBGRADE OF SIDEWALKS AND PATHWAYS. THE SUBGRADE SHALL BE MECHANICALLY COMPACTED TO 90% STANDARD PROCTOR DENSITY. IF EXISTING SIDEWALK OR PATHWAY IS REMOVED AND NEW SIDEWALK OR PATHWAY IS PROPOSED, ANY AREAS OF THE SUBGRADE WHICH ARE BELOW THE REQUIRED ELEVATION OF THE FINISHED SUBGRADE SHALL BE BUILT UP TO GRADE WITH APPROVED COMPACTED CRUSHED STONE OR CONCRETE. EXCAVATED OR DISTURBED SOIL SHALL NOT BE USED AS A SUBGRADE MATERIAL. CONTRACTOR SHALL REMOVE AND REPAIR ANY SOFT OR SPONGY AREAS OF SUBGRADE WITH APPROVED COMPACTED CRUSHED STONE.
- SIDEWALK AND PATHWAY CROSS SLOPES SHALL BE A 1½ PERCENT WITH A TOLERANCE OF ½ PERCENT UNLESS OTHERWISE NOTED ON THE PLANS. ANY SIDEWALKS HAVING A CROSS SLOPE OF GREATER THAN 2.0% SHALL BE REMOVED AND REPLACED AT THE CORRECT SLOPES.
- PORTLAND CEMENT CONCRETE SIDEWALK AND PATHWAY LONGITUDINAL SLOPES SHALL NOT EXCEED 5.0 PERCENT UNLESS OTHERWISE INDICATED.
- SIDEWALK CURB RAMP SLOPES SHALL NOT EXCEED 12:1 (H:V) UNLESS OTHERWISE NOTED.
- PORTLAND CEMENT CONCRETE SIDEWALKS AND PATHWAYS SHALL BE 6 INCH MINIMUM THICKNESS AND 5 FEET WIDE UNLESS OTHERWISE SHOWN ON THE PLANS. THE SIDEWALK THICKNESS SPECIFIED OR SHOWN IN THE PLANS SHALL BE THE MINIMUM ALLOWED.
- FORMS SHALL BE SET TRUE TO LINE AND GRADE AND MAY BE CHECKED BY THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE. GRADES ARE CRITICAL TO ENSURE PROPER DRAINAGE. IF THE ELEVATION OF ANY SIDEWALK OR PATHWAY IMPROVEMENT VARIES FROM THAT SHOWN ON THE PLANS OR STAKED BY THE ENGINEER BY MORE THAN 0.1 FEET, OR IF AN AREA IS NOT PROPERLY DRAINED, THE CONTRACTOR SHALL REMOVE AND REPLACE SUFFICIENT SIDEWALK OR PATHWAY TO CORRECT THE DEFECT.
- COAT FORM CONTACT SURFACES WITH AN APPROVED FORM-COATING COMPOUND BEFORE PLACING CONCRETE. DO NOT ALLOW EXCESS FORM-COATING MATERIAL TO ACCUMULATE IN THE FORMS OR COME INTO CONTACT WITH SURFACES WHICH WILL BE BONDED TO FRESH CONCRETE. APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COAT STEEL FORMS WITH NON-STAINING RUST PREVENTATIVE FORM OIL OR OTHERWISE PROTECT AGAINST RUSTING. RUST STAINED STEEL FORMWORK IS NOT ACCEPTABLE.
- EXPANSION AND ISOLATION JOINTS FOR SIDEWALKS AND PATHWAYS SHALL BE ½ INCH THICKNESS BITUMINOUS PRE-FORMED JOINT FILLER MATERIAL EXTENDED FULL DEPTH THROUGH THE CONCRETE AND SET ½ INCH BELOW THE SURFACE OF THE SIDEWALK OR PATHWAY. THE CONCRETE SHALL BE EDGED, PROVIDE EXPANSION AND ISOLATION JOINTS WHERE SIDEWALK OR PATHWAY ABUTS CURB, SIDEWALKS AT INTERSECTIONS AND EXISTING STRUCTURES AND FOUNDATIONS. THE JOINTS SHALL BE PROVIDED WITH BACKER ROD, BOND BREAKER OR "ZIP STRIP" AND FILLED TO WITHIN ¼ INCH OF THE SURFACE WITH AN APPROVED JOINT SEALANT.
- CONSTRUCTION JOINTS SHALL BE LOCATED AT A CONTRACTION JOINT INTERVAL OR AT AN EXPANSION JOINT. CONSTRUCTION JOINTS SHALL BE CONSTRUCTED WITH 30 INCH LONG NUMBER 4 REBAR ON 18 INCH CENTERS PLACED AT MID-DEPTH. AND CLEAN OF FORM COATING MATERIAL.
- ALL CASTINGS IN SIDEWALK AND PATHWAY AREAS SHALL BE ADJUSTED FLUSH WITH THE PROPOSED SIDEWALK OR PATHWAY SURFACE ELEVATION. THE CONCRETE SIDEWALK OR PATHWAY ADJACENT TO ALL CASTINGS SHALL BE EDGED. PLACE ½ INCH THICKNESS EXPANSION JOINT MATERIAL FULL DEPTH AROUND CASTING.

SIDEWALK AND PATHWAY CONSTRUCTION NOTES

- THE CONTRACTOR SHALL MOISTEN THE SUBGRADE BEFORE PLACING CONCRETE.
- CONCRETE FOR SIDEWALK AND PATHWAY CONSTRUCTION SHALL BE VIBRATED WITH A MECHANICAL CONCRETE VIBRATOR AT THE TIME OF PLACEMENT.
- WATER SHALL NOT BE ADDED TO THE SURFACE OF THE CONCRETE FOR FINISHING PURPOSES.
- SIDEWALKS AND PATHWAYS SHALL BE EDGED WITH A STANDARD ¼ INCH RADIUS EDGER.
- SIDEWALKS AND PATHWAYS SHALL HAVE A LIGHT BROOMED FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- CONTRACTION JOINTS (CONTROL JOINTS) SHALL BE HAND GROOVED WITH A 1 INCH DEPTH JOINTER TO MATCH THE ¼ INCH RADIUS EDGER. JOINT SPACING SHALL BE THE SAME AS THE SIDEWALK OR PATHWAY WIDTH UNLESS OTHERWISE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. JOINTS PLACED WITH A JOINTER LESS THAN 1 INCH DEEP SHALL BE SAWCUT WITHIN 24 HOURS UTILIZING A CART MOUNTED SAW.
- SIDEWALK AND PATHWAY RAMPS AND CROSSWALKS WHICH ABUT STREETS SHALL BE PROVIDED WITH A NON-SLIP (TEXTURED) SURFACE SO THAT STREETS, SIDEWALKS, PATHWAYS AND CROSSWALK INTERSECTIONS MERGE TO A COMMON ELEVATION.
- SIDEWALKS AND PATHWAYS SHALL BE CURED USING AN APPROVED CURING COMPOUND OR POLYETHYLENE FILM. SIDEWALKS AND PATHWAYS SHALL BE PROPERLY PROTECTED DURING HOT WEATHER AND COLD WEATHER CONDITIONS.
- FORMS SHALL NOT BE REMOVED FOR 24 HOURS AFTER CONCRETE PLACEMENT. CARE SHOULD BE EXERCISED WHEN REMOVING FORMS SO CONCRETE EDGES ARE NOT CRACKED OR DAMAGED.
- TRAFFIC, INCLUDING CONSTRUCTION EQUIPMENT, SHALL NOT BE ALLOWED ON SIDEWALKS FOR AT LEAST SEVEN (7) DAYS AFTER CONCRETE PLACEMENT.
- BACKFILL SHALL BE PLACED AGAINST THE SIDES OF THE WALK OR PATHWAY AS SOON AS POSSIBLE. THE AREA ADJACENT TO THE SIDEWALKS AND PATHWAYS SHALL BE BACKFILLED, GRADED, AND CLEANED UP AS SOON AS POSSIBLE.
- SIDEWALKS AND PATHWAYS ALONG STREET PAVEMENTS SHALL BE CONSTRUCTED WITH NOT LESS THAN 2 PERCENT AND NO MORE THAN 10 PERCENT SLOPE BETWEEN THE BACK OF CURB AND CLOSEST EDGE OF SIDEWALK.

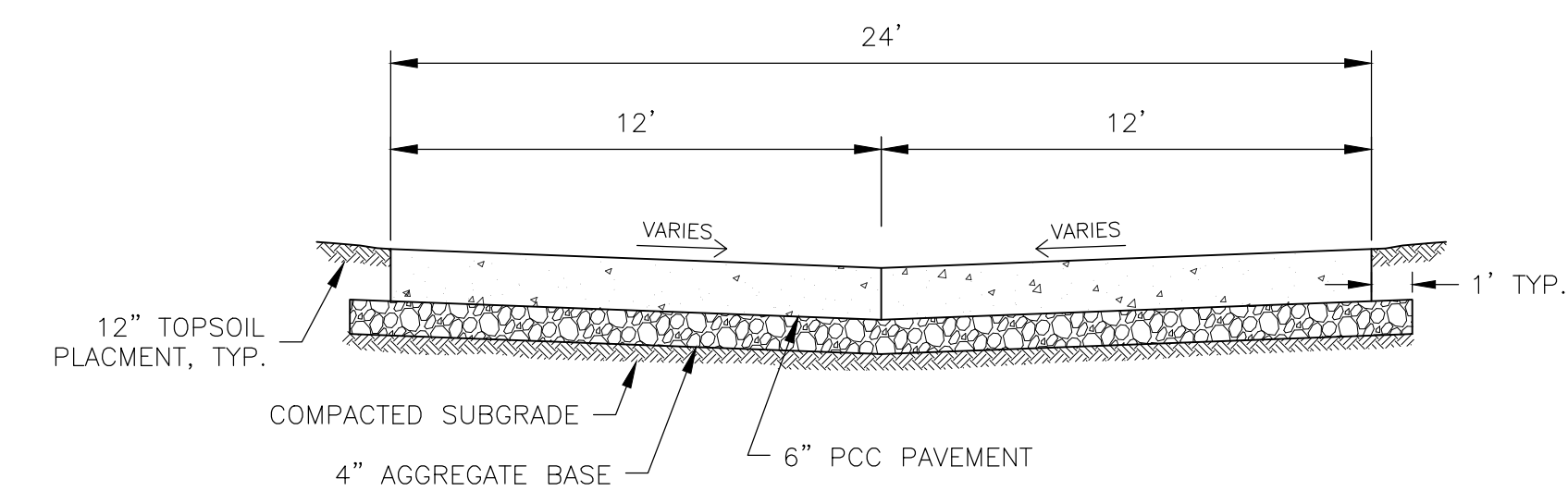
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REV. #	REV. DATE:	REVISION MADE:		
DATE:	04/28/21	SCALE: AS SHOWN	ILLINOIS	IDWA WISCONSIN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLT	 FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821	
CHECKED BY:	CMO			
EROSION CONTROL NOTES			ILLINOIS DESIGN FIRM NO. 184-003525	
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS			JOB # 21-344	SHEET C1.4



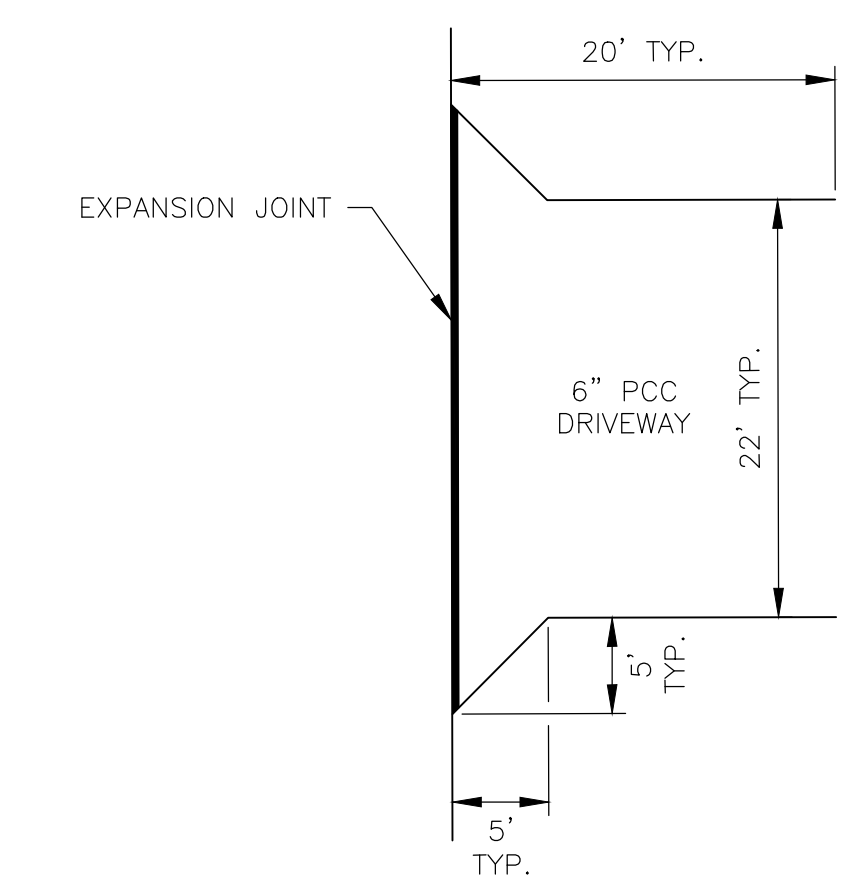
LEGEND

- PROPOSED 6" PCC PAVEMENT WITH 4" AGG. BASE
- PROPOSED 6" PCC DRIVEWAY



SECTION A-A

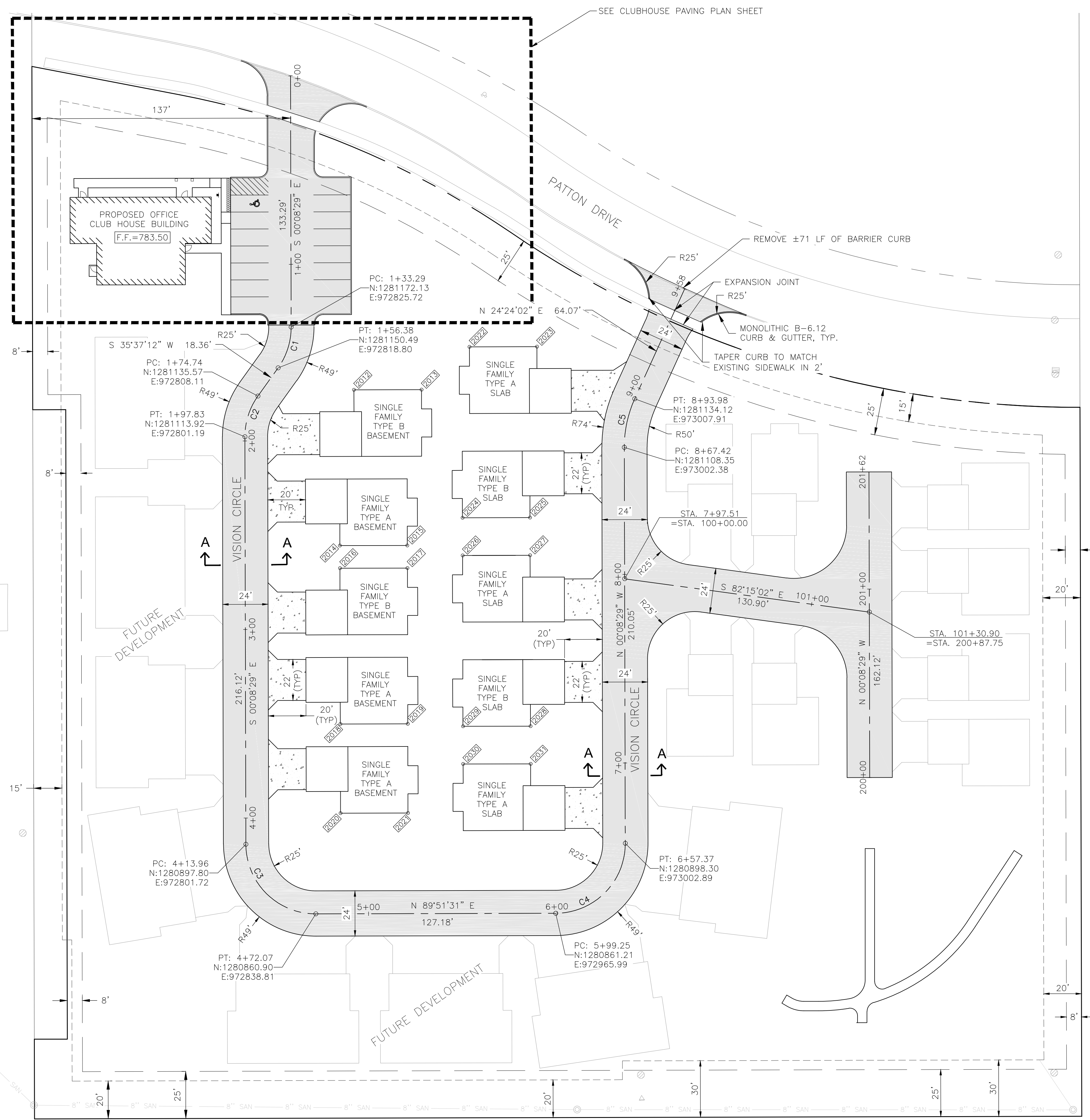
Point #	Northing	Easting
2012	1281138.8682	972859.0226
2013	1281138.9565	972894.8350
2014	1281056.2245	972851.5554
2015	1281056.3127	972887.3261
2016	1281044.2245	972851.5850
2017	1281044.3128	972887.3549
2018	1280961.5998	972851.7889
2019	1280961.6880	972887.5596
2020	1280914.2874	972851.9057
2021	1280914.3757	972887.6763
2022	1281161.6313	972920.2605
2023	1281161.7196	972956.0312
2024	1281070.9970	972916.5923
2025	1281071.0852	972952.3622
2026	1281050.9970	972916.6409
2027	1281051.0853	972952.4116
2028	1280960.4606	972952.6352
2029	1280960.3723	972916.8653
2030	1280940.3723	972916.9139
2031	1280940.4606	972952.6846



TYPICAL DRIVEWAY DETAIL

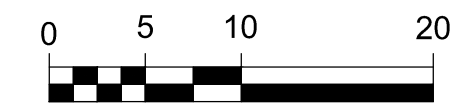
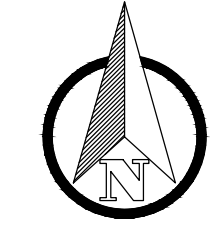
CURVE TABLE									
CURVE #	R	L	T	Δ	CHORD	BEARING	E	PC STA	PT STA
C1	37.00	23.09	11.94	035°45'41"	22.72	S17°44'21"W	1.79	1+33.29	1+45.23
C2	37.00	23.09	11.94	035°45'41"	22.72	S17°44'21"W	1.79	1+74.74	1+86.68
C3	37.00	58.12	37.00	090°00'00"	52.33	S45°08'29"E	10.84	4+13.96	4+50.96
C4	37.00	58.12	37.00	090°00'00"	52.33	N44°51'31"E	10.84	5+99.25	6+36.25
C5	62.00	26.56	13.49	024°32'31"	26.35	N12°07'46"E	1.42	8+67.42	8+80.91

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
PAVING PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C2.0



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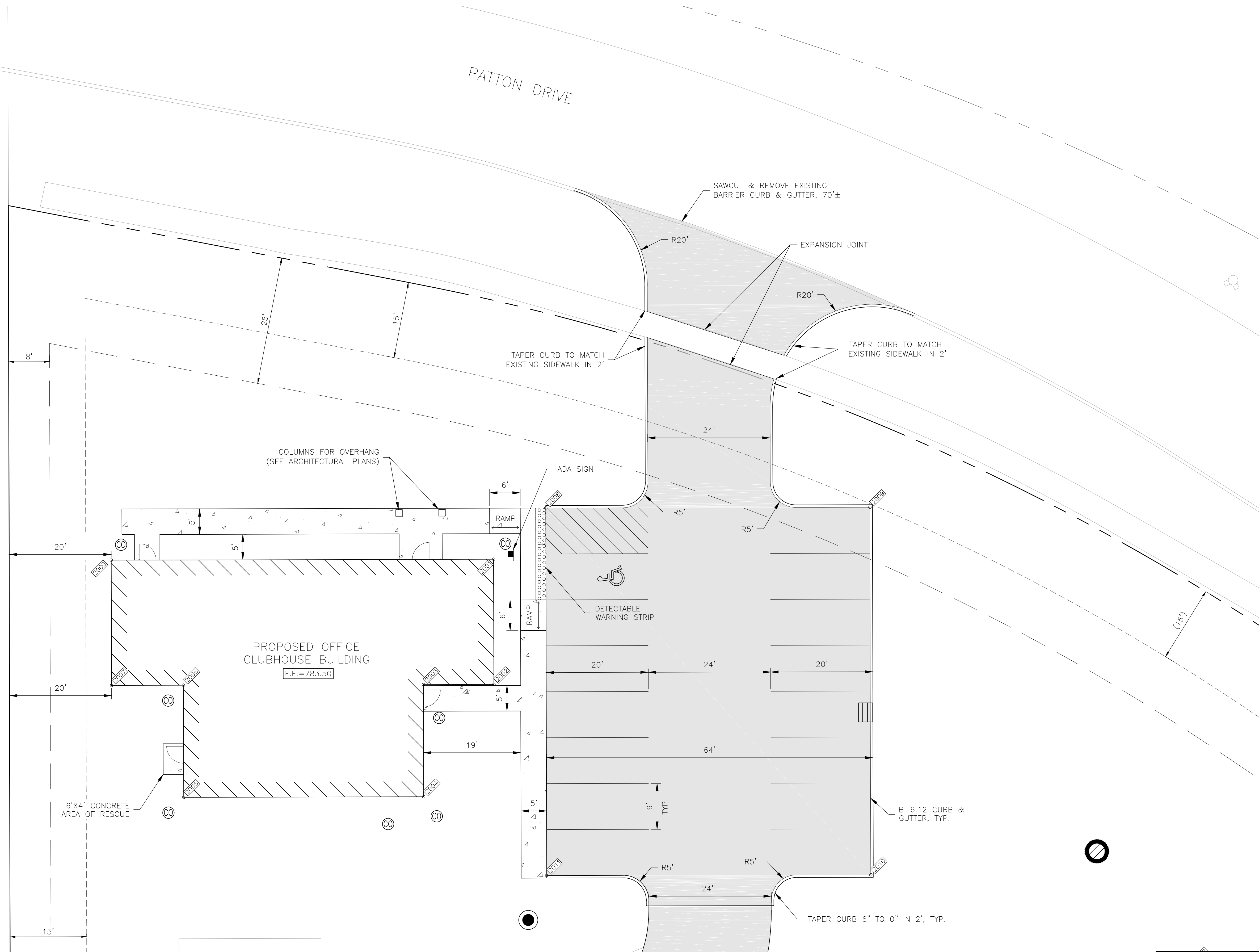
PATTON DRIVE



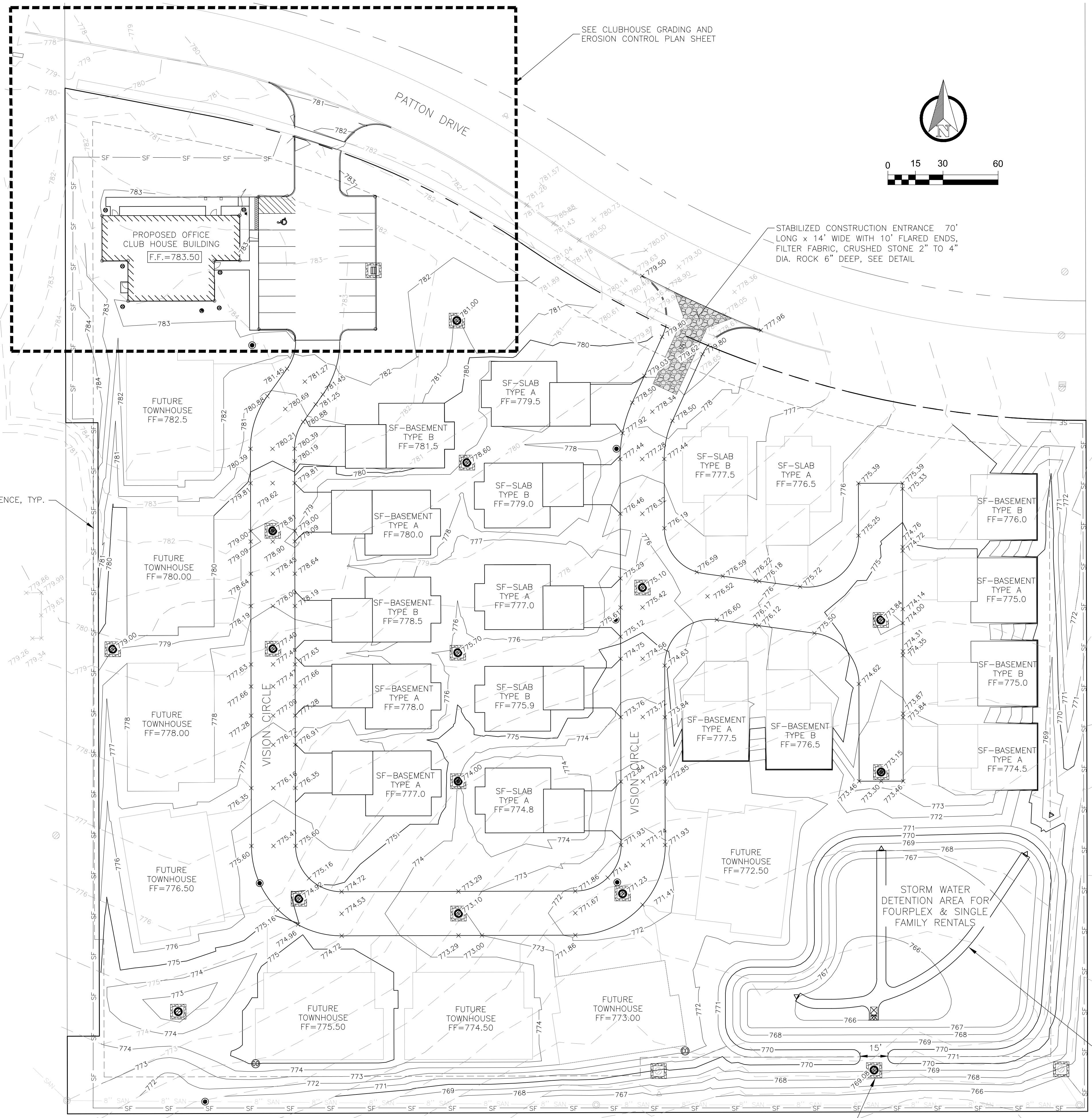
LEGEND

- PROPOSED 6" PCC PAVEMENT WITH 4" AGG. BASE
- PROPOSED 6" PCC SIDEWALK

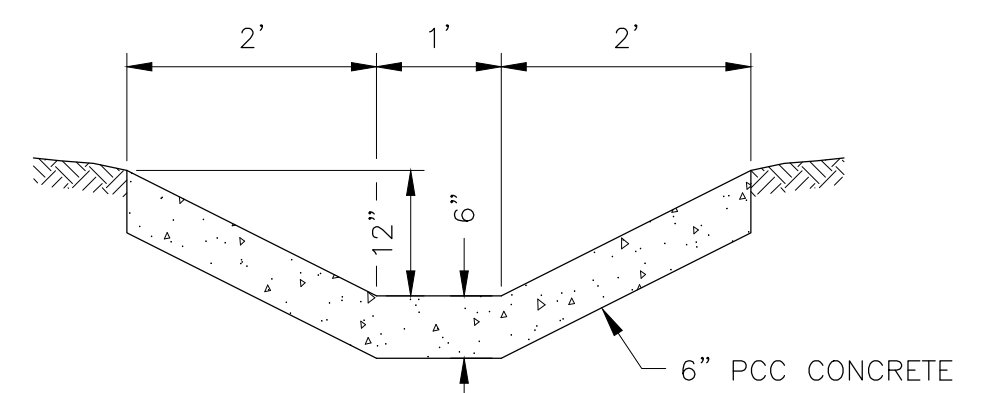
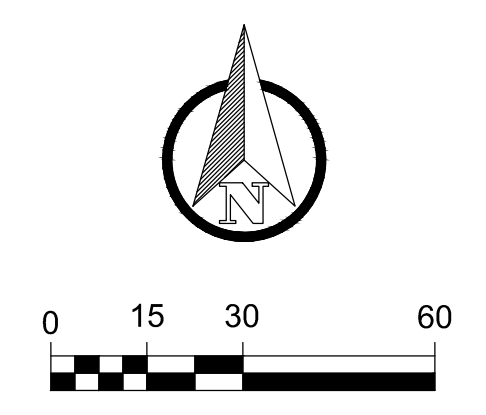
POINT COORDINATE TABLE		
Point #	Northing	Easting
2000	1281240.9476	972708.4324
2001	1281241.1325	972783.3522
2002	1281216.5926	972783.4127
2003	1281216.5585	972769.5928
2004	1281194.5986	972769.6470
2005	1281194.4825	972722.6271
2006	1281216.4425	972722.5729
2007	1281216.4077	972708.4930
2008	1281251.1578	972793.5875
2009	1281251.3145	972857.0873
2010	1281179.3147	972857.2650
2011	1281179.1580	972793.7652



REV. #	REV. DATE:	REVISION MADE:
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FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
CLUBHOUSE PAVING PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C2.1



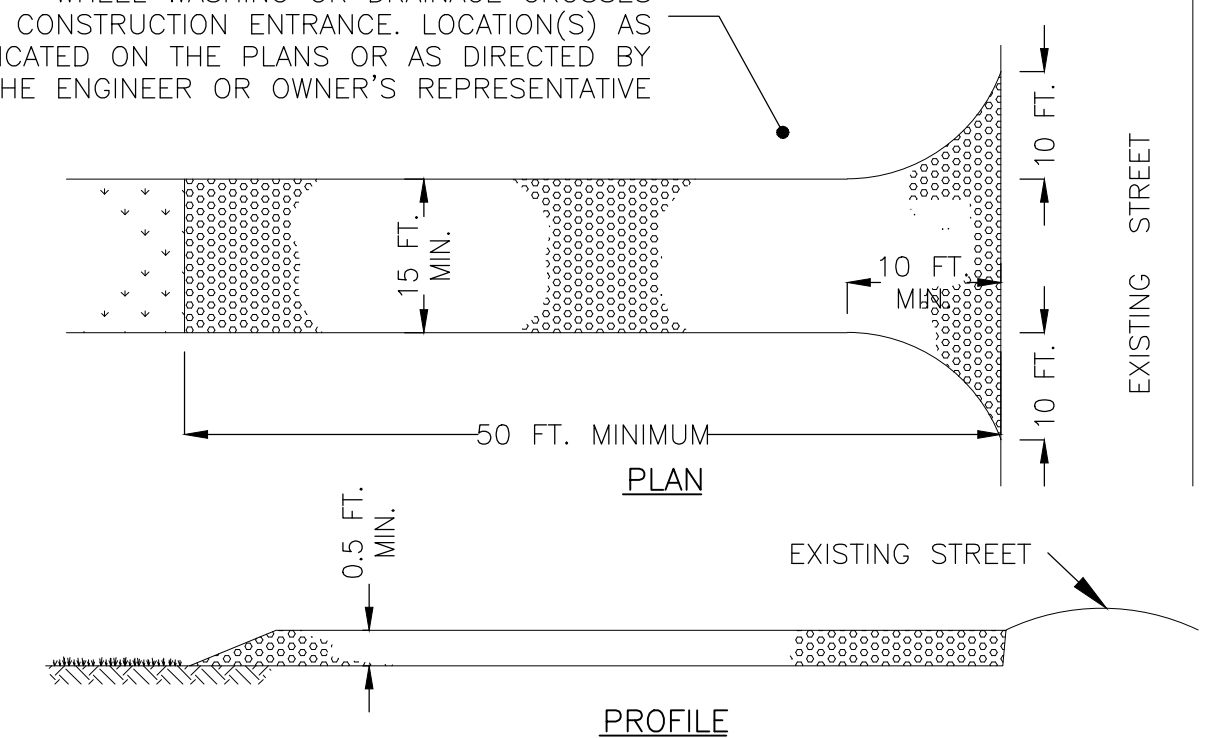
SEE CLUBHOUSE GRADING AND EROSION CONTROL PLAN SHEET



DETECTION BASIN PAVED GUTTER DETAIL
NO SCALE

STABILIZED CONSTRUCTION ENTRANCE 70' LONG x 14' WIDE WITH 10' FLARED ENDS, FILTER FABRIC, CRUSHED STONE 2" TO 4" DIA. ROCK 6" DEEP, SEE DETAIL

SEDIMENT TRAPPING BASIN REQUIRED WHEN WHEEL WASHING OR DRAINAGE CROSSES CONSTRUCTION ENTRANCE. LOCATION(S) AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER OR OWNER'S REPRESENTATIVE



STABILIZED CONSTRUCTION ENTRANCE
NO SCALE

NOTES:

- STONE SIZE - USE 2 INCH DIAMETER OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET LONG (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH MAY APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, THE FLOW SHOULD BE DIVERTED. AN APPROVED SEDIMENT TRAPPING DEVICE MAY BE REQUIRED BY THE ENGINEER'S OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- WASHING - WHEELS AND UNDERSIDE OF VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A SEDIMENT TRAPPING DEVICE AS APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR MAY LOCATE CONSTRUCTION ENTRANCES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PUBLIC ROAD AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION. WHEN CONSTRUCTION ENTRANCES MUST BE LOCATED IN AREAS WITH EXISTING STREET CURBS; WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES WHERE EXISTING STREET CURBS WILL BE REMOVED AS PART OF THE PROJECT. EXISTING STREET CURBS TO REMAIN MUST BE PROTECTED FROM DAMAGE IN AN APPROPRIATE MANNER SUCH AS RAMPS BUILT OF 6 INCH BY 6 INCH POSTS, 4 INCH BY 4 INCH POSTS AND 2 INCH BY 4 INCH TREATED LUMBER OR "COLD PATCH" OVER 4 INCH DIAMETER CONDUIT TO ALLOW GUTTER FLOW. CONTRACTOR SHALL REMOVE AND REPLACE ANY STREET CURBS DAMAGED DURING CONSTRUCTION.

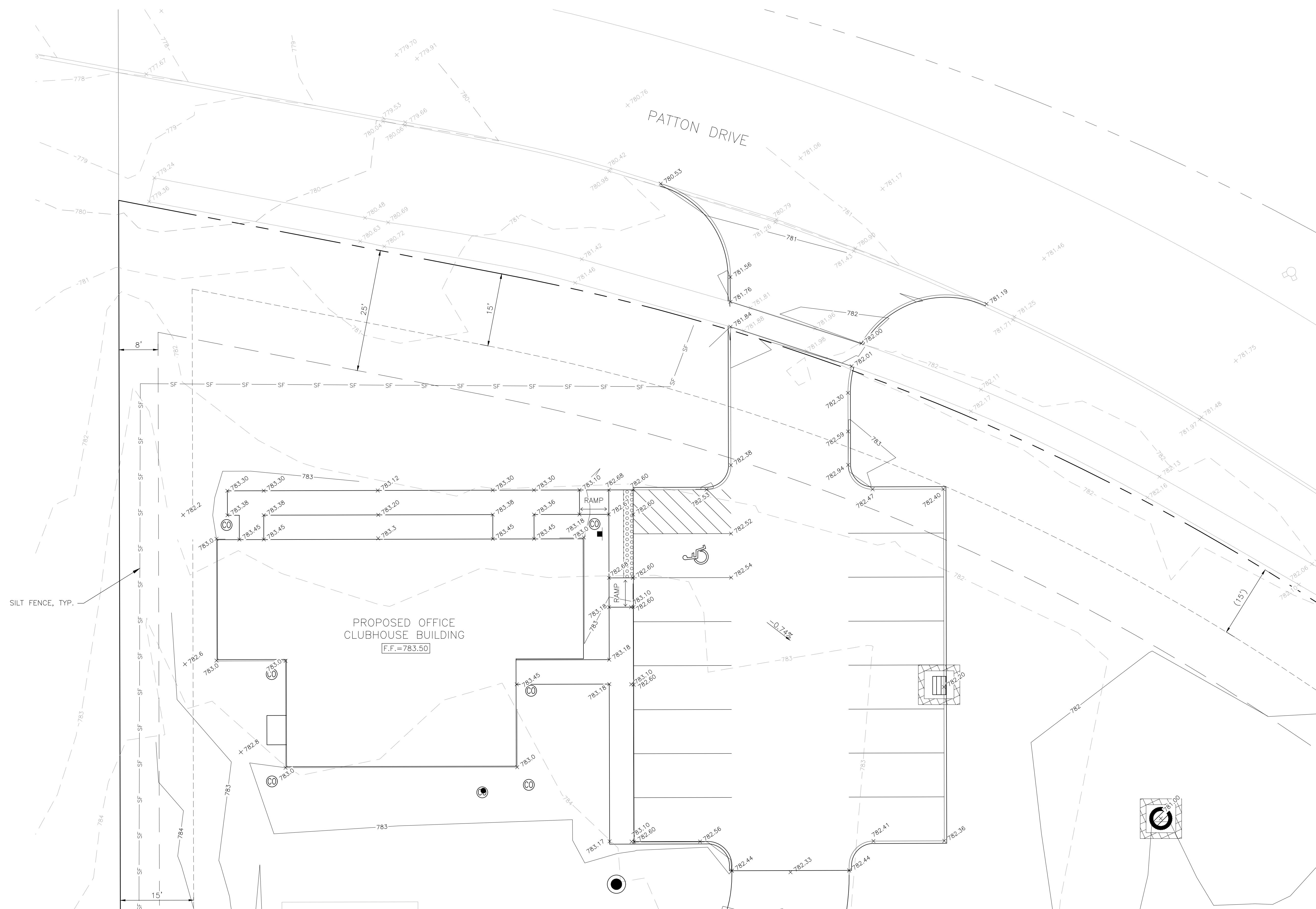
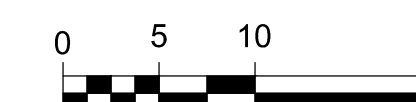
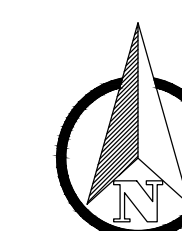
SILT FENCE, TYP.

PAVED GUTTER, TYP. SEE DETAIL

EMERGENCY OVERFLOW

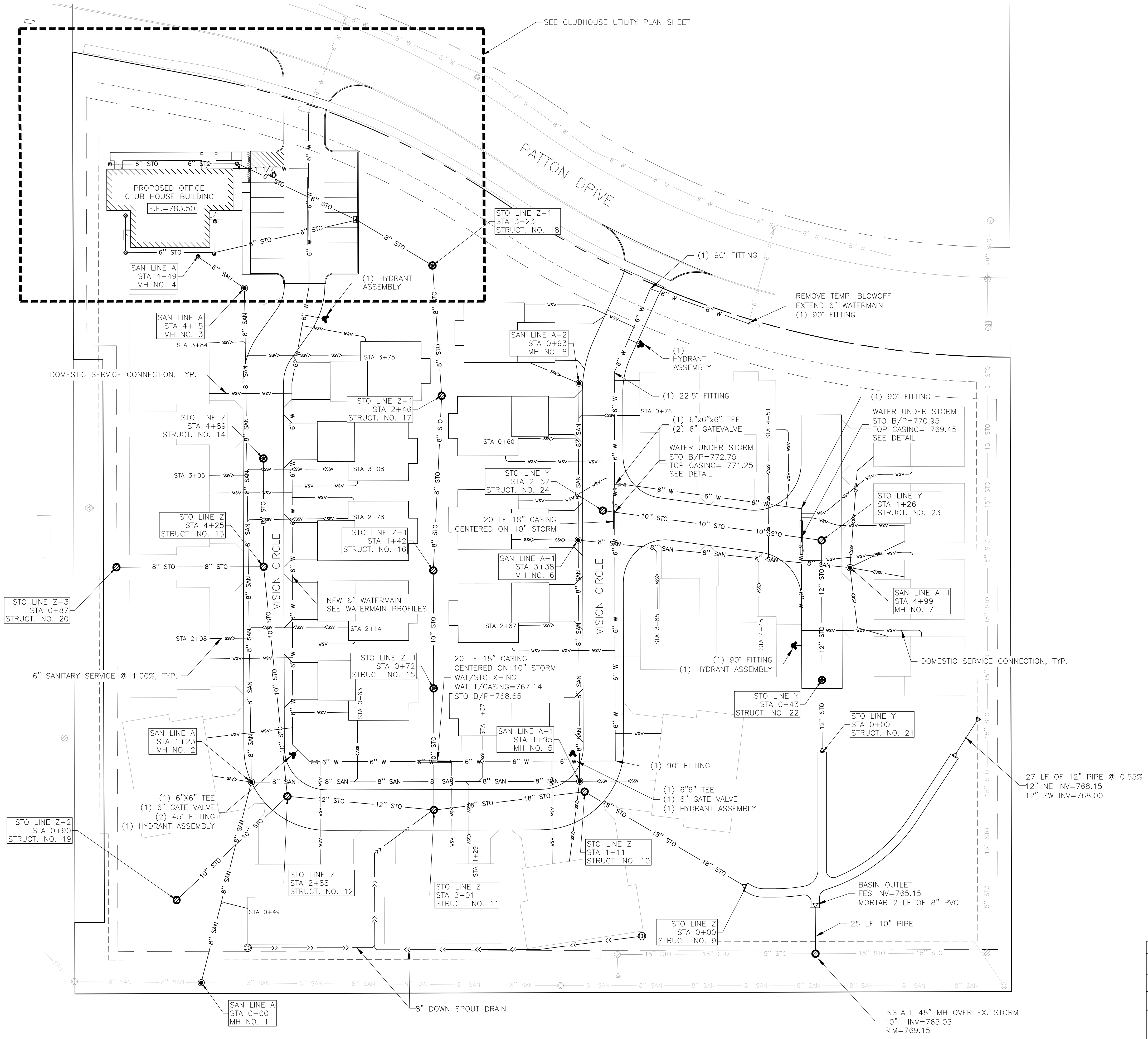
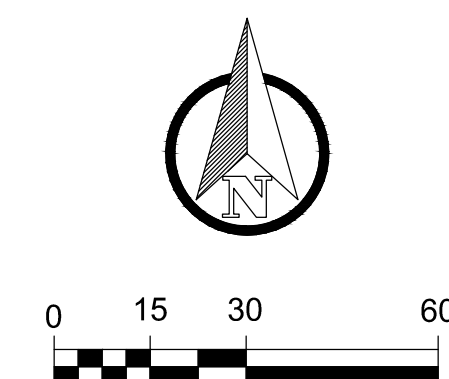
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REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GRADING & EROSION CONTROL PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C2.2



File Name: G:\CD\0121-344\Plans\21-344 Reserve at VS Current.dwg

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
CLUBHOUSE GRADING & EROSION CONTROL PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C2.3



STORM SEWER STRUCTURE SCHEDULE

LINE	PLAN STATION	PROPOSED STRUCTURE	CASTING NUMBER	POINT NO.	NORTH COORDINATE	EAST COORDINATE
Z	0+00	FES	---	9	1280815.6320	973087.4596
Z	1+11	48" MH	R-2502-D	10	1280871.9925	972991.7845
Z	2+01	48" MH	R-2502	11	1280861.2325	972902.4583
Z	2+88	48" MH	R-2502	12	1280869.2538	972815.5775
Z	4+25	Type A Inlet	R-2502-D	13	1281005.3305	972801.5141
Z	4+89	Type A Inlet	R-2502-D	14	1281069.4927	972801.3558
Z-1	0+72	Type A Inlet	R-4340-B	15	1280933.2243	972902.2807
Z-1	1+42	Type A Inlet	R-4340-B	16	1281003.1485	972902.1081
Z-1	2+46	Type A Inlet	R-4340-B	17	1281106.6252	972907.0529
Z-1	3+23	Type A Inlet	R-4340-B	18	1281183.9036	972901.6621
Z-2	0+90	Type A Inlet	R-4340-B	19	1280807.7905	972749.9225
Z-3	0+87	Type A Inlet	R-4340-B	20	1281005.0588	972714.2661

STORM SEWER STRUCTURE SCHEDULE

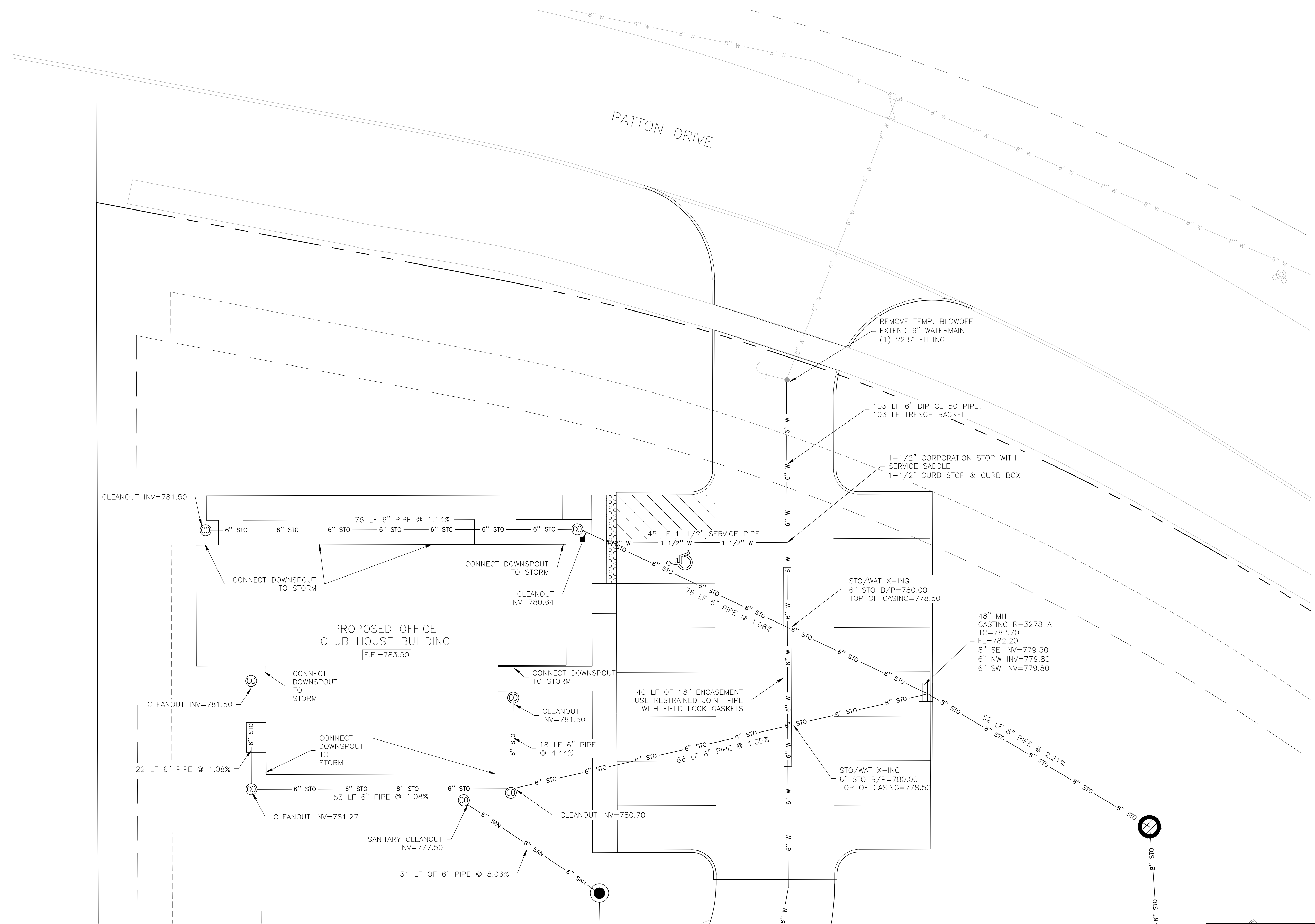
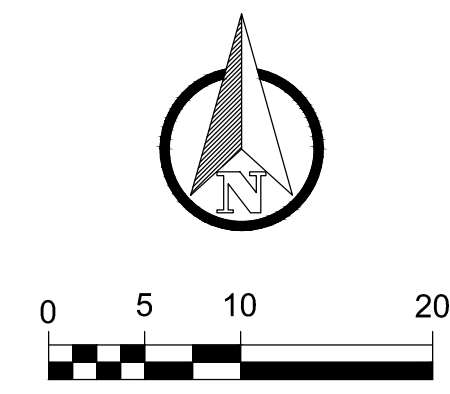
LINE	PLAN STATION	PROPOSED STRUCTURE	CASTING NUMBER	POINT NO.	NORTH COORDINATE	EAST COORDINATE
Y	0+00	FES	---	21	1280895.2356	973132.6209
Y	0+43	Type A Inlet	R-2502-D	22	1280938.1805	973132.5150
Y	1+26	Type A Inlet	R-2502-D	23	1281020.9663	973132.3107
Y	2+57	Type A Inlet	R-2502-D	24	1281038.6168	973002.6092

SANITARY SEWER STRUCTURE SCHEDULE

LINE	PLAN STATION	POINT NO.	NORTH COORDINATE	EAST COORDINATE
A	0+00	1	1280758.8125	972764.5099
A	1+23	2	1280877.6846	972794.2232
A	4+15	3	1281170.4446	972790.1439
A	4+49	4	1281189.5819	972762.8957
A-1	1+95	5	1280878.1823	972988.8500
A-1	3+38	6	1281021.0991	972988.0006
A-1	4+99	7	1281004.7798	973149.1096
A-2	0+93	8	1281114.1045	972988.4404

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
UTILITY PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C2.4

File Name: C:\CD\02\121_344\Plan\21-344_Revise at VS Current.dwg



File Name: C:\CSD\121-344\Plans\21-344 Reserve at Vision.dwg



NOTE:
 LANDSCAPING IMPROVEMENTS SHOWN ON THIS SHEET ARE INTENDED TO SHOW THE MINIMUM REQUIRED BY ORDINANCE. ADDITIONAL LANDSCAPING WILL BE PROVIDED BY THE OWNER THROUGHOUT THE DEVELOPMENT.

File Name: G:\CIBD\1801 Patton Drive\1801 Patton Drive\1801 Patton Drive\1801 Patton Drive Landscape.dwg

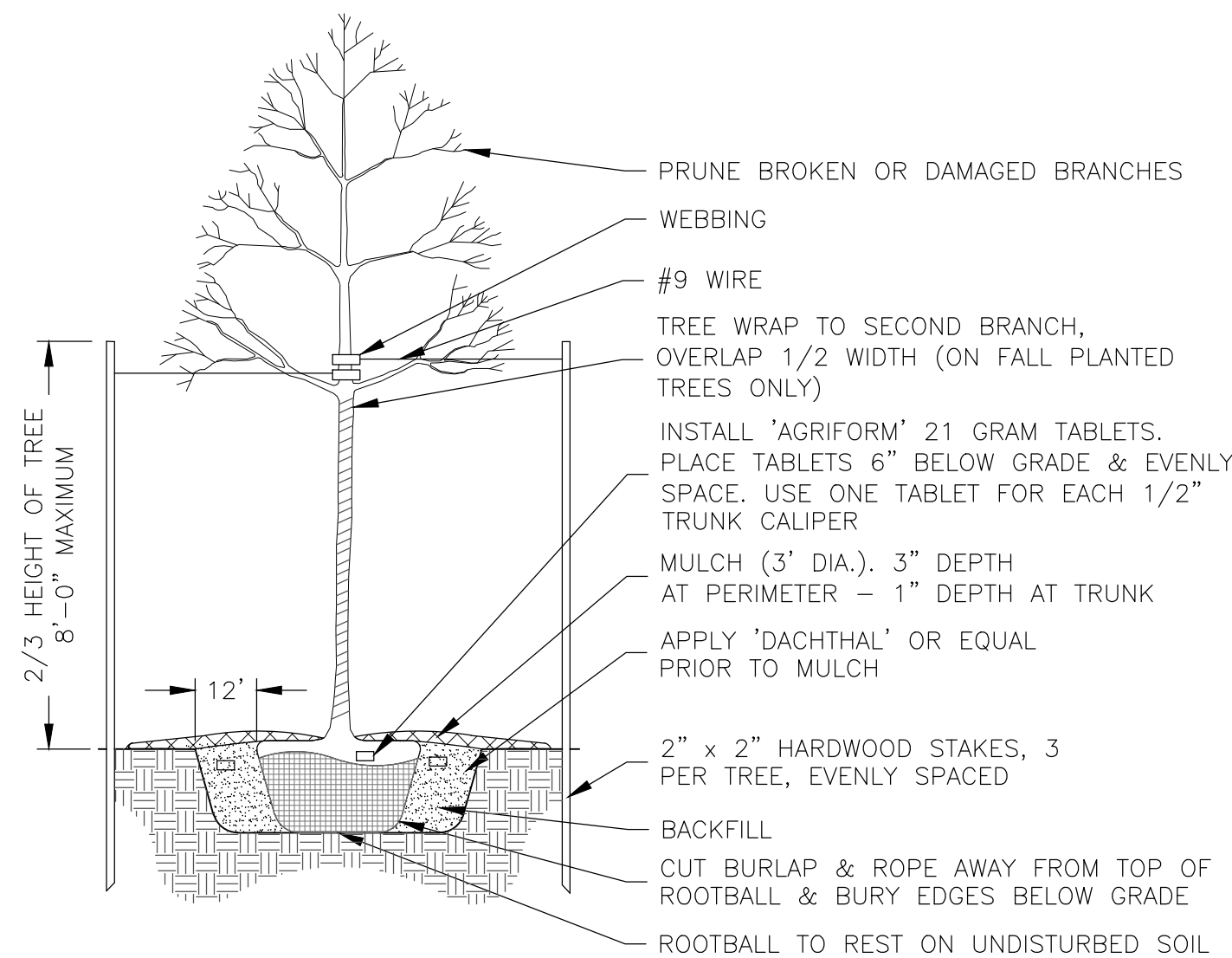
REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR, CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
LANDSCAPE PLAN		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C2.6

LANDSCAPE NOTES:

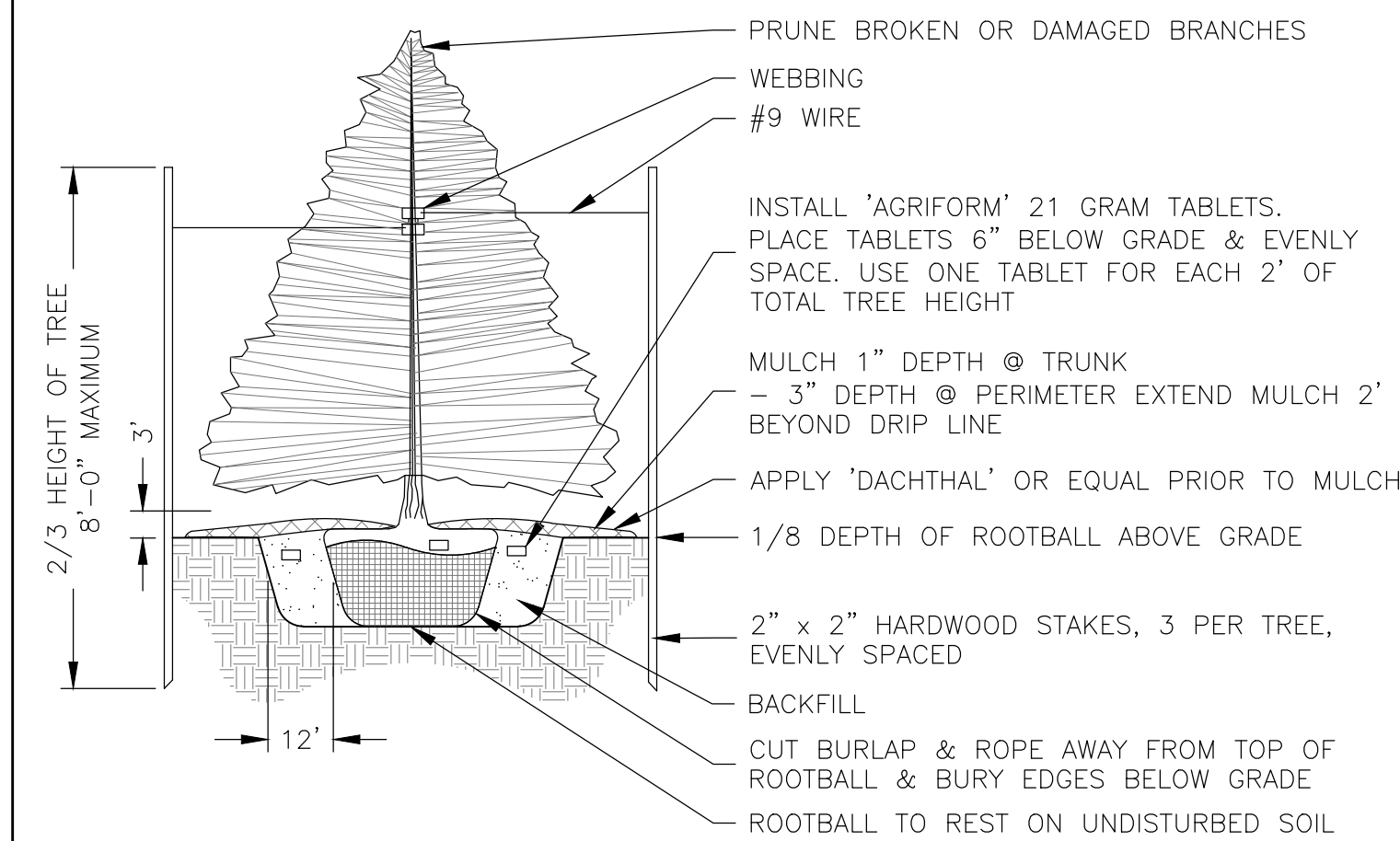
- CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND QUANTITY LISTS, PLAN SHALL GOVERN QUANTITIES.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION MAY BE LOCATED BY CALLING 811 NATIONWIDE TO REQUEST A LINE LOCATE. ANY DAMAGE TO UTILITIES OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR RESPONSIBLE FOR APPLICATION AND COST OF ALL NECESSARY PERMITS AND CODE VERIFICATIONS. SUBMIT COPIES OF ALL DOCUMENTS TO OWNER AND LANDSCAPE ARCHITECT.
- ALL SHRUB BEDS AND TREES SHALL BE MULCHED WITH A 3" DEPTH CONTINUOUS LAYER OF DARK BROWN SHREDDED HARDWOOD BARK MULCH. ALL GROUND COVER AND PERENNIAL BEDS SHALL BE MULCHED WITH A 1" DEPTH LAYER OF MULCH. ALL DECIDUOUS TREES SHALL BE MULCHED WITH A 3" DIAMETER CIRCLE OF 3" DEPTH MULCH. ALL EVERGREEN TREES SHALL BE MULCHED TO THE DRIP LINE.
- PERENNIAL AND GROUND COVER BEDS SHALL BE AMENDED WITH A 2" LAYER OF MUSHROOM COMPOST, TILLED TO A DEPTH OF 6", RAKED SMOOTH, FERTILIZED WITH COMMERCIAL 10-6-4 FERTILIZER AT A RATE OF 25 LBS. PER 1,000 S.F., PLANTED, COVERED WITH 1" LAYER OF DARK BROWN SHREDDED HARDWOOD BARK MULCH AND WATERED.
- EDGE ALL SHRUB BEDS THAT ABUTS LAWN WITH A 4" WIDTH BY 4" DEPTH 'V' SHAPED SPADED EDGE, CONTINUOUS.
- THE TOPSOIL CONDITION FOR THIS PROJECT SITE IS AS FOLLOWS:
CONTRACTOR TO SUPPLY, PLACE AND FINISH GRADE TOPSOIL AT SPECIFIED DEPTHS IN PLANTING AND LAWN AREAS. PLANTING AREAS: 12 INCHES, LAWN AREAS: 6 INCHES.
- GUARANTEE OF PLANTS FOR ONE (1) YEAR SHALL BEGIN AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES OF ALL PLANT MATERIAL, INCLUDING WATERING, CULTIVATING, WEEDING, MULCHING AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE (1) YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD.

PLANT LIST:

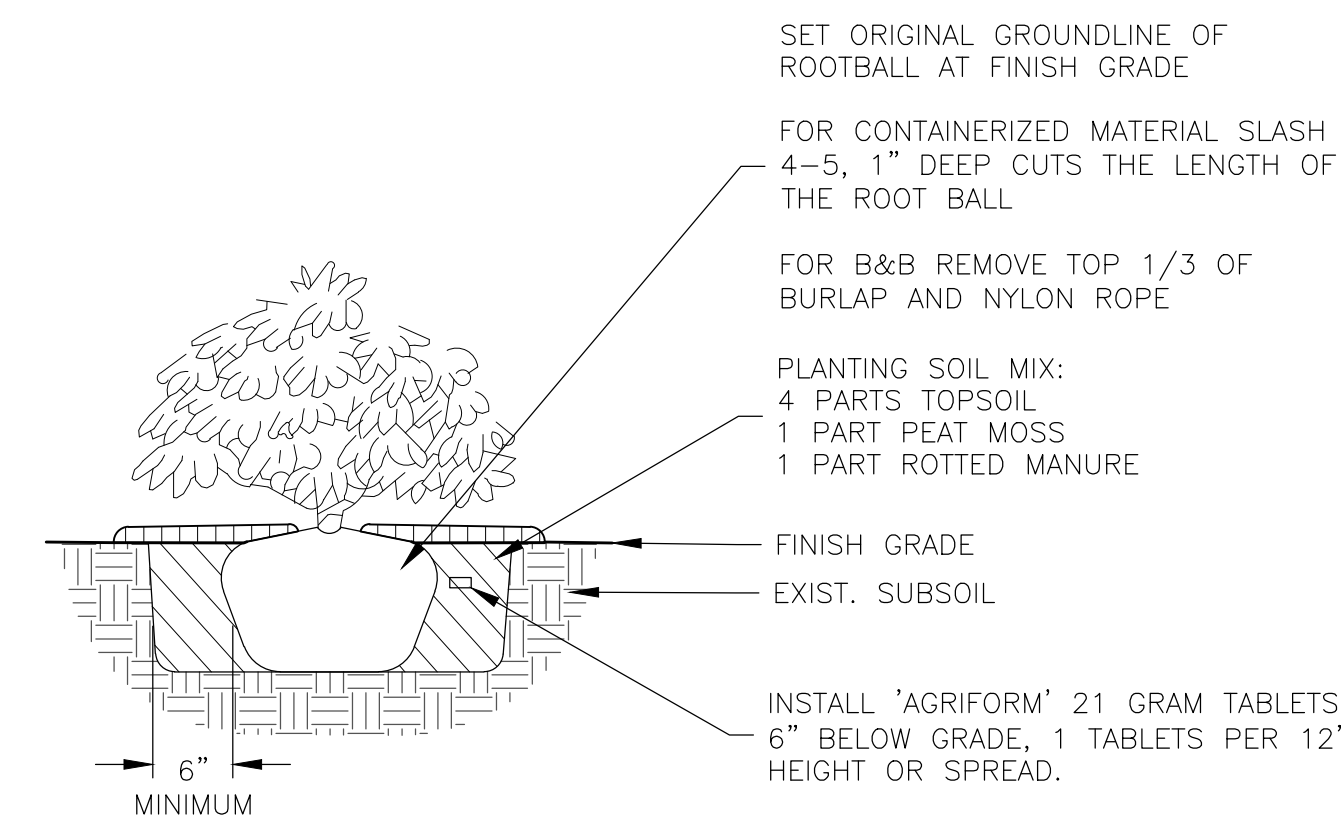
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
PAB	6	<i>Picea abies</i>	NORWAY SPRUCE	6' HT.	UNSHEARED
PGA	3	<i>Picea glauca var. densata</i>	WHITE SPRUCE	6' HT.	UNSHEARED
PS	0	<i>Pinus strobus</i>	WHITE PINE	8' HT.	UNSHEARED
PSY	3	<i>Pinus sylvestris</i>	SCOTCH PINE	6' HT.	UNSHEARED
CP	3	<i>Crataegus phaenopyrum</i>	WASHINGTON HAWTHORN	6' HT.	MULTI-STEM
MLP	6	<i>Malus 'Prairifire'</i>	PRAIRIFIRE CRABAPPLE	6' HT.	MULTI-STEM
SJT	3	<i>Syringa reticulata</i>	JAPANESE TREE LILAC	6' HT.	MULTI-STEM
AAB	5	<i>Acer x freemanii 'Autumn Blaze'</i>	AUTUMN BLAZE FREEMAN MAPLE	3" CALP.	
AP	1	<i>Acer platanoides 'Emerald Queen'</i>	EMERALD QUEEN NORWAY MAPLE	3" CALP.	
GTS	3	<i>Gleditsia triacanthos 'Skyline'</i>	SKYLINE HONEYLOCUST	3" CALP.	
QBI	0	<i>Quercus bicolor</i>	SWAMP WHITE OAK	3" CALP.	
QR	4	<i>Quercus rubra</i>	RED OAK	3" CALP.	
UJW	1	<i>Ulmus japonica x wilsoniana 'Morton'</i>	ACCOLADE ELM	3" CALP.	
SHRUBS					
CIH	9	<i>Cornus alba 'Ivory Halo'</i>	IVORY HALO DOGWOOD	36"	
CS	21	<i>Cornus sericea</i>	RED TWIG DOGWOOD	36"	
RKO	8	<i>Rosa 'Radrazz'</i>	KNOCK OUT ROSE	3 GAL.	
SNF	8	<i>Spiraea japonica 'Neon Flash'</i>	NEON FLASH SPIREA	24"	
VD	12	<i>Viburnum dentatum</i>	ARROWWOOD VIBURNUM	36"	
VLM	9	<i>Viburnum lantana 'Mohican'</i>	MOHICAN WAYFARINGTREE VIBURNUM	36"	
WWR	14	<i>Weigela florida 'Wine & Roses'</i>	WINE & ROSES WEIGELA	24"	
BMG	8	<i>Buxus 'Green Velvet'</i>	GREEN VELVET BOXWOOD	5 GAL.	
JCS	14	<i>Juniperus chinensis 'Sargentii'</i>	SARGENT JUNIPER	5 GAL.	
TMD	5	<i>Taxus x media 'Densiformis'</i>	DENSE YEW	5 GAL.	
PERENNIALS, GROUNDCOVER, ORNAMENTAL GRASSES					
AAS	31	<i>Allium angulosum 'Summer Beauty'</i>	SUMMER BEAUTY ONION	1 GAL.	2 O.C.
HHR	24	<i>Hemerocallis 'Happy Returns'</i>	HAPPY RETURNS DAYLILY	1 GAL.	2 O.C.
HMO	8	<i>Heuchera micrantha 'Obsidian'</i>	OBSIDIAN CORAL BELLS	1 GAL.	2 O.C.
VMI	120	<i>Vinca minor</i>	PERIWINKLE	3"	1 O.C.



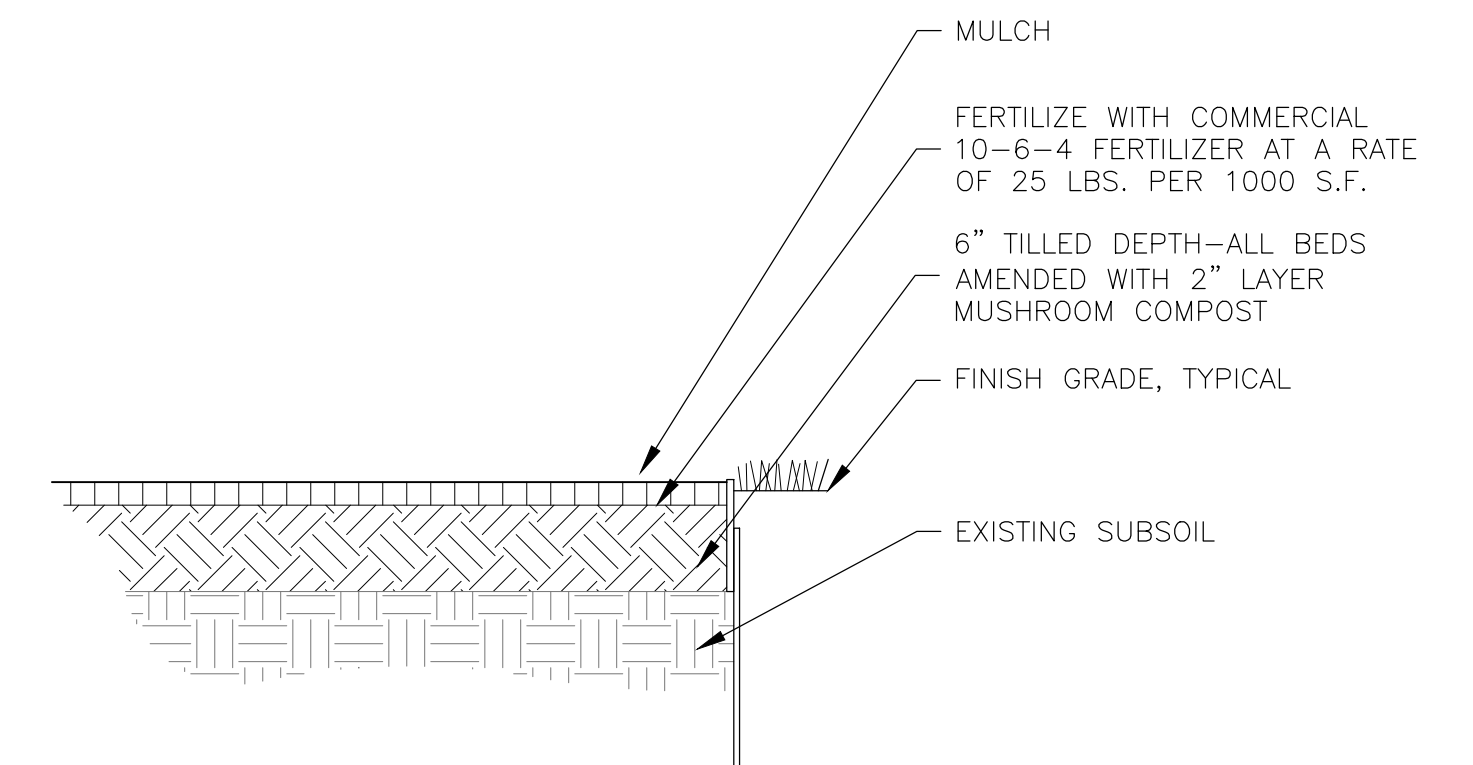
TREE PLANTING
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.

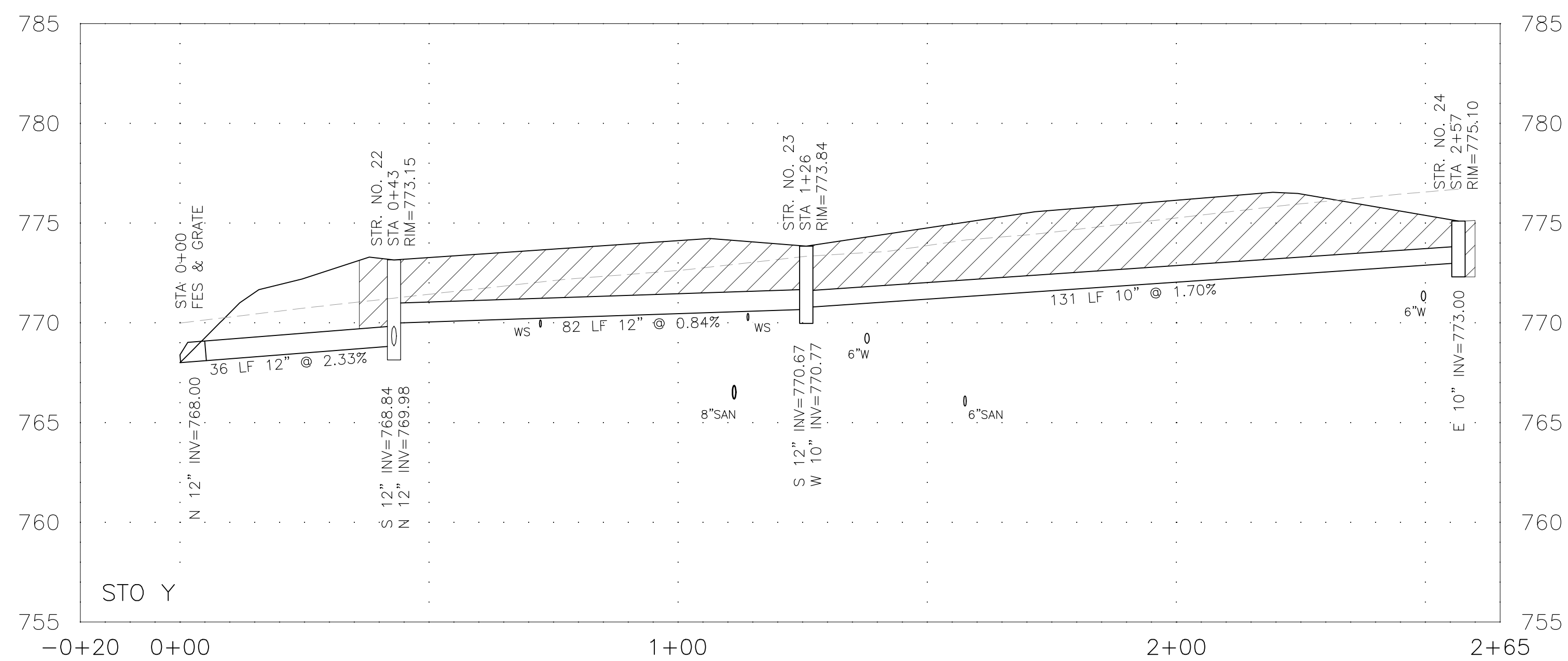
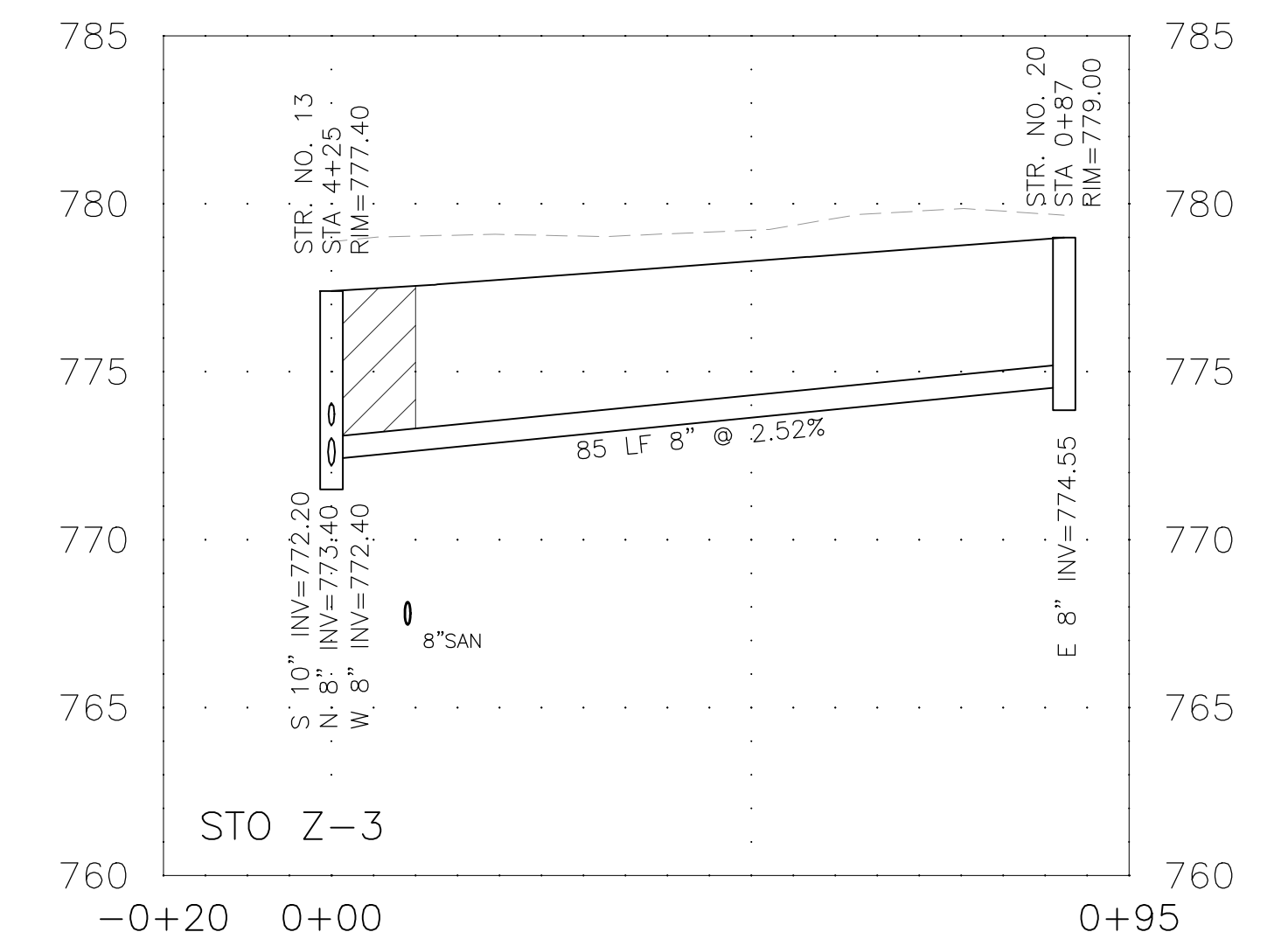
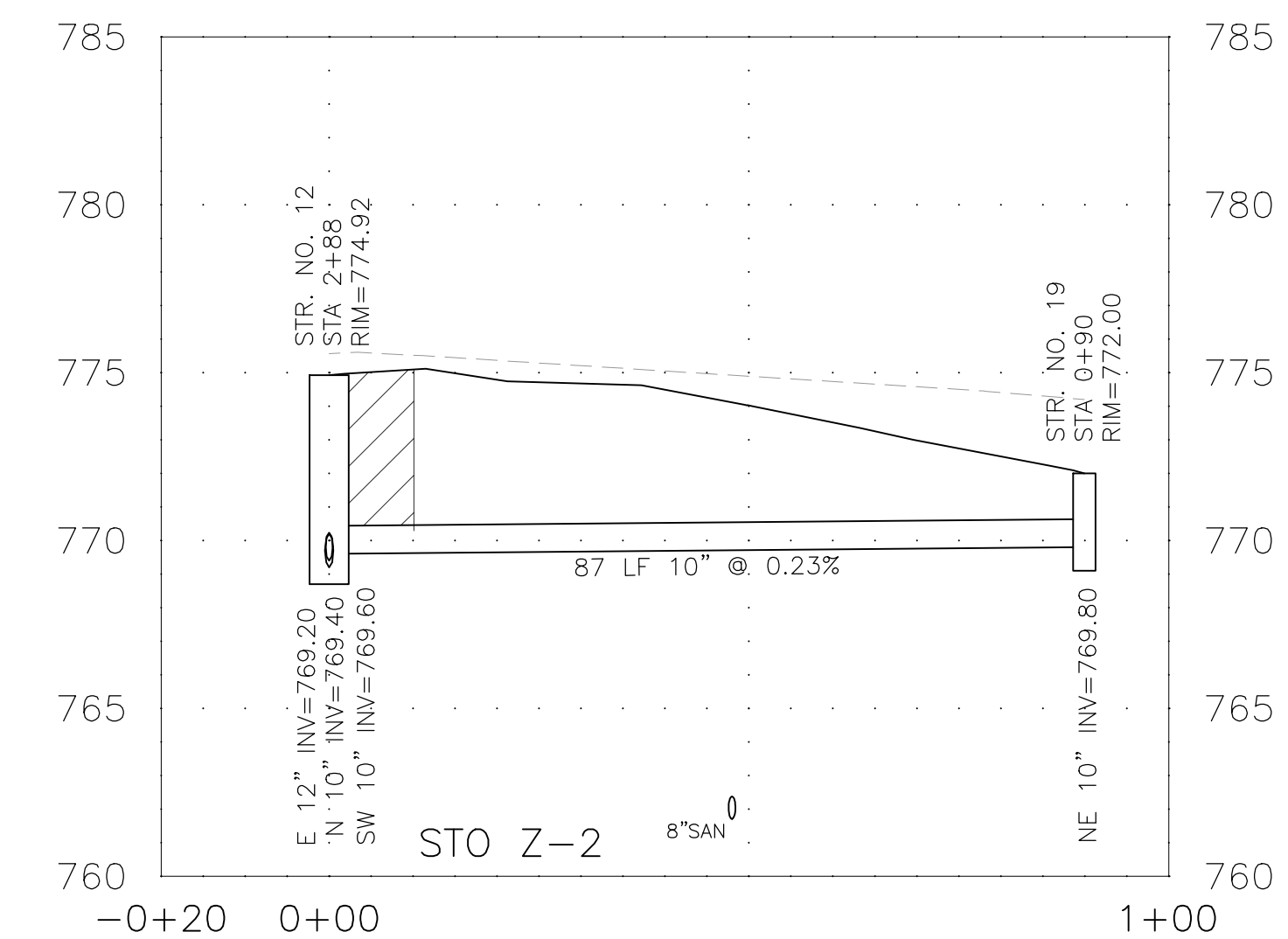
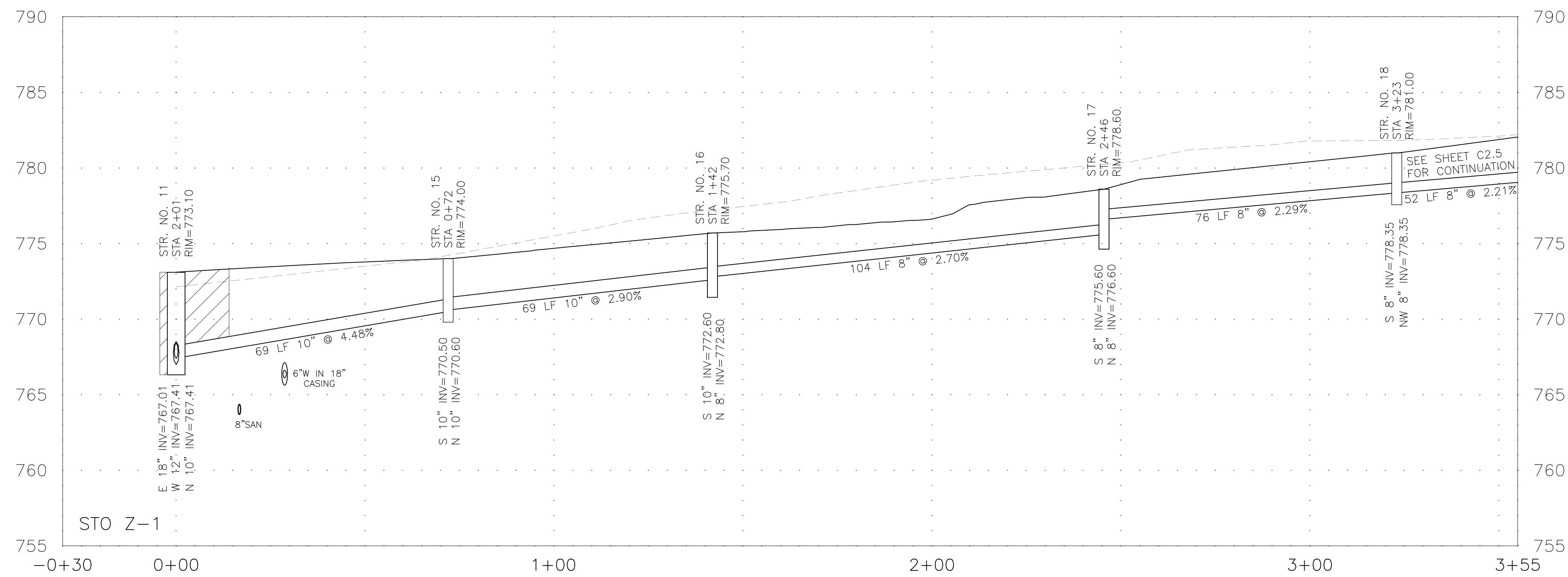
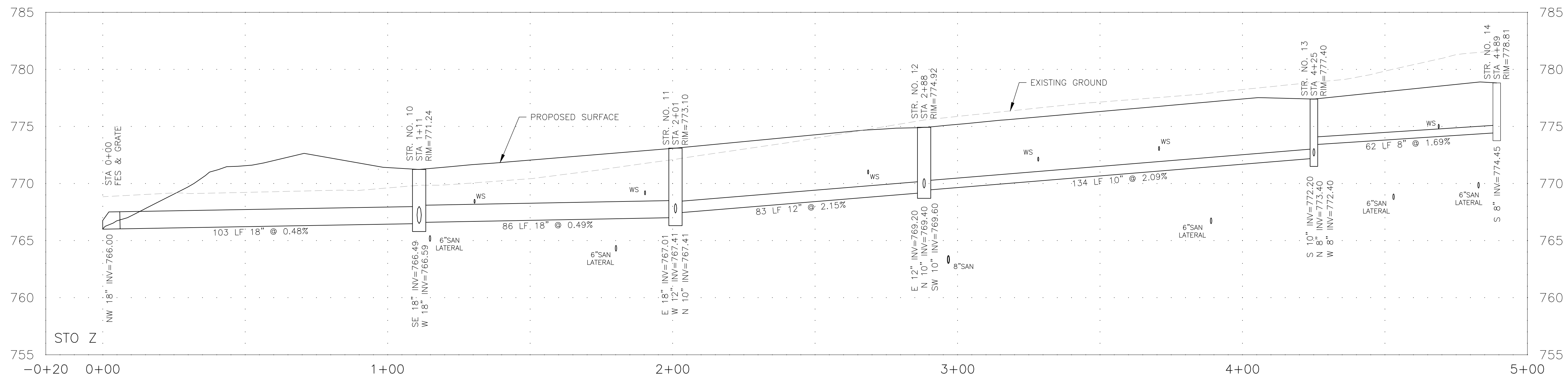


SHRUB PLANTING
N.T.S.



PERENNIAL/GROUNDCOVER PLANTING
N.T.S.

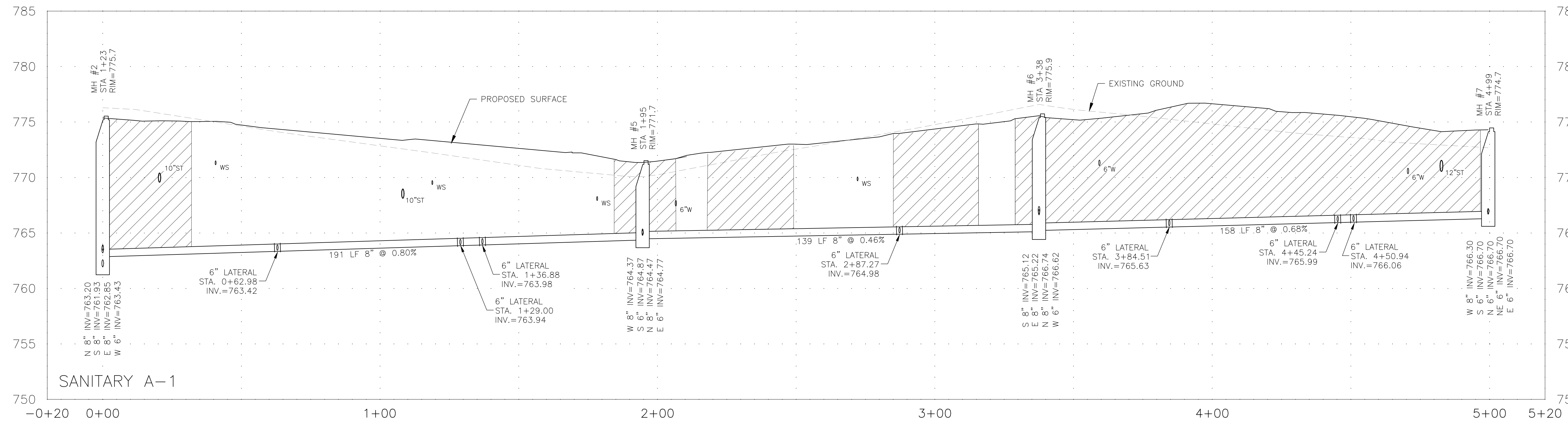
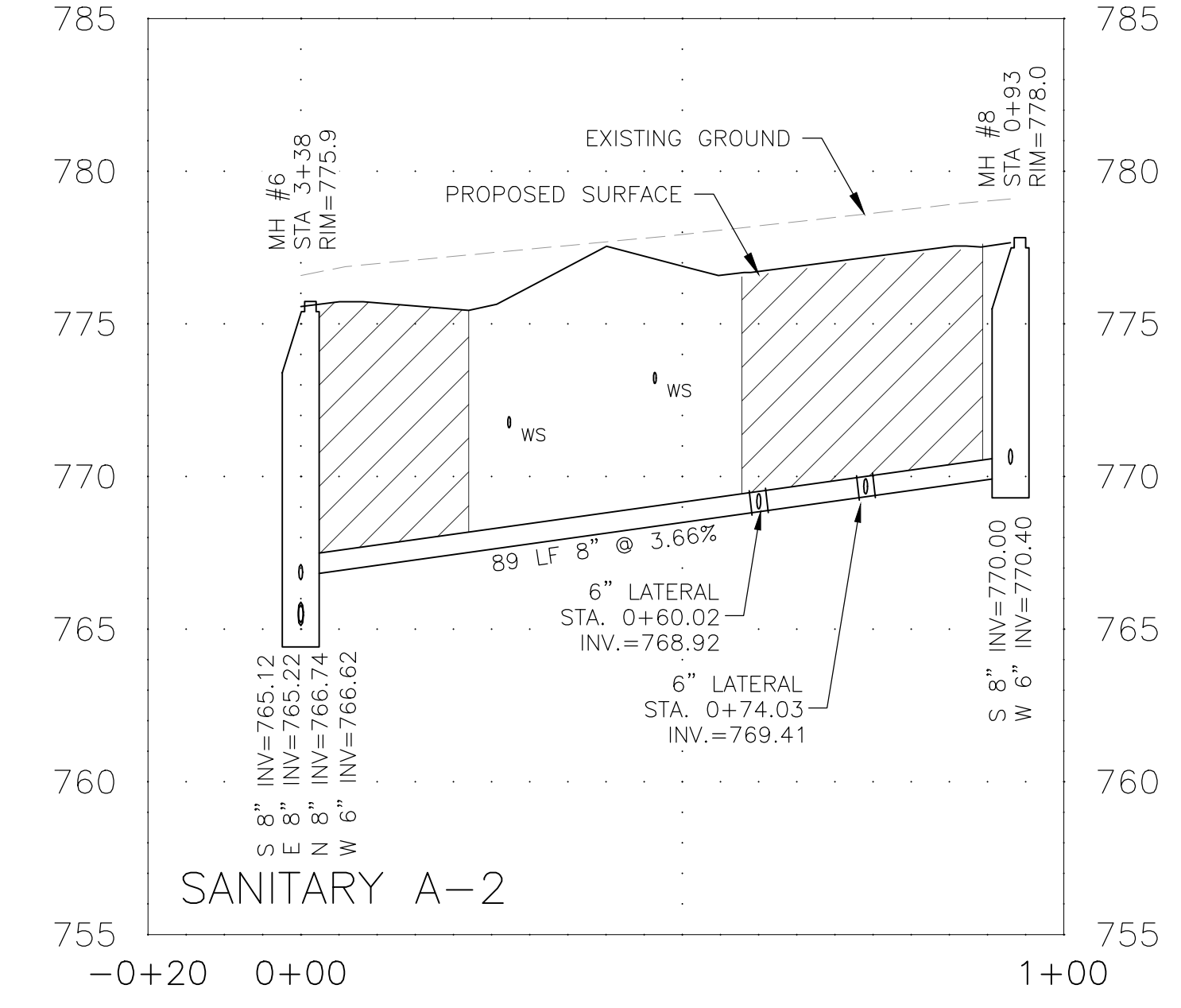
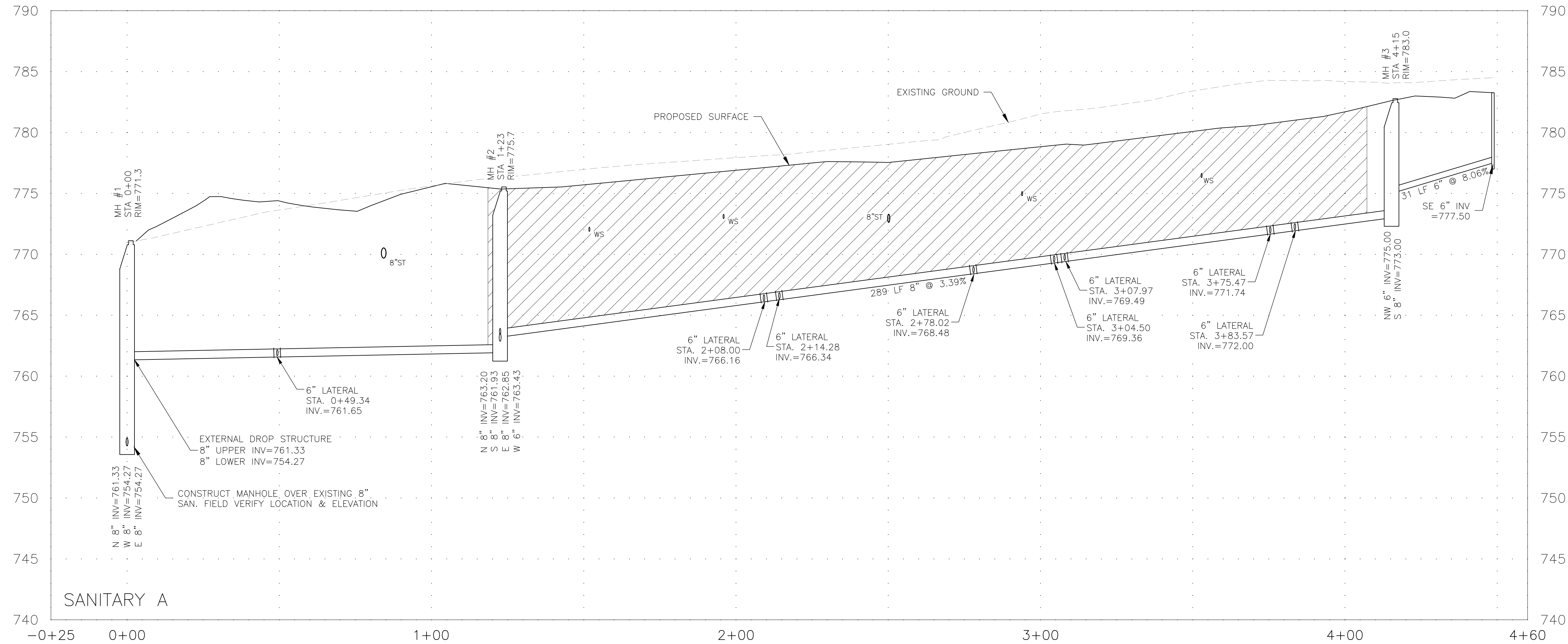
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DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
LANDSCAPE NOTES & DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
		JOB # 21-344
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		SHEET C2.7



SCALE:
HORZ. 1"=20'
VERT. 1"=5'

LEGEND:
 MECHANICALLY COMPACTED GRANULAR TRENCH BACKFILL

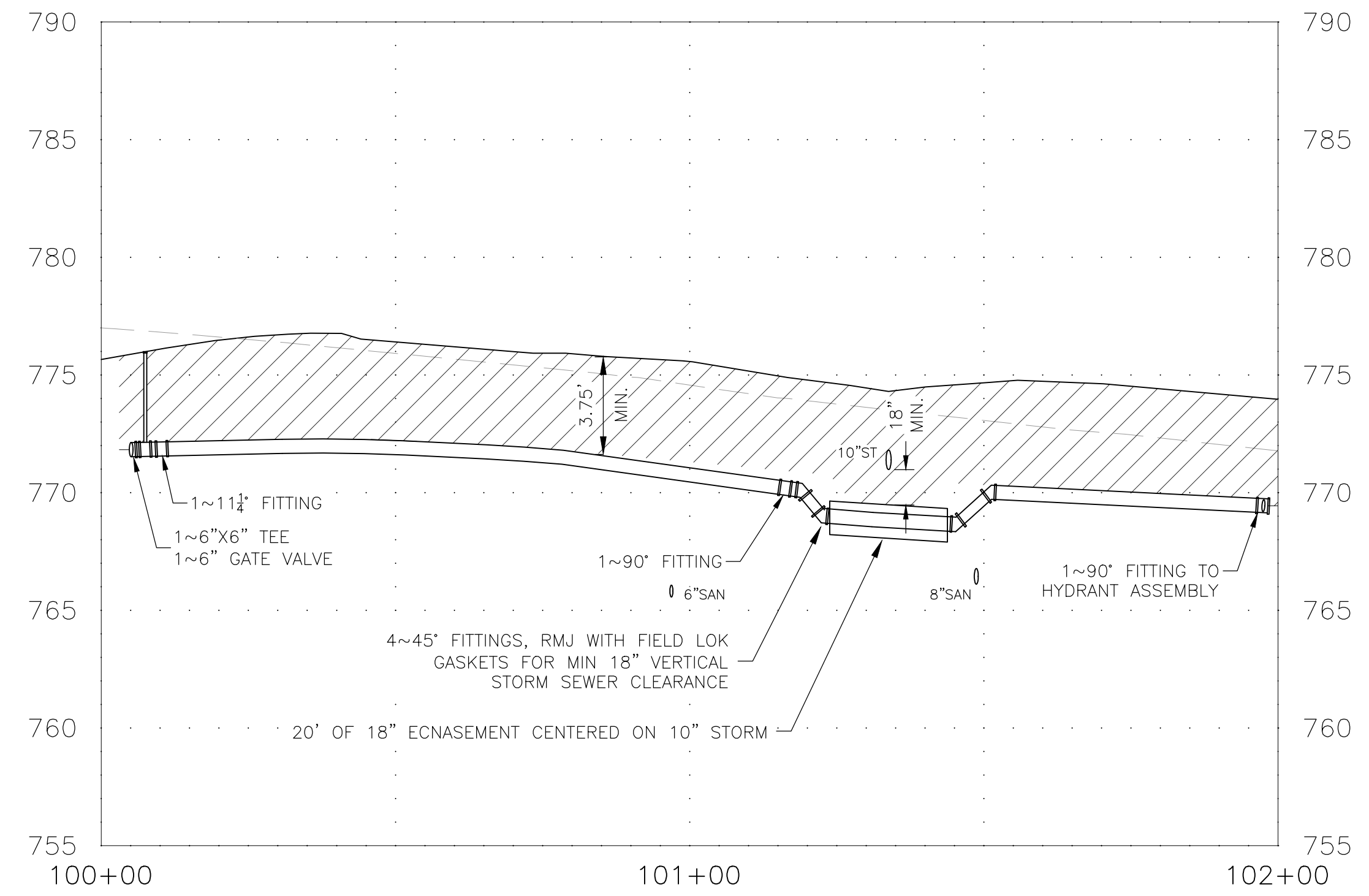
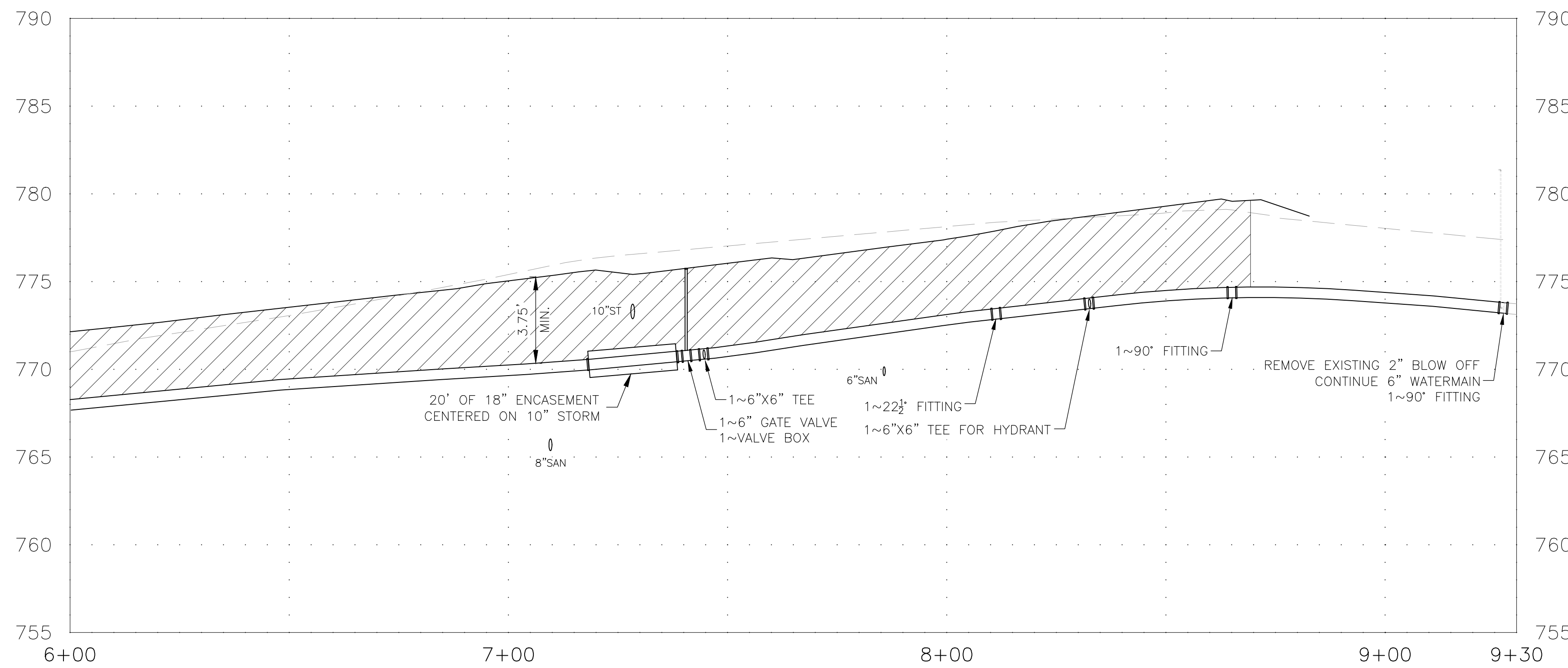
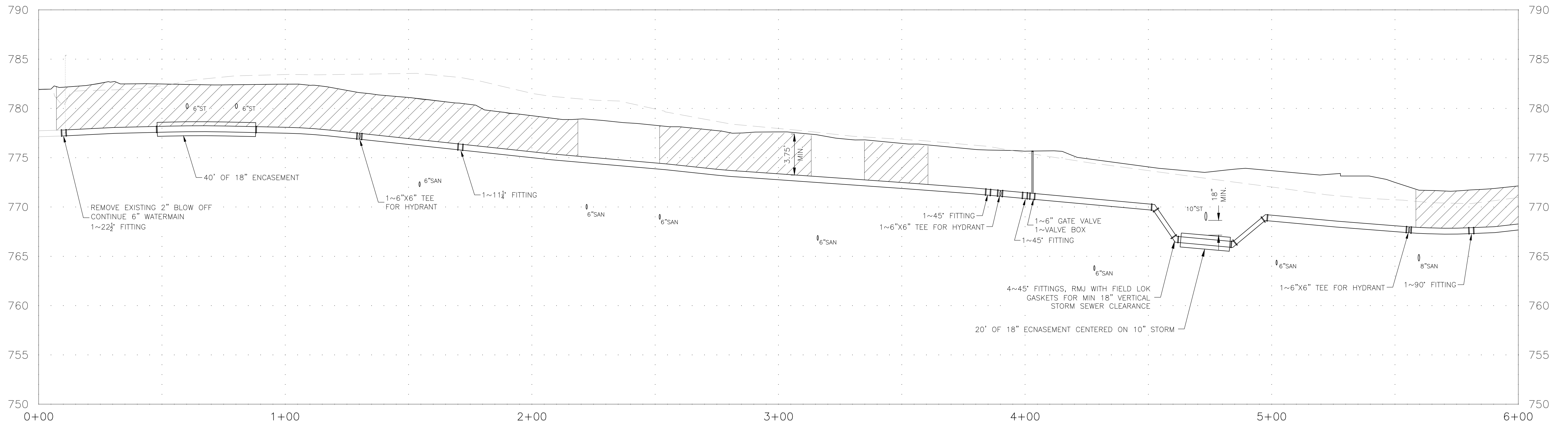
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DATE:	04/28/21	SCALE: AS SHOWN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLT
CHECKED BY:	CMO	
STORM SEWER PROFILES		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		ILLINOIS IDWA WISCONSIN FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821 ILLINOIS DESIGN FIRM NO. 184-003525
		JOB # 21-344 SHEET C2.8



SCALE:
 HORZ. 1"=20'
 VERT. 1"=5'

LEGEND:
 MECHANICALLY COMPACTED GRANULAR TRENCH BACKFILL

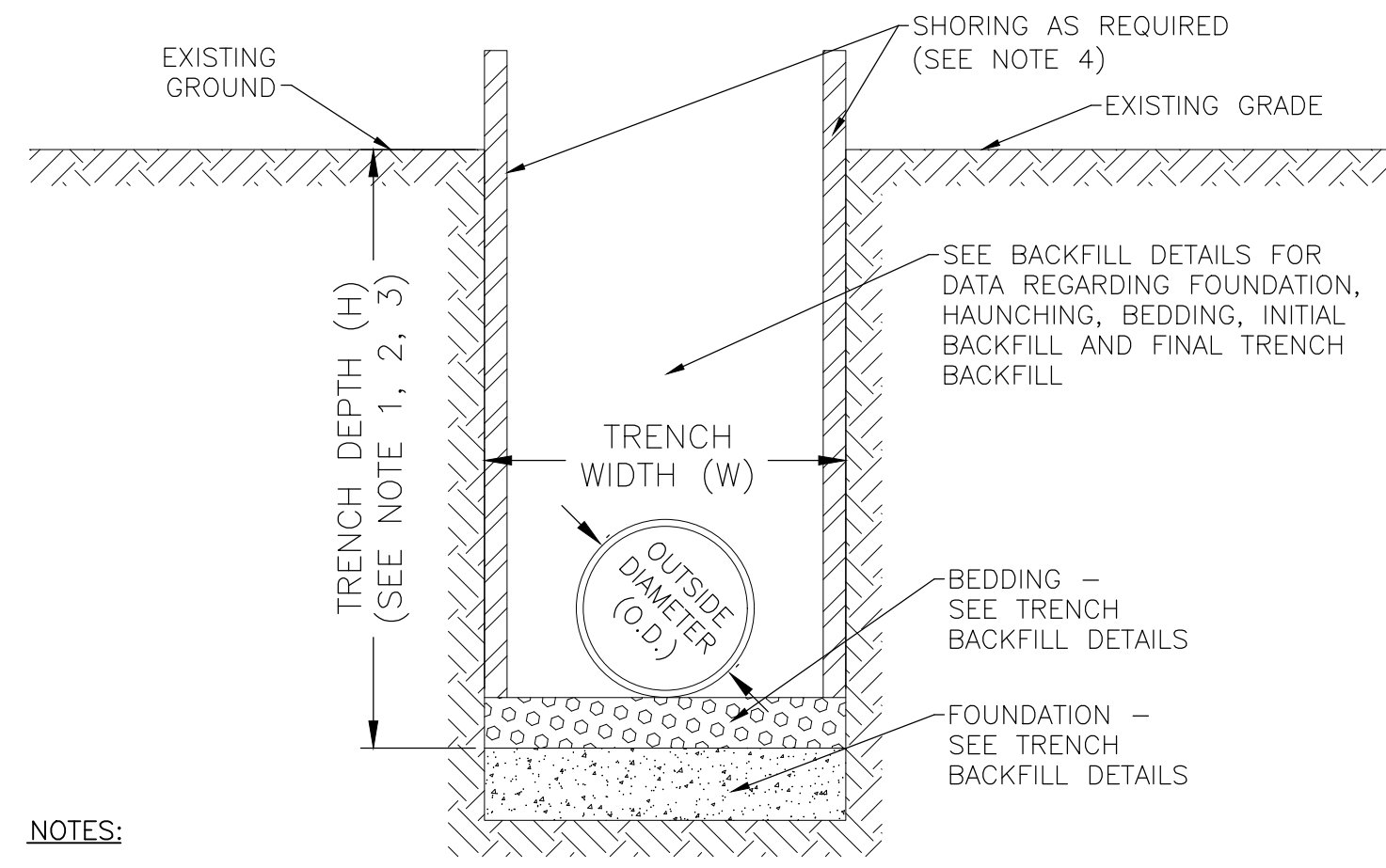
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DATE:	04/28/21	SCALE: AS SHOWN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLT
CHECKED BY:	CMO	
SANITARY SEWER PROFILES		
FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821 <small>ILLINOIS DESIGN FIRM NO. 184-003525</small>		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET 2.9



SCALE:
 HORZ. 1"=20'
 VERT. 1"=5'

LEGEND:
 MECHANICALLY COMPACTED GRANULAR TRENCH BACKFILL

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
WATERMAIN PROFILES		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C2.10



- NOTES:**
- FOR H LESS THAN OR EQUAL TO 5 FEET DEEP, $W = O.D. + 24$ INCHES.
 - FOR H GREATER THAN 5 FEET DEEP, $W = O.D. + 36$ INCHES.
 - FOR H GREATER THAN 20 FEET DEEP, PROVIDE A TRENCH STRUCTURAL SUPPORT SYSTEM DESIGNED BY AN ILLINOIS PROFESSIONAL ENGINEER OR AN ILLINOIS STRUCTURAL ENGINEER.
 - UTILIZE STRUCTURAL SUPPORT SYSTEMS IN ACCORDANCE WITH SECTION 20 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

**UTILITY TRENCH EXCAVATION
FOR CONDUITS 0 TO 20 FEET IN DEPTH**
LIMITS OF EXCAVATION FOR SANITARY SEWERS, STORM SEWERS,
WATER MAIN AND OTHER UTILITIES
NO SCALE

TRENCH EXCAVATION AND BACKFILL NOTES

- ALL TRENCH EXCAVATION AND BACKFILL WORK SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS. BEDDING, INITIAL BACKFILL AND FINAL BACKFILL SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILS AND SECTION 20 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION.
- ALL EXCAVATIONS SHALL BE PROTECTED BY SHORING, BRACING, SHEETING, UNDERPINNING, TRENCH BOXES OR OTHER METHODS TO PREVENT CAVE-IN OR LOOSE SOIL FROM FALLING INTO TRENCHES.
- PROVIDE COMPACTED SELECTED GRANULAR MATERIAL FOR INITIAL AND FINAL BACKFILL WHEN THE INNER EDGE OF A TRENCH OR MANHOLE EXCAVATION IS BENEATH OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT, CURB, SHOULDER OR SIDEWALK (METHOD 1).
- CONTROLLED LOW STRENGTH MATERIAL (CLSM) BACKFILL (FLOWABLE FILL) MAY BE SUBSTITUTED FOR SELECTED GRANULAR TRENCH BACKFILL MATERIAL.
- THE DENSITY OF THE TRENCH BACKFILL MUST BE DETERMINED AT (2) FOOT INTERVALS OF THE BACKFILL CONSTRUCTION AND TEST RESULTS SHALL BE PROVIDED TO THE VILLAGE ENGINEER. TESTS SHALL BE TAKEN AT NOT LESS THAN 100 FOOT INTERVALS ALONG THE TRENCH AND EVERY TRENCH LESS THAN 100 FEET IN LENGTH SHALL BE TESTED.

TABLE A

COMPACTION REQUIREMENTS FOR MOIST AGGREGATE MATERIALS FOR FOUNDATION, BEDDING, HAUNCHING, AND INITIAL BACKFILL ONLY

GRADATION	MINIMUM COMPACTION REQUIREMENT STANDARD PROCTOR
CA-6, CA-9, CA-13, CA-16	90%
FA-5, FA-6, FA-10	90%
CA-7, CA-11	RAMMING & TAMPING

NOTE:

MOIST AGGREGATE MATERIALS FOR FOUNDATION, BEDDING, HAUNCHING AND INITIAL BACKFILL SHALL MEET THE REQUIREMENTS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" FOR COARSE AGGREGATE OR FINE AGGREGATE MATERIAL AS NOTED IN TABLE B.

TABLE B

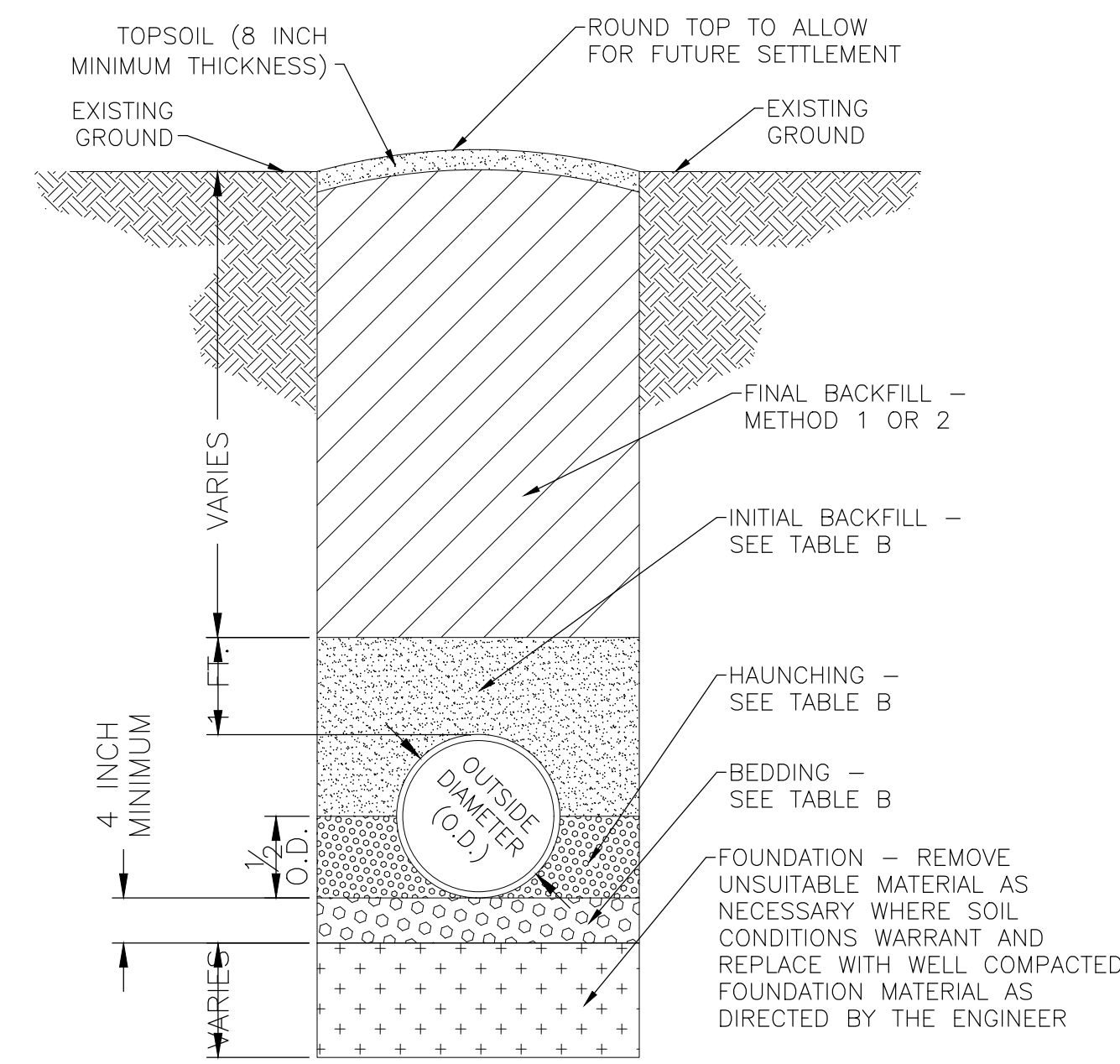
TRENCH BACKFILL MATERIALS FOR NON - PAVEMENT AREA

CONDUIT MATERIALS	BEDDING	HAUNCHING	INITIAL BACKFILL	FINAL BACKFILL
STORM DRAIN / CULVERTS				
CONCRETE	AGG	AGG	FGM	EXM
DUCTILE IRON	AGG	AGG	FGM	EXM
PVC OR HDPE	AGG	AGG	AGG	EXM
CMP	AGG	AGG	AGG	EXM
TYPE S REINFORCED	AGG	AGG	AGG	EXM
SANITARY SEWERS				
VITRIFIED CLAY	AGG	AGG	AGG	EXM
PVC OR HDPE	AGG	AGG	AGG	EXM
DUCTILE IRON	AGG	AGG	FGM	EXM
WATER MAIN				
DUCTILE IRON	AGG	AGG	FGM	EXM
PVC	AGG	AGG	AGG	EXM
COPPER TUBING	AGG	AGG	AGG	EXM
PE TUBING	AGG	AGG	AGG	EXM

AGG - MOIST AGGREGATE MATERIALS
FGM - FINE GRAINED MATERIAL EXCAVATED FROM THE TRENCH
EXM - EXISTING MATERIALS EXCAVATED FROM THE TRENCH

FOR FLEXIBLE PIPE, EMBEDMENT MATERIAL SHALL COMPLY WITH CLASS II IN ACCORDANCE WITH ASTM D-2321.

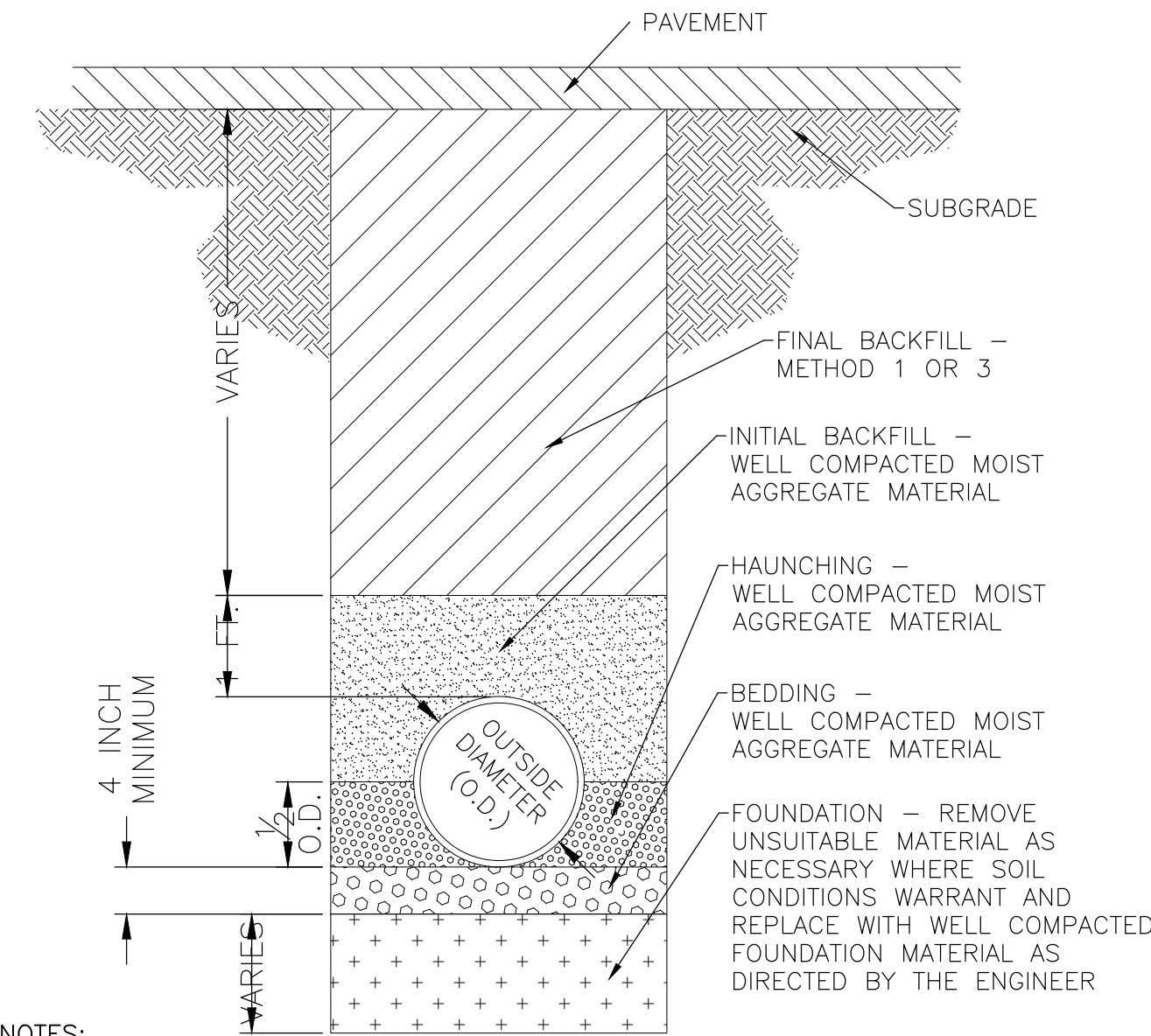
FOR CONCRETE OR VITRIFIED CLAY PIPE, EMBEDMENT MATERIAL SHALL BE IN ACCORDANCE WITH ASTM C-12.



- NOTES:**
- METHOD 1 FINAL BACKFILL: 12 INCH MAXIMUM LIFTS WITH MATERIAL EXCAVATED FROM THE TRENCH AND COMPACT BY RAMMING OR TAMPING TO 85% STANDARD PROCTOR DENSITY.
- METHOD 2 FINAL BACKFILL: INUNDATION AND WATER JETTING; REFER TO DIVISION II, SECTION 20 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION.
- NON-PAVEMENT AREA: ALL AREAS NOT BENEATH OR WITHIN TWO (2) FEET OF OR EXISTING PROPOSED PAVEMENTS, CURBS, SHOULDERS OR SIDEWALKS. REFER TO TABLE A FOR NON-FINAL BACKFILL COMPACTION REQUIREMENTS. REFER TO TABLE B FOR TYPES OF BACKFILL MATERIALS UTILIZED.

TRENCH BACKFILL FOR NON-PAVEMENT AREAS

NO SCALE



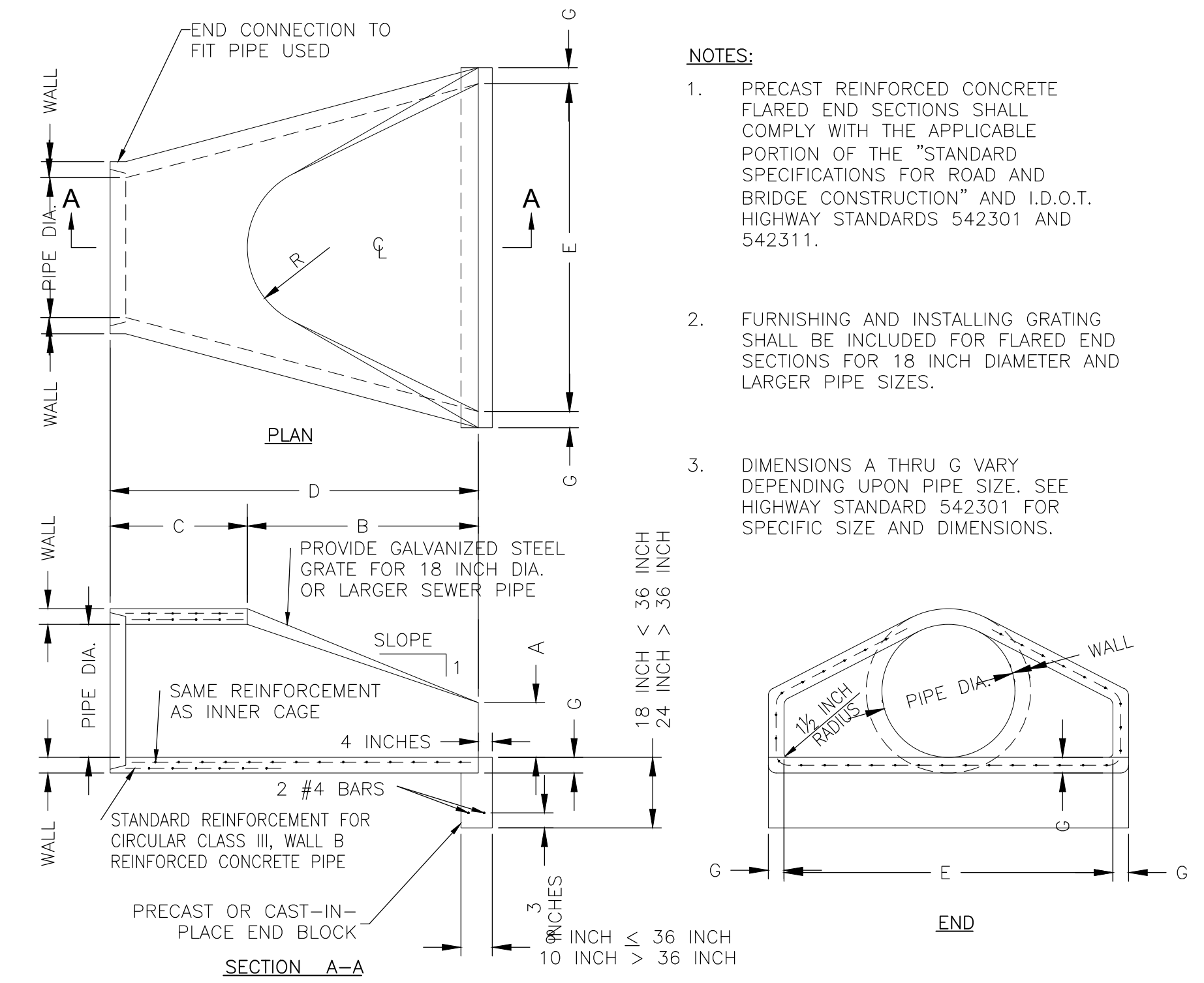
- NOTES:**
- METHOD 1 FINAL BACKFILL: SELECTED GRANULAR MATERIAL SHALL BE MOIST AGGREGATE MATERIAL MEETING THE REQUIREMENTS OF TABLE A, SHALL BE DEPOSITED IN UNIFORM LAYERS NOT EXCEEDING SIX (6) INCH THICKNESS (LOOSE MEASURE), AND EACH LAYER SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- METHOD 3 FINAL BACKFILL: CONTROLLED LOW STRENGTH MATERIAL (FLOWABLE FILL). REFER TO DIVISION II, SECTION 20 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION.

REFER TO TABLE A FOR NON-FINAL BACKFILL COMPACTION REQUIREMENTS.

PAVEMENT AREAS: BENEATH OR WITHIN TWO (2) FEET OF EXISTING OR PROPOSED PAVEMENTS, CURBS, SHOULDERS, OR SIDEWALKS.

TRENCH BACKFILL FOR PAVEMENT AREAS

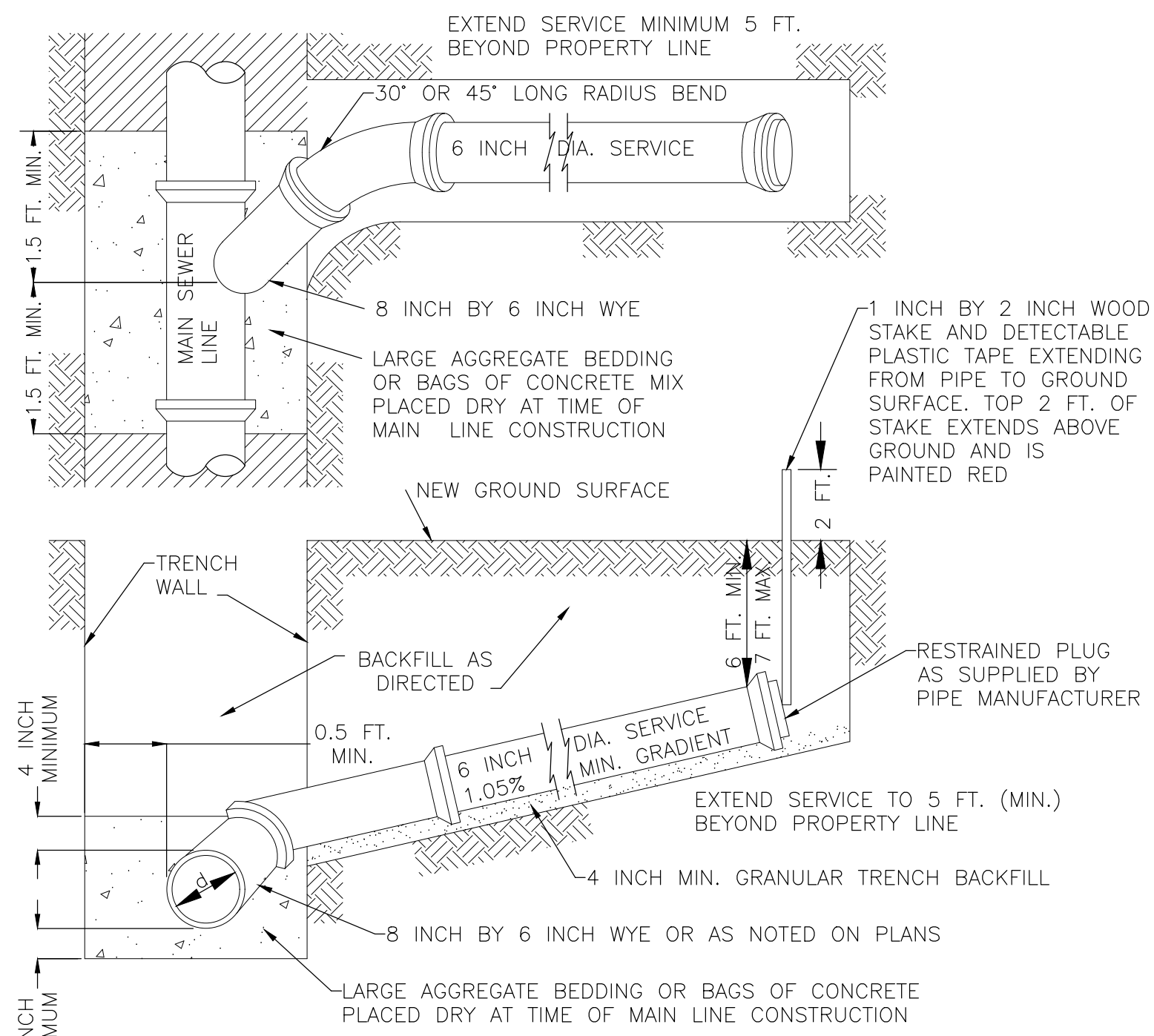
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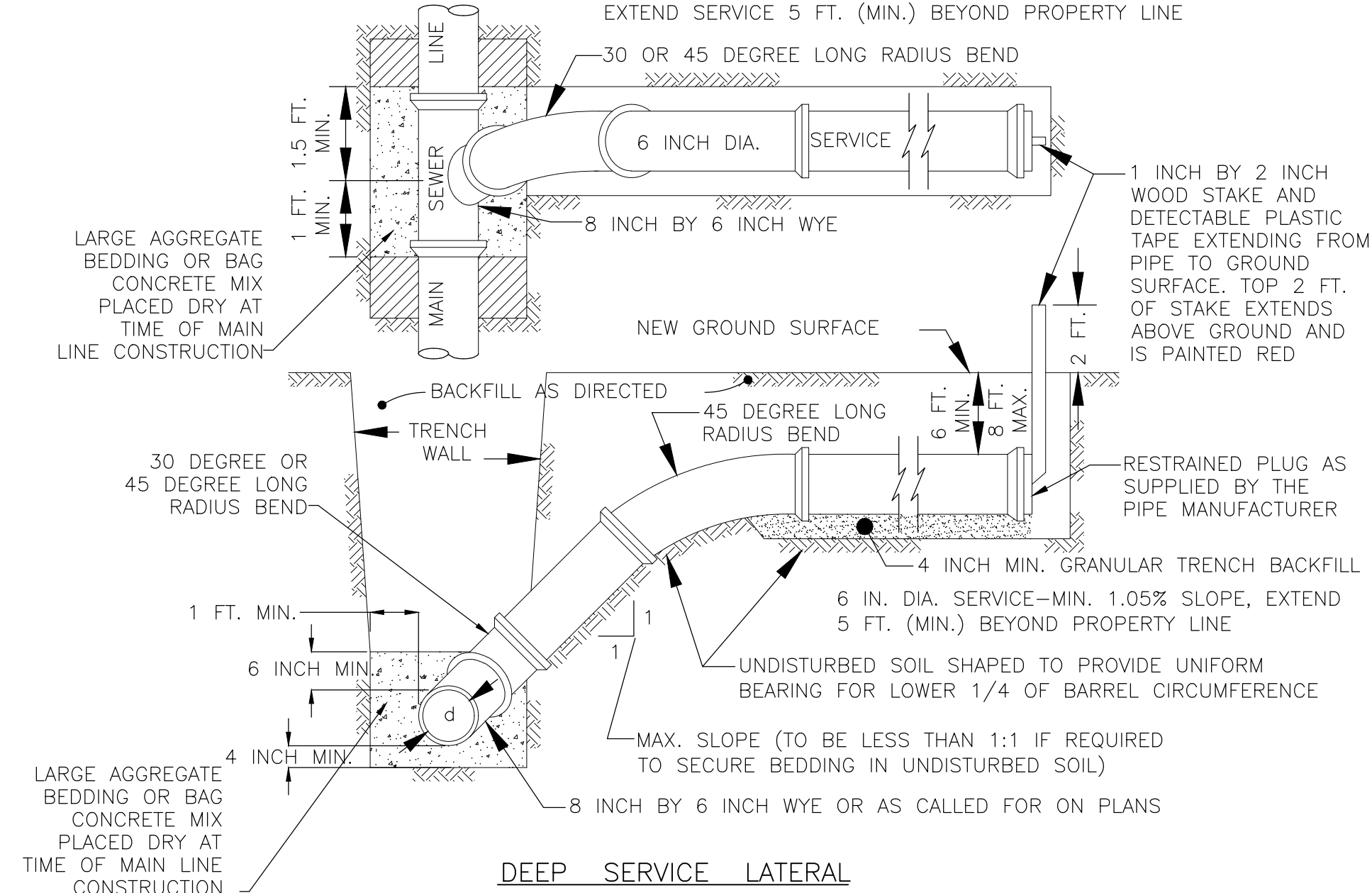
- NOTES:**
- PRECAST REINFORCED CONCRETE FLARED END SECTIONS SHALL COMPLY WITH THE APPLICABLE PORTION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND I.D.O.T. HIGHWAY STANDARDS 542301 AND 542311.
 - FURNISHING AND INSTALLING GRATING SHALL BE INCLUDED FOR FLARED END SECTIONS FOR 18 INCH DIAMETER AND LARGER PIPE SIZES.
 - DIMENSIONS A THRU G VARY DEPENDING UPON PIPE SIZE. SEE HIGHWAY STANDARD 542301 FOR SPECIFIC SIZE AND DIMENSIONS.

PRECAST REINFORCED CONCRETE FLARED END SECTION
NO SCALE

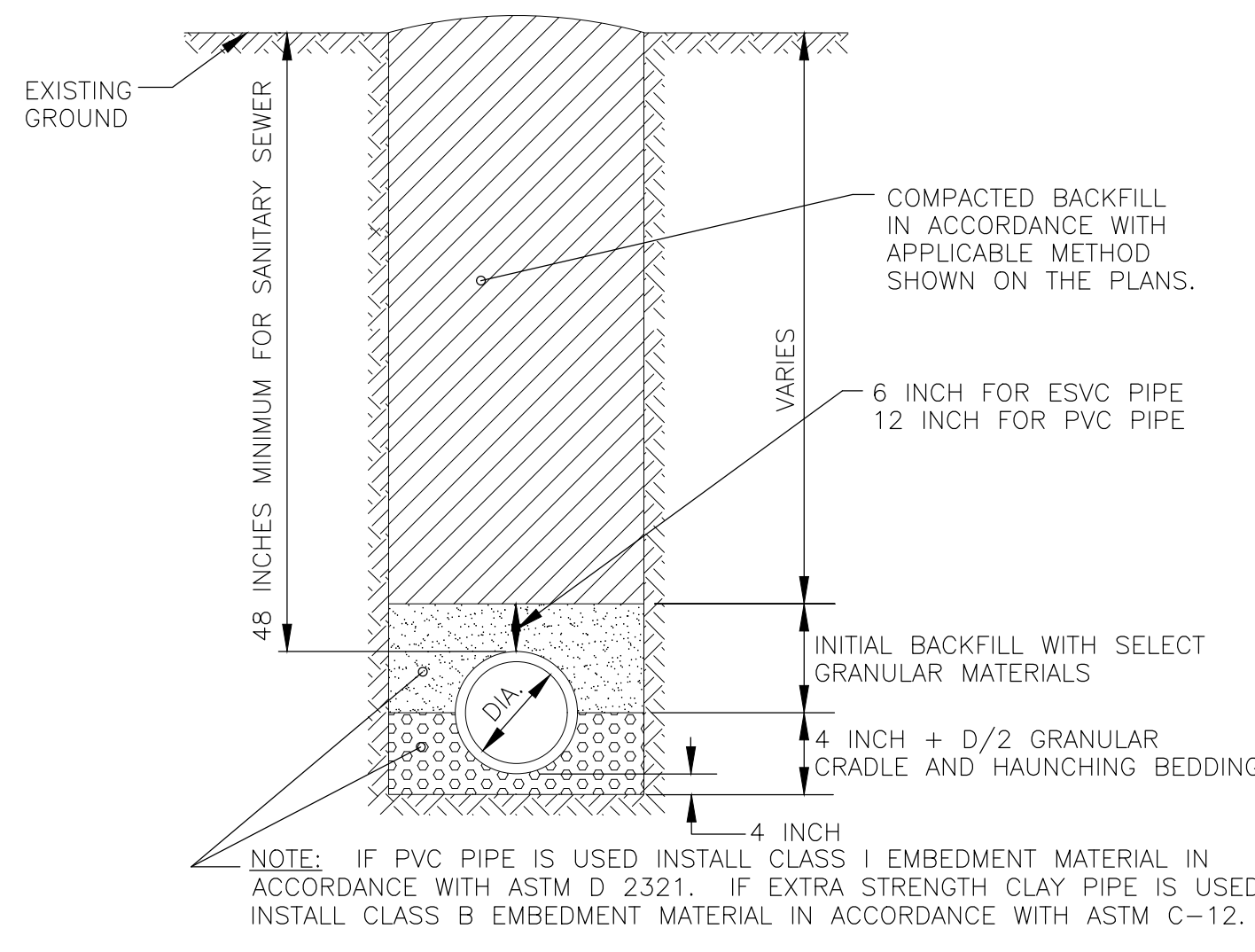
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FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR, CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GENERAL DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C3.1



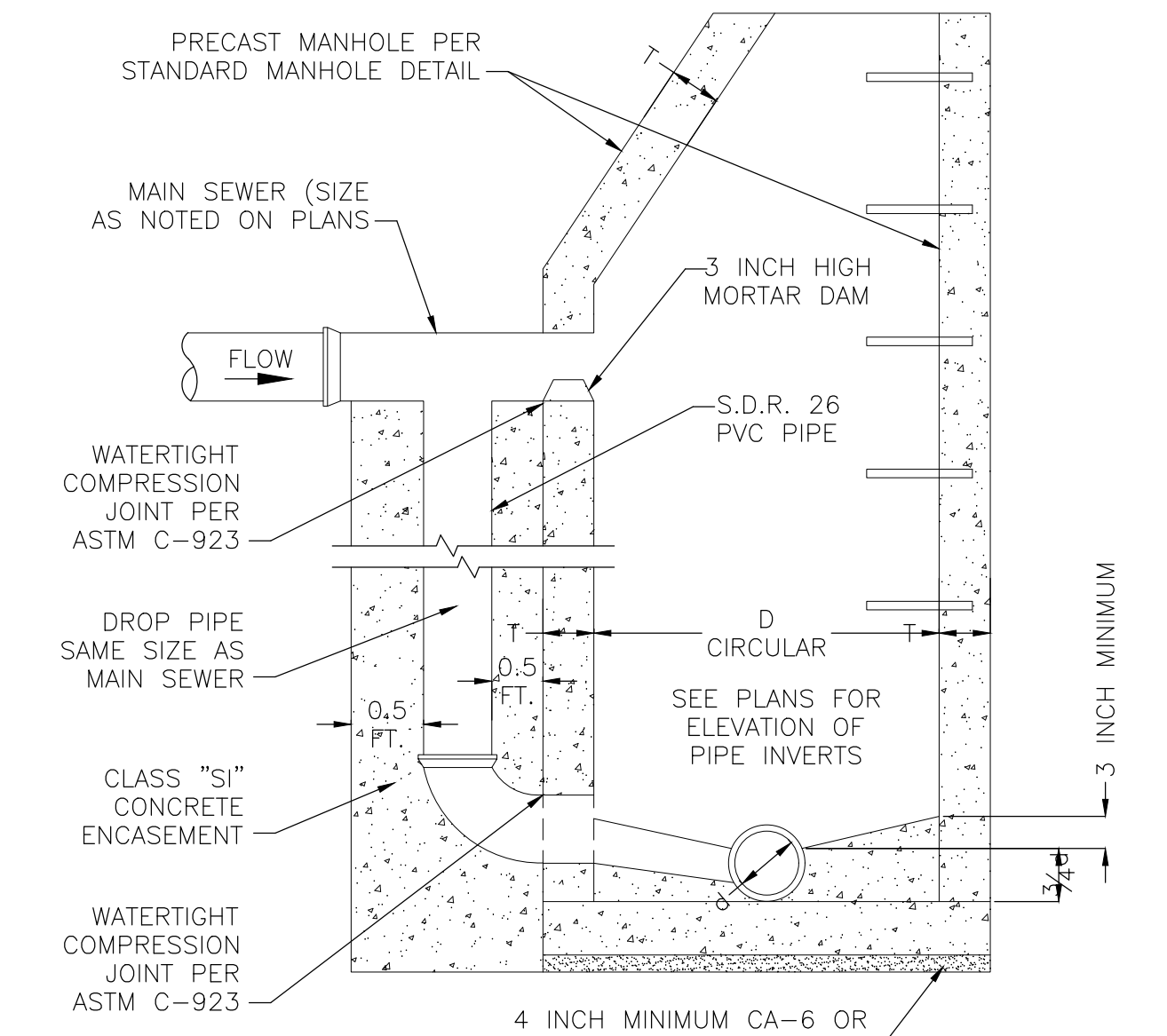
SHALLOW SERVICE LATERAL
NO SCALE



DEEP SERVICE LATERAL
(WHERE SEWER DEPTH EXCEEDS 10 FEET)
NO SCALE

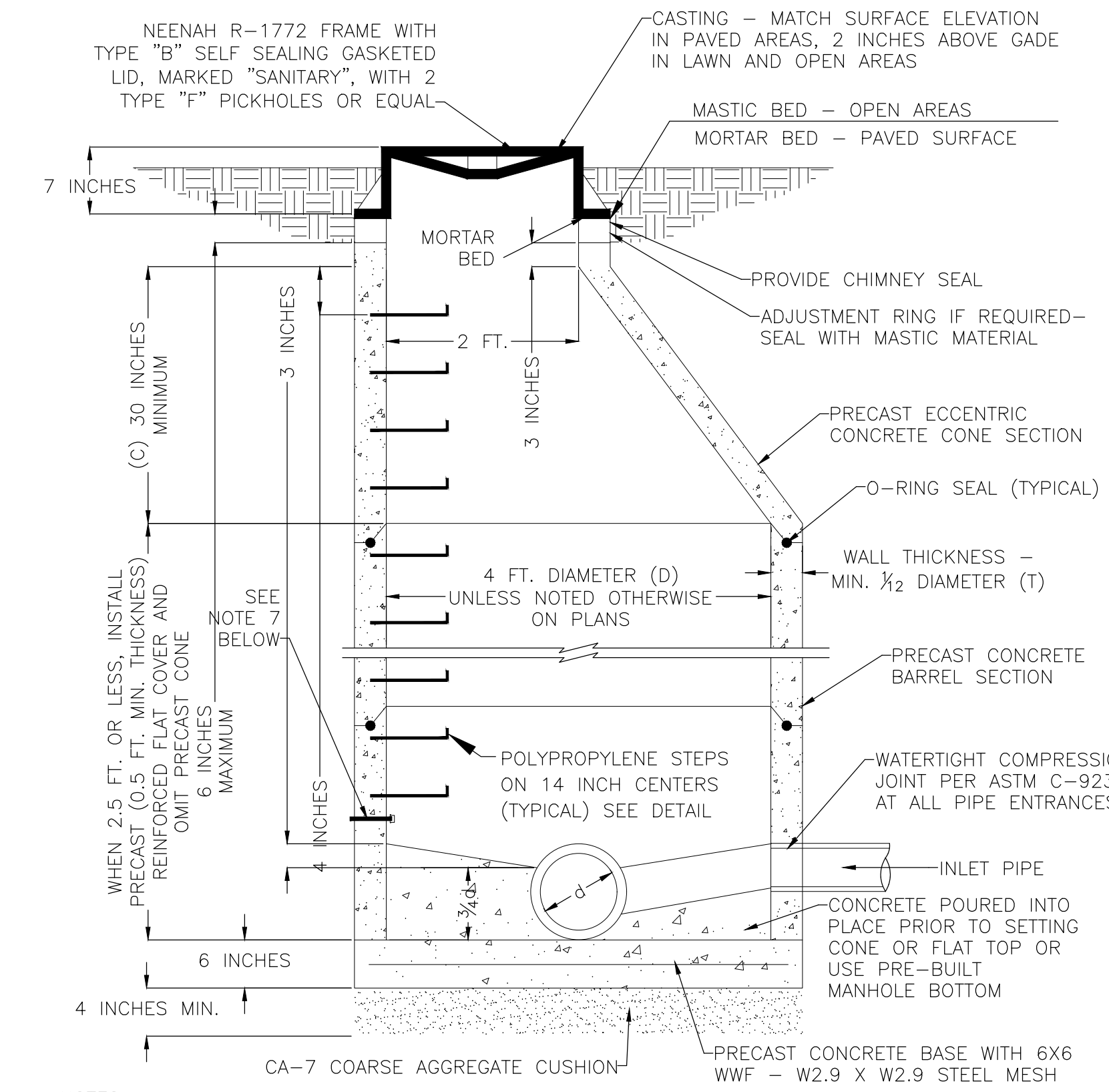


SANITARY SEWER TRENCH DETAIL
NO SCALE

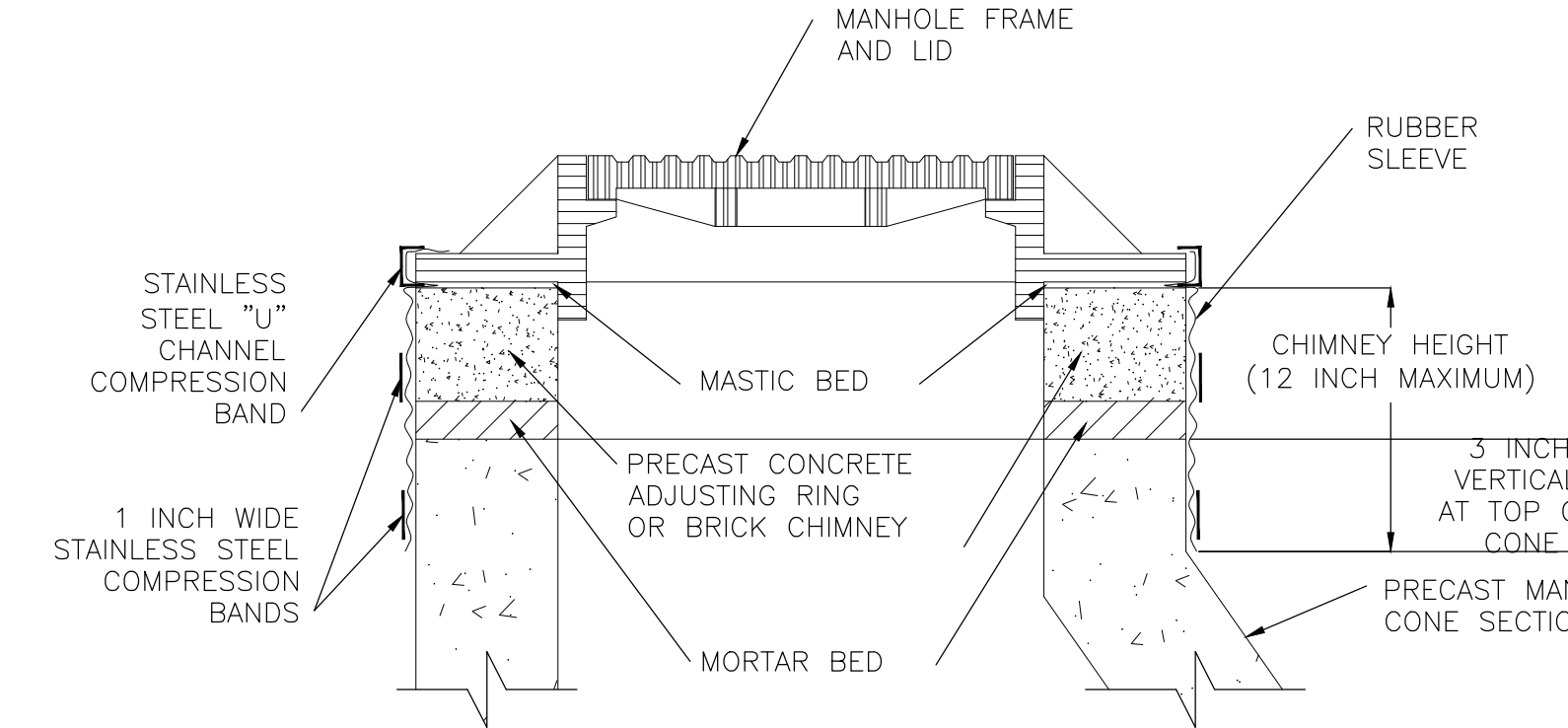


- NOTES:**
- USE STANDARD PRECAST MANHOLE AS MODIFIED HEREIN FOR DROP MANHOLE CONSTRUCTION.
 - SEAL EXTERIOR OF ALL JOINTS AND CONNECTIONS WITH BITUMINOUS MASTIC WATERPROOFING MATERIAL.

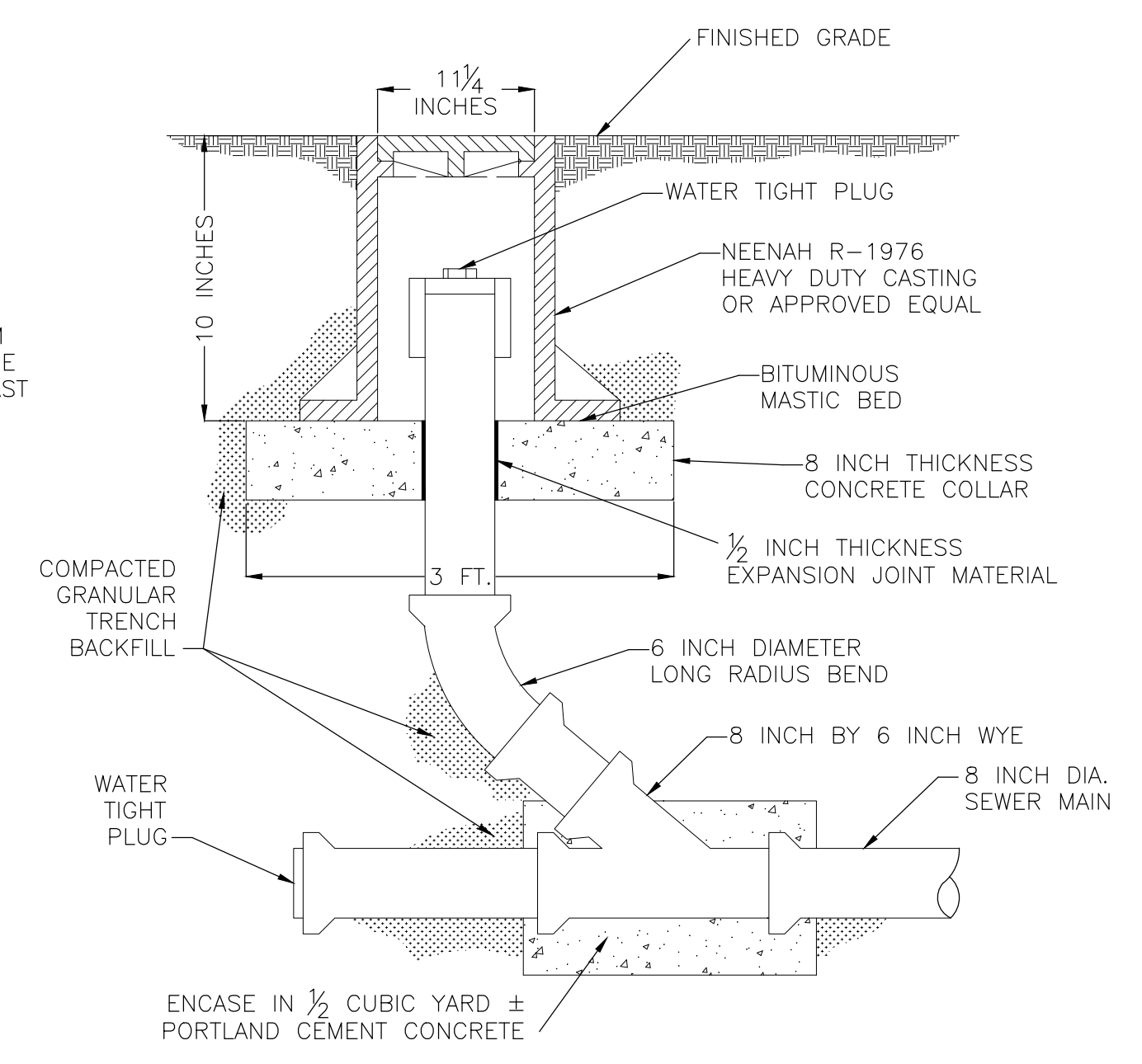
OUTSIDE DROP MANHOLE CONNECTION
NO SCALE



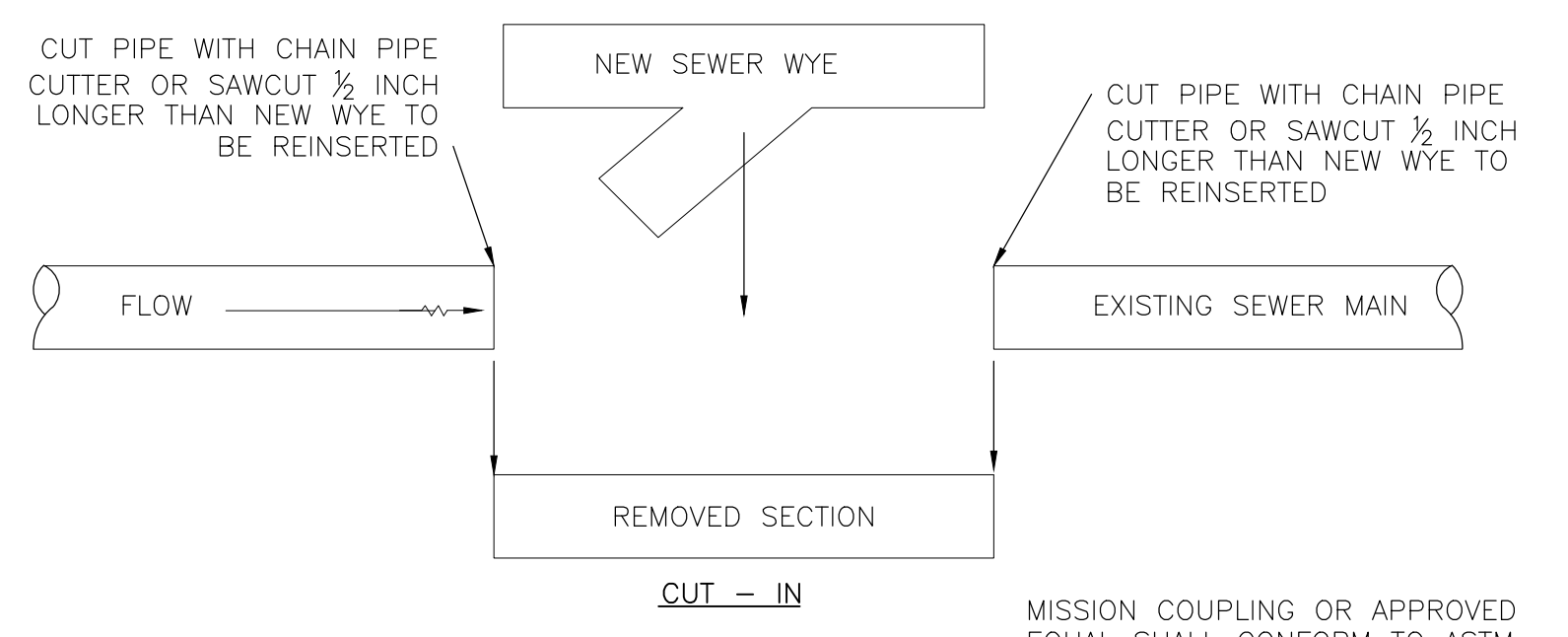
SANITARY SEWER MANHOLE
NO SCALE



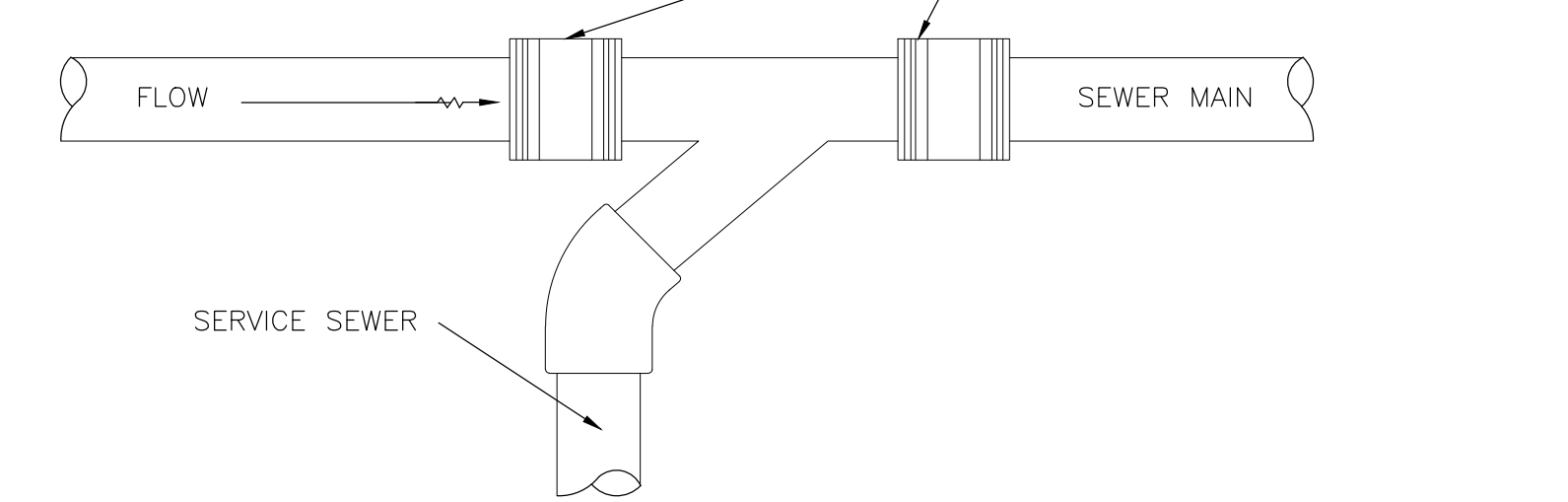
EXTERNAL MANHOLE CHIMNEY SEAL
MANUFACTURED BY CRETEX OR APPROVED EQUAL
NO SCALE



TYPICAL SANITARY CLEANOUT
NO SCALE



CUT - IN
MISSION COUPLING OR APPROVED EQUAL SHALL CONFORM TO ASTM C-425 FOR CLAY PIPE OR ASTM EQUIVALENT STANDARD FOR ALTERNATE PIPE MATERIALS



- NOTES:**
- PVC MATERIAL SHALL NOT BE ALLOWED IN THE SEWER MAIN.
 - BEDDING MATERIAL FOR THE WYE SHALL BE CRUSHED AGGREGATE WITH A GENERAL SIZE RANGE OF 1/4 INCH DIAMETER TO 3/4 INCH DIAMETER.
 - CONNECTIONS TO SEWER MAINS THAT ARE SMALLER THAN 12 INCH DIAMETER SHALL BE DONE BY REMOVING A LIMITED AMOUNT OF THE SEWER MAIN AND INSERTING A WYE CONNECTION WITH APPROVED COUPLINGS. CONNECTIONS TO MANHOLES OR PIPES 12 INCH DIAMETER AND LARGER SHALL BE MADE BY CORE DRILLING THE EXISTING PIPE/MANHOLE AND INSTALLING A FLEXIBLE CONNECTOR ASSEMBLY SUCH KOR-N-SEAL BY NPC INC., OR APPROVED EQUAL.

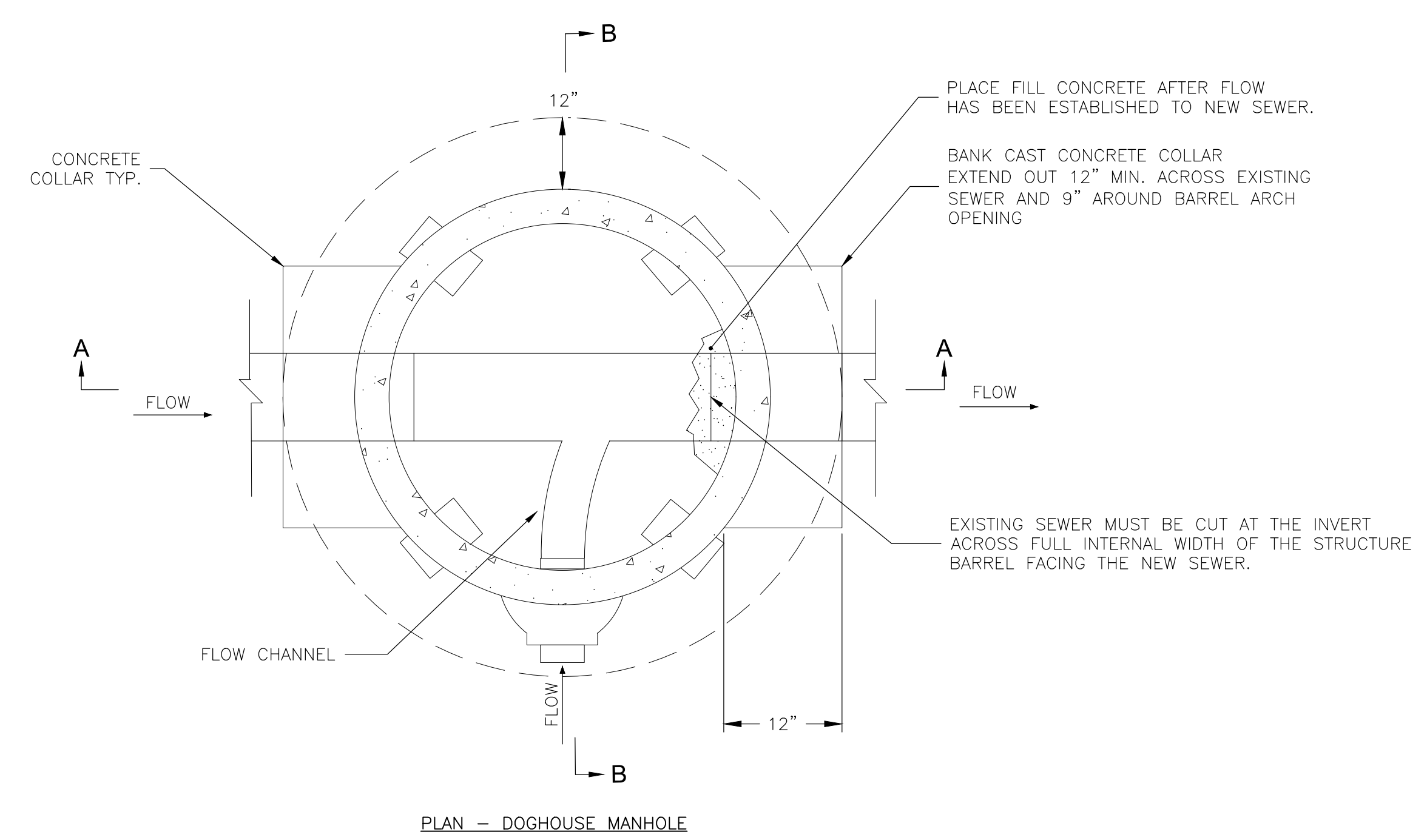
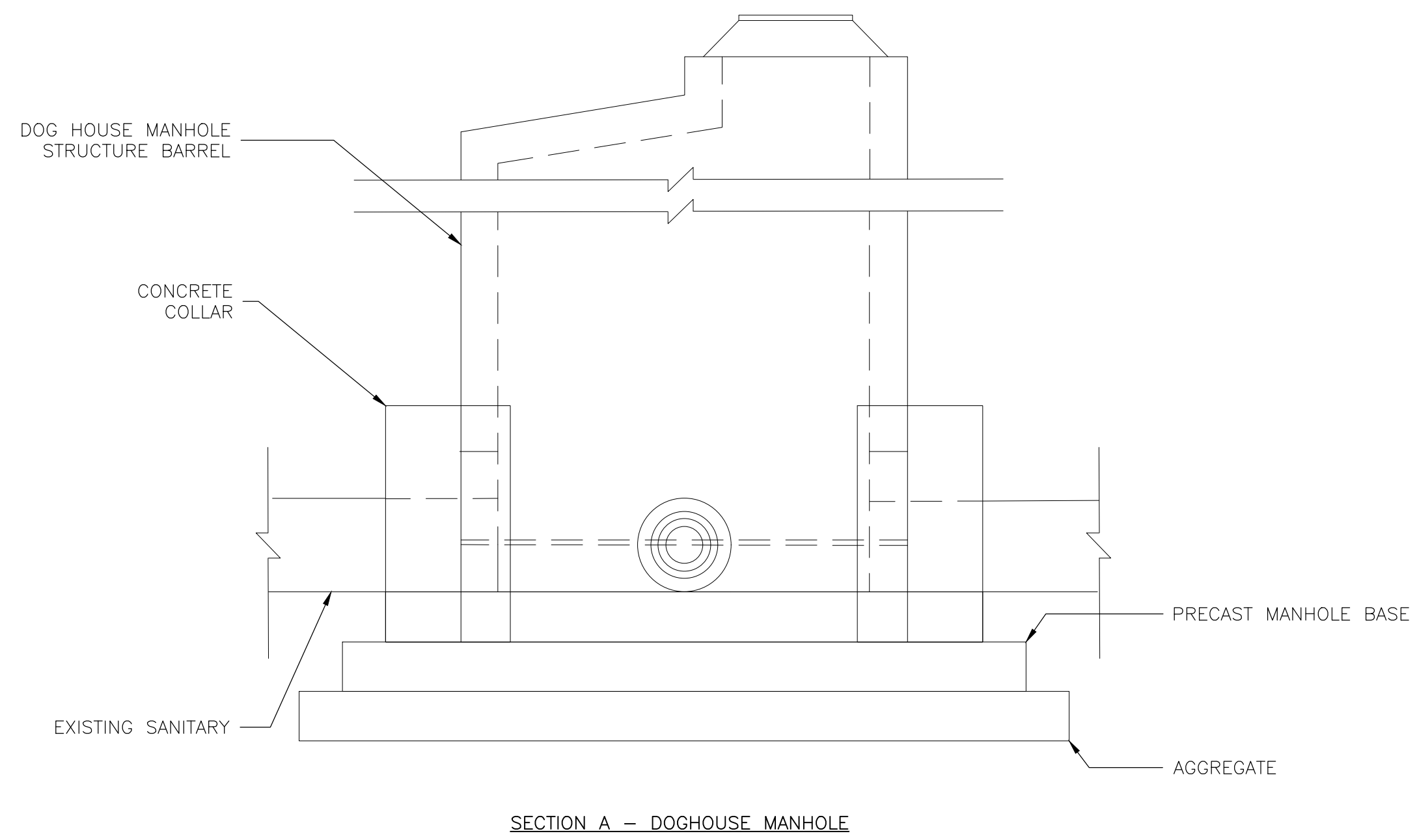
SANITARY SEWER WYE INSTALLATION

- NOTES:**
- PRECAST MANHOLES SHALL BE USED AND SHALL BE SEALED BY A RUBBER GASKET AT RING JOINTS.
 - INSIDE OF ALL JOINTS TO BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
 - SEAL EXTERIOR OF ALL JOINTS AND CONNECTIONS WITH BITUMINOUS MASTIC WATERPROOFING MATERIAL.
 - SANITARY SEWER LID SHALL BE SELF SEALING AND FRAME SHALL BE PLACED ON A BITUMINOUS MASTIC BED IN OPEN AREAS AND ON A MORTAR BED UNDER PAVED SURFACES.
 - MANHOLE COMPONENTS SHALL COMPLY WITH THE MATERIALS REQUIREMENTS OF SECTION 32 OF THE CURRENT STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS; SECTION 602 OF THE CURRENT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS; AND I.D.O.T. HIGHWAY STANDARD 602401.
 - PROVIDE NOT LESS THAN 0.1 FOOT FALL ACROSS MANHOLE BETWEEN INFLUENT AND EFFLUENT PIPES OF EQUAL DIAMETER.
 - ALL MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS PER ASTM C1244.
 - WHEN INLET PIPE IS A 6 INCH OR SMALLER DIAMETER SERVICE LINE, INERT OF SERVICE LINE SHALL BE NOT LESS THAN 1/2 THE EFFLUENT PIPE DIAMETER ABOVE THE INVERT OF THE EFFLUENT PIPE.
 - ALL OPENINGS FOR INLET AND OUTLET PIPES SHALL BE PRECAST WITH BOTTOM MANHOLE SECTION.
 - INTERIOR AND EXTERIOR OF PIPE OPENING SHALL BE FILLED WITH MORTAR AND BRUSHED SMOOTH

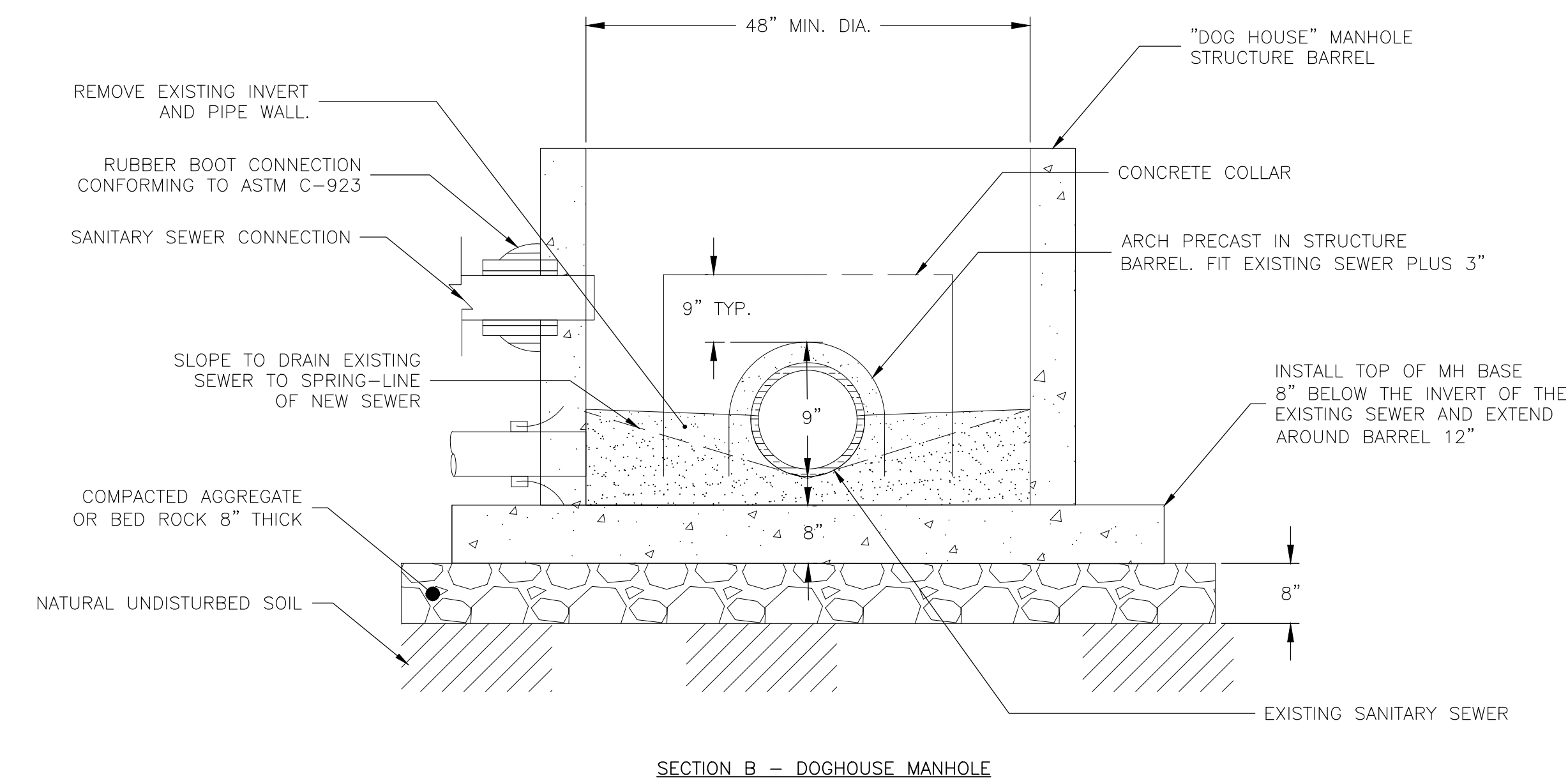
- NOTES:**
- MANHOLE STEPS SHALL CONFORM TO ASTM C-478 & RESIST PULL-OUT FORCES TO 1900 LBS.
 - STEPS SHALL BE PLACED INTO WET CONCRETE WALL DURING MANUFACTURING.

MANHOLE STEPS
NO SCALE

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GENERAL DETAILS		FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C3.2

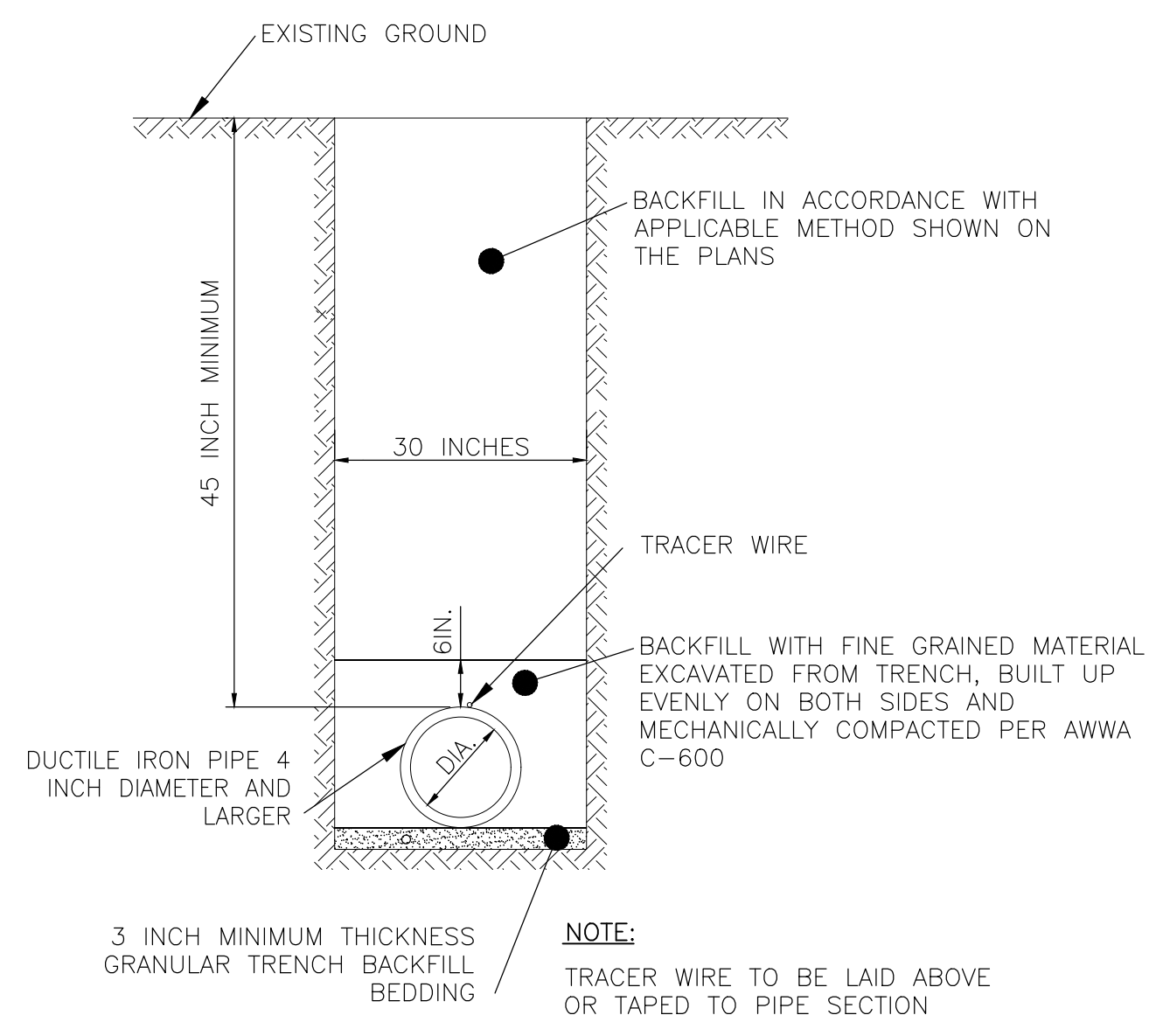


- NOTES:
1. ALL POURED IN PLACE CONCRETE MUST BE 4000 PSI WITH SHRINKAGE REDUCING ADMIXTURE.
 2. EXTERNAL DROP CONNECTION MUST BE PROVIDED IF INVERT OF CONNECTING SEWER IS 24" OR MORE ABOVE THE INVERT OF OUTLET.
 3. MANHOLE DIAMETER IS BASED ON THE EXISTING SEWER DIAMETER. SEE MANHOLE SCHEDULE.
 4. CONCRETE BONDING AGENT MUST BE APPLIED TO ALL INTERFACES OF PRECAST CONCRETE SURFACES WITH POURED-IN-PLACE CONCRETE.
 5. A CURVED INTERNAL ARCH FORM MUST BE USED DURING COLLAR CONCRETE FILL. NO BRICK, MORTAR, OR DEBRIS IS TO BE USED IN PLACE OF CONSOLIDATED CONCRETE.
 6. DEBRIS MUST NOT BE ALLOWED TO ENTER THE SEWER SYSTEM AT ANY TIME DURING CONSTRUCTION.
 7. ALL DIMENSIONS NOTED ARE THE MINIMUM ALLOWED.
 8. THE STRUCTURE MUST NOT BE BACKFILLED FOR A MINIMUM OF 24 HOURS AFTER CONSTRUCTION.
 9. ALL CONCRETE COMPONENTS SHALL CONFORM TO ACI, AND INCLUDE:
 - PORTLAND CEMENT TYPE II
 - CONBLOCK MIC ADMIXTURE FOR CORROSION CONTROLS.

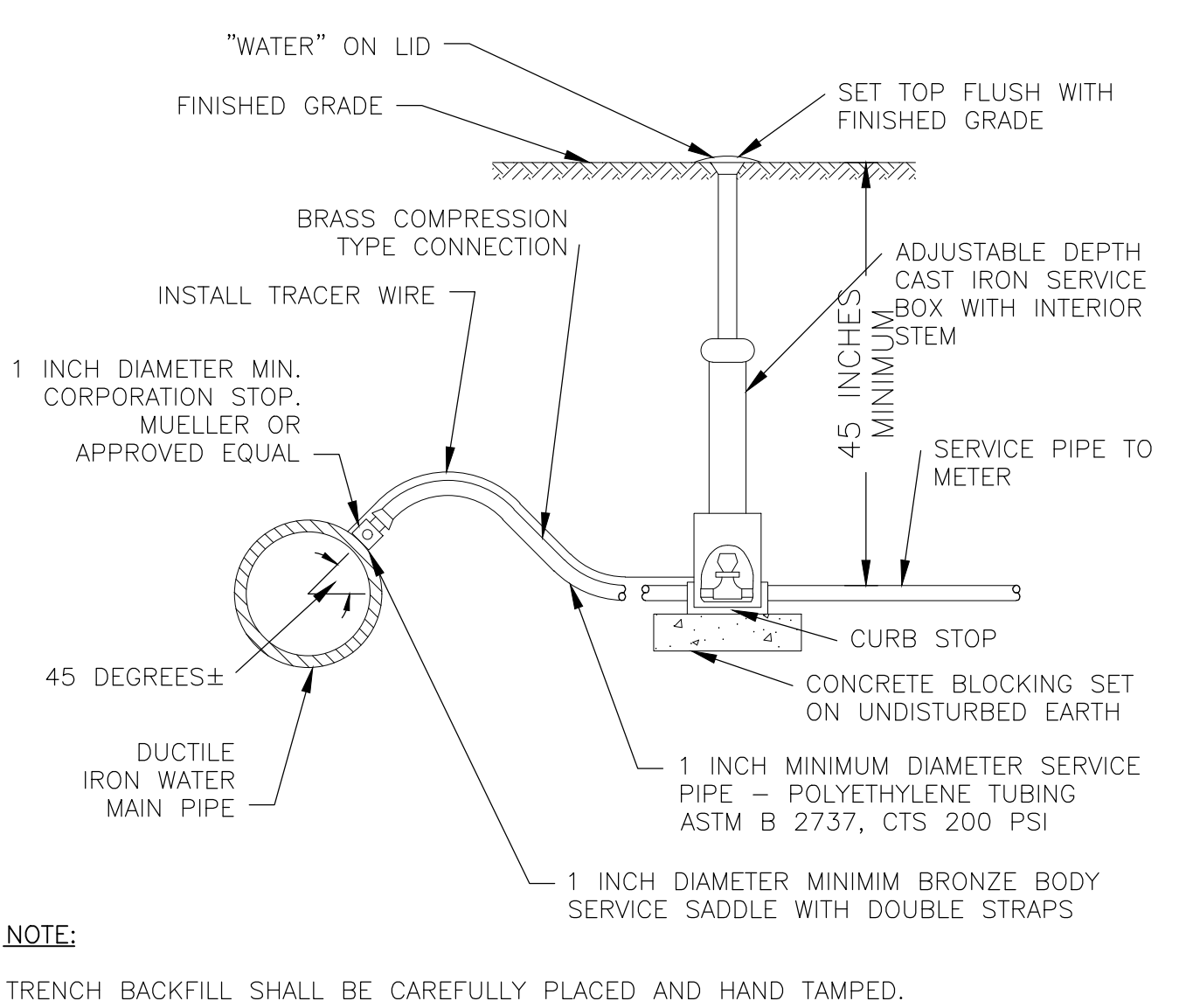


SANITARY DOGHOUSE MANHOLE

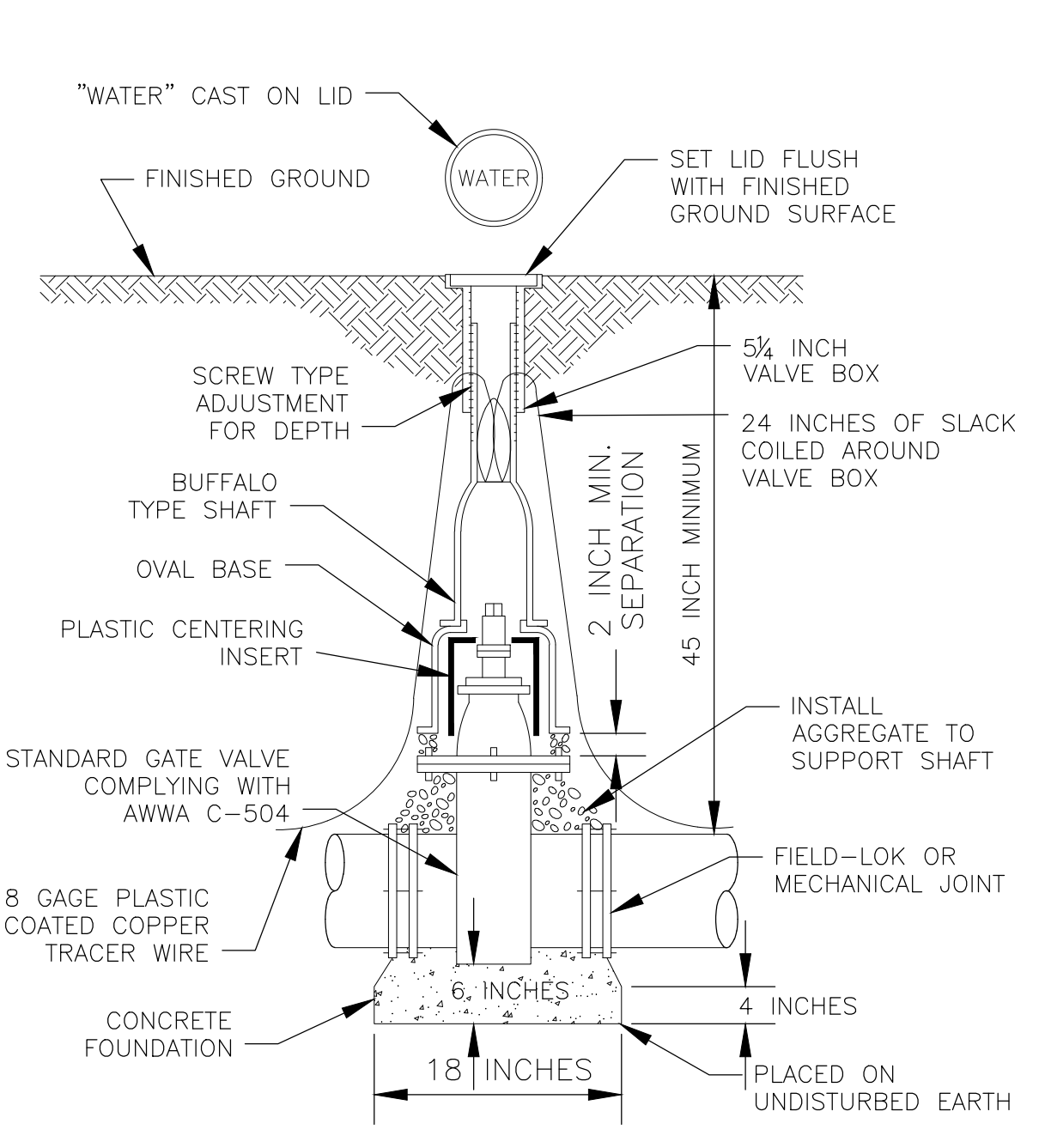
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GENERAL DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C3.3



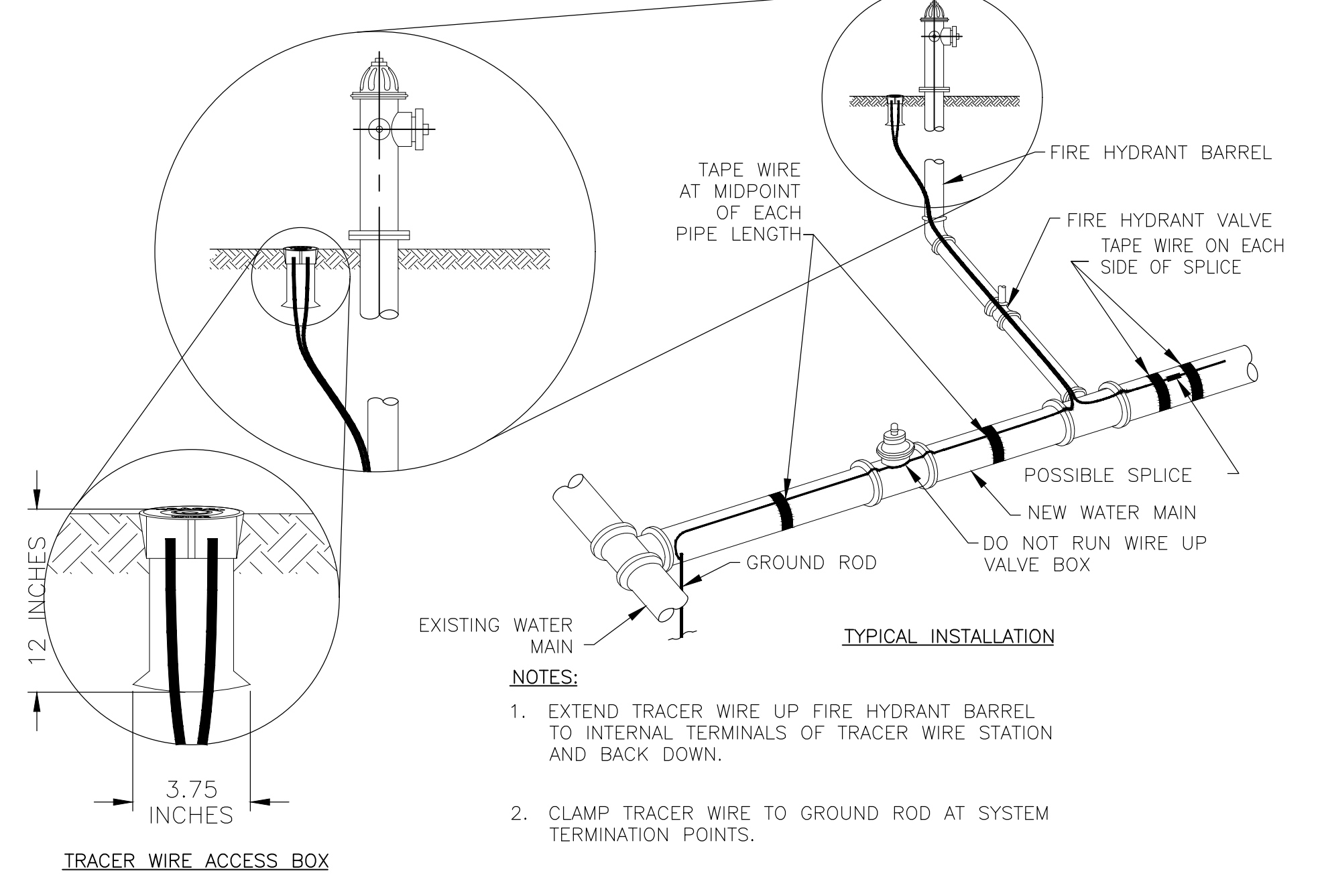
WATER MAIN TRENCH DETAIL
NO SCALE



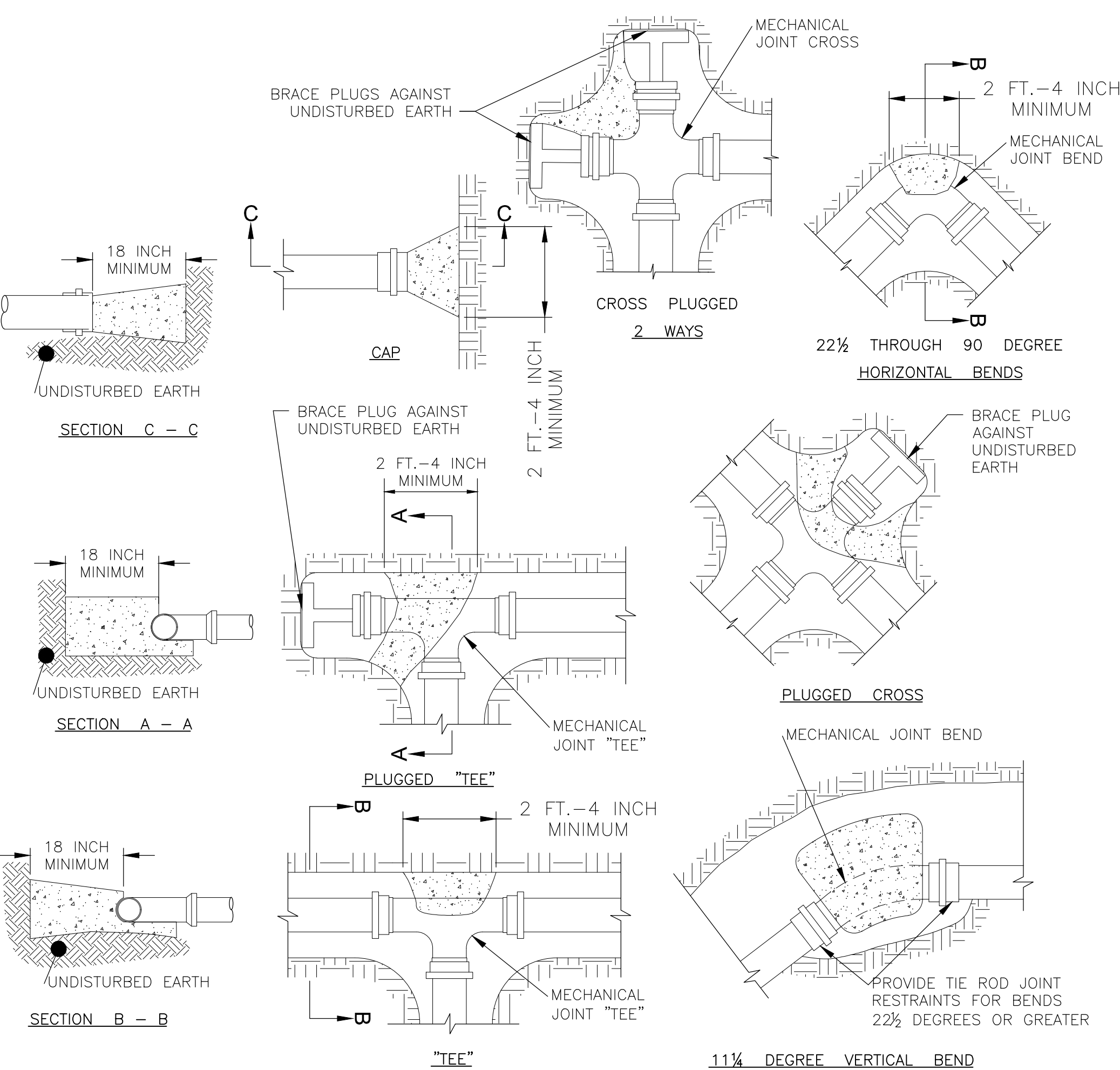
WATER SERVICE CORPORATION STOP AND CURB STOP WITH BOX AND SERVICE TUBING
NO SCALE



VALVE WITH VALVE BOX
NO SCALE



TRACER WIRE INSTALLATION
NO SCALE



- NOTES:**
1. ALL BLOCKS BEAR AGAINST UNDISTURBED EARTH.
 2. ALL BLOCKS TO BE 3000 PSI CONCRETE AT 28 DAYS.
 3. ALL FITTINGS ARE SHOWN IN PLAN VIEW EXCEPT VERTICAL BEND.

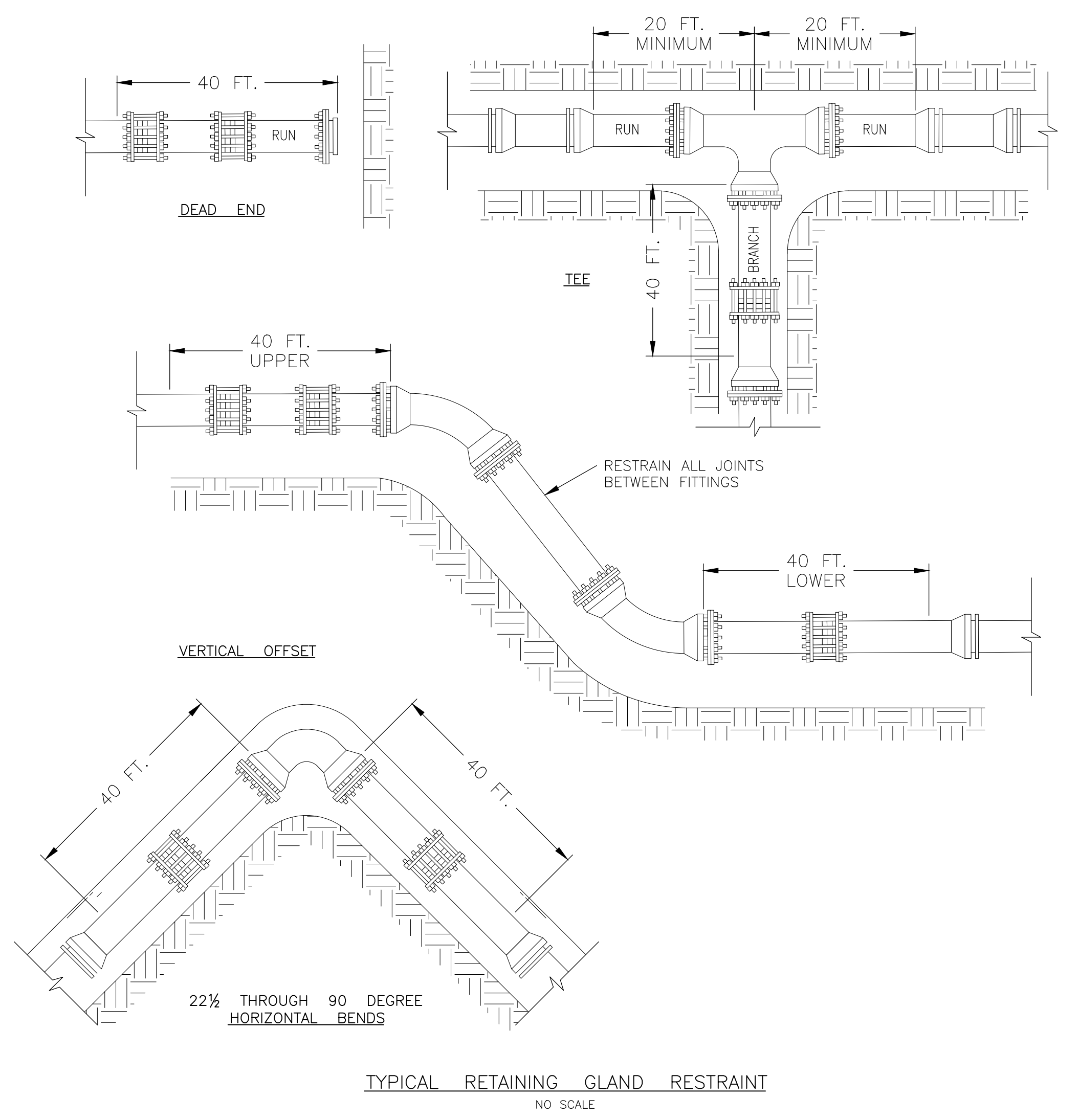
PIPE SIZE	MIN. AREA OF BEARING FACE REQUIRED (SQ. FT.)		
	1/4 BEND	1/8 OR 1/16 BEND	TEES AND PLUGS
4-8 INCH	3 S.F.	3 S.F.	3 S.F.
10 INCH	4 S.F.	3 S.F.	3 S.F.
12 INCH	6 S.F.	3 S.F.	4 S.F.

THRUST BLOCK INSTALLATIONS
NO SCALE

ESTIMATED BEARING LOAD	
SOIL TYPE	LB/SQ FT
MUCK, PEAT, ETC	0
SOFT CLAY	500
SAND	1,000
SAND AND GRAVEL	1,500
SAND AND GRAVEL W/ CLAY	2,000
SAND AND GRAVEL CEMENTED W/ CLAY	4,000
HARD PAN (GLACIAL TILL)	5,000

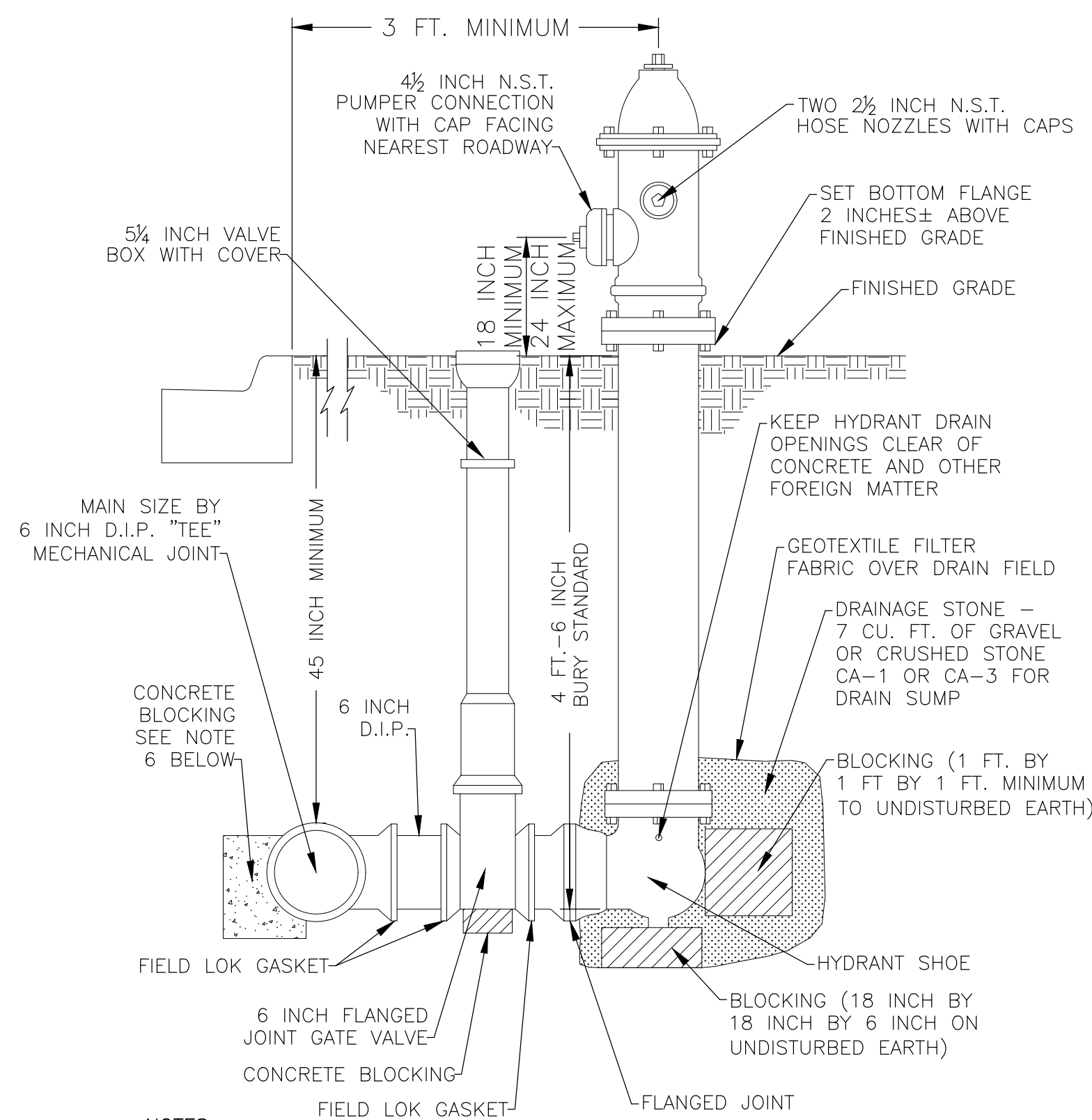
NOTE:
ALLOWABLE BEARING LOAD FOR VARIOUS TYPES OF SOIL. THE BEARING LOADS ARE ESTIMATED FOR HORIZONTAL THRUSTS WHEN DEPTH OF SATURATED SOIL COVER EXCEEDS 2 FT.

THRUST BLOCK DESIGN			
DESIGN SHALL BE FOR 200 PSI PRESSURE UNLESS MODIFIED BY THE SPECIFICATIONS (DESIGN PER A.W.W.A. PIPE DESIGN AND INSTALLATION MANUAL OF PRACTICE NO. M23). PIPES OVER 14 INCHES SHALL BE BASED ON CALCULATED THRUST.			
THRUST DEVELOPED PER 100 PSI PRESSURE			
NOMINAL PIPE SIZE (INCHES)	FITTING 90 DEGREE BEND (POUNDS)	FITTING 45 DEGREE BEND (POUNDS)	VALVES, TEES & DEAD ENDS (POUNDS)
6	4,000	2,300	2,900
8	7,200	4,100	5,100
10	11,200	6,300	7,900
12	16,000	9,100	11,300
14	21,800	11,800	15,400



TYPICAL RETAINING GLAND RESTRAINT
NO SCALE

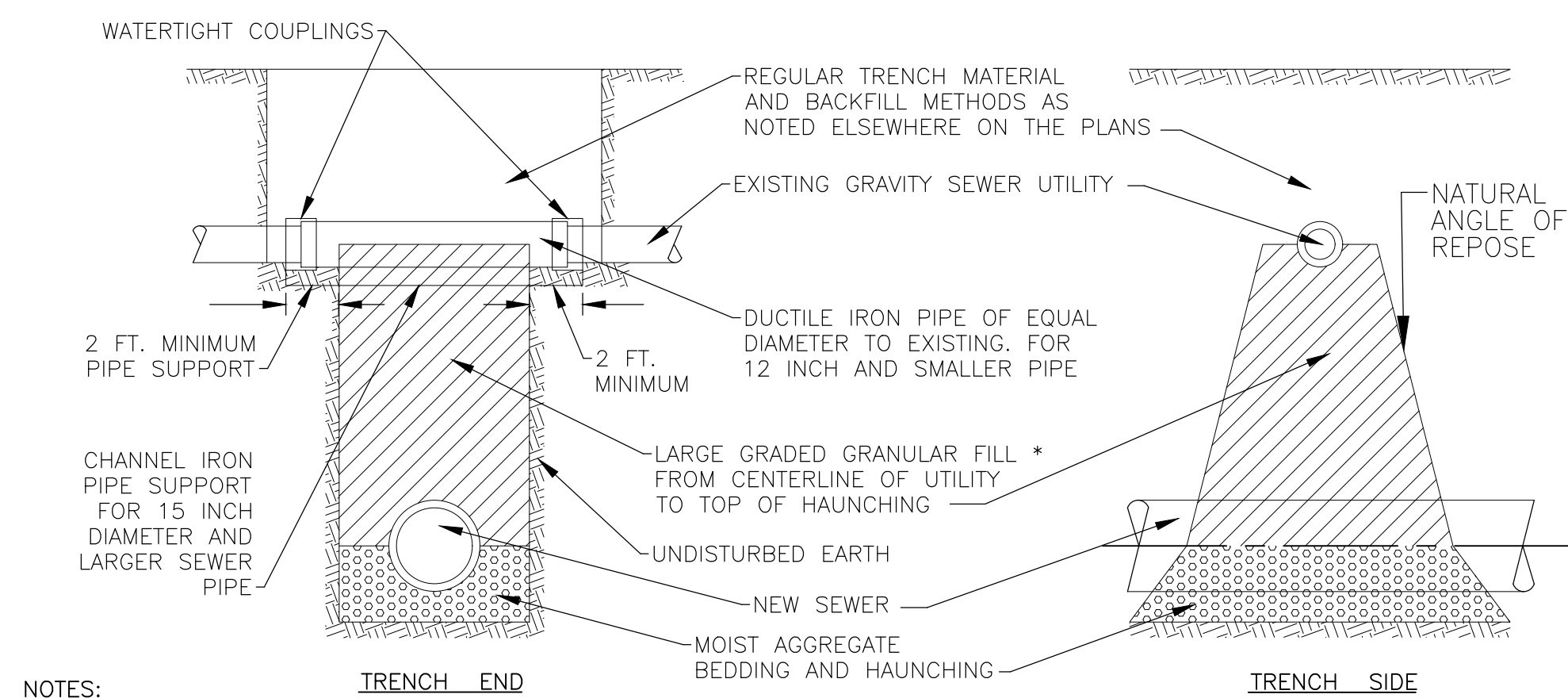
REV. #	REV. DATE:	REVISION MADE:
DATE:	04/28/21	SCALE: AS SHOWN
FIELD BOOK:	15/77, 20/41	DRAWN BY: RLT
CHECKED BY:	CMO	
FEHR GRAHAM ENGINEERING & ENVIRONMENTAL		
FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821		
ILLINOIS DESIGN FIRM NO. 184-003525		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C3.4



NOTES:

1. FIRE HYDRANTS SHALL BE DRY BARREL, STANDARD COMPRESSION, TWO TWO PIECE STANDPIPE WITH BREAK AWAY DESIGN.
2. FIRE HYDRANTS SHALL BE INSTALLED PLUMB.
3. HYDRANT SHALL CONFORM TO AWWA STANDARD C-502 AND SHALL HAVE A 4 1/2 INCH INTERNAL VALVE, 4 1/2 INCH NST PUMP CONNECTION NOZZLE AND TWO 2 1/2 INCH NST HOSE NOZZLES.
4. CONCRETE BASE AND BLOCKING MATERIAL SHALL NOT BLOCK OR OBSTRUCT HYDRANT DRAIN.
5. FIRE HYDRANT SHALL BE LOCATED BETWEEN SIDEWALK AND CURB IF POSSIBLE.
6. A STANDARD HYDRANT ASSEMBLY SHALL CONSIST OF A HYDRANT HAVING A FLANGE INLET CONNECTION MATCHING A RESILIENT WEDGE VALVE WITH MECHANICAL JOINT AND FLANGE ENDS.

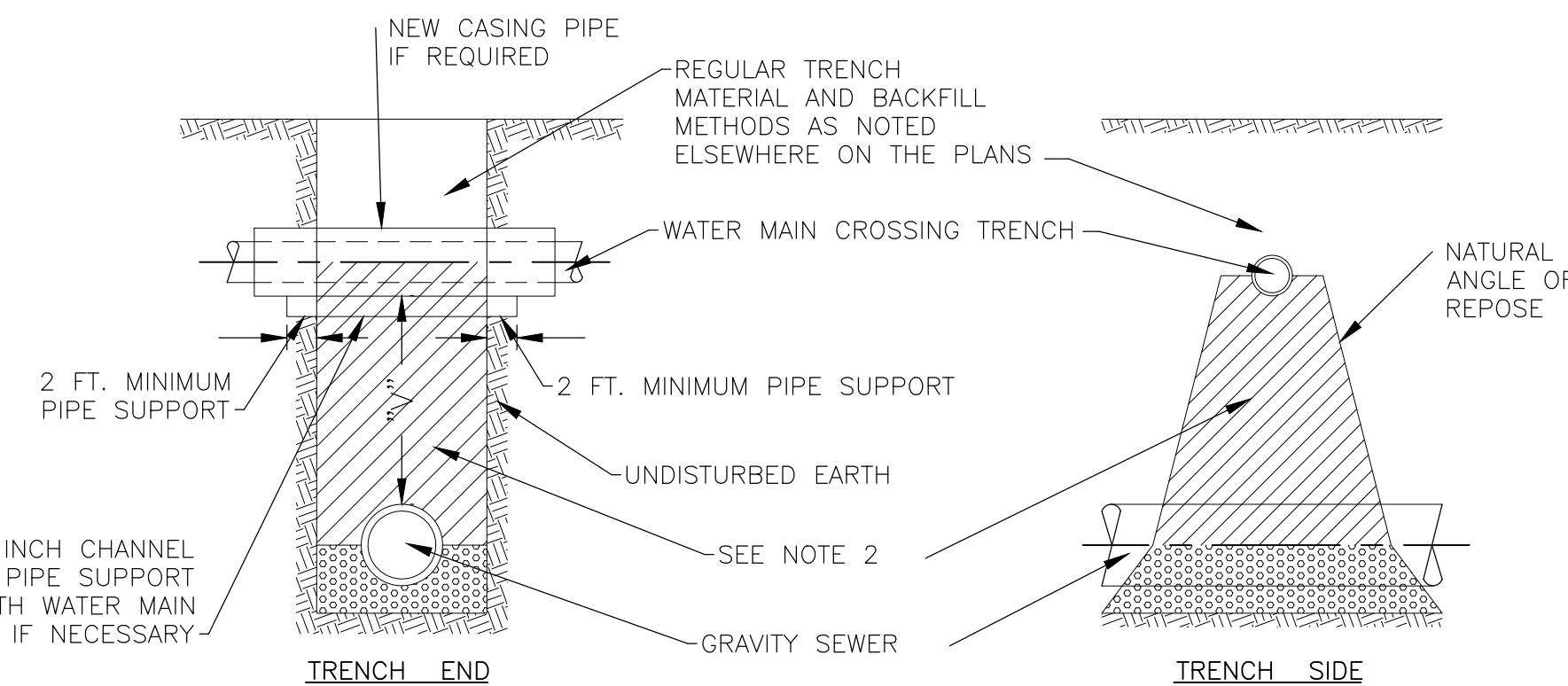
FIRE HYDRANT
NO SCALE



NOTES:

1. IF UTILITY IS LESS THAN 12 INCHES ABOVE THE TOP OF THE SEWER PIPE, ENCASE SEWER PIPE IN CONCRETE FOR 2 FEET ON EACH SIDE OF THE CROSSING AND UP TO THE CENTERLINE OF THE UTILITY.
 2. CONTRACTOR SHALL CHECK THE CONDITION OF THE GRAVITY SEWER UTILITY IN EACH DIRECTION TO VERIFY THAT THE UTILITY HAS NOT BEEN DAMAGED OR CRUSHED BY CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE UTILITY.
 3. IF UTILITY IS LARGER THAN 12 INCHES IN DIAMETER, UTILIZE REINFORCED CONCRETE FOR UTILITY SEWER REPAIR AND PROVIDE 10 INCH CHANNEL IRON PIPE SUPPORT FOR UTILITY SEWER.
- * 3 INCH AGGREGATE (I.D.O.T. GRADATION CA-1) OR OVERSIZE RIVER ROCK (2 INCH TO 6 INCH SIZE) OR CLASS "X" RIVER ROCK (5/8 INCH TO 1 1/2 INCH SIZE)

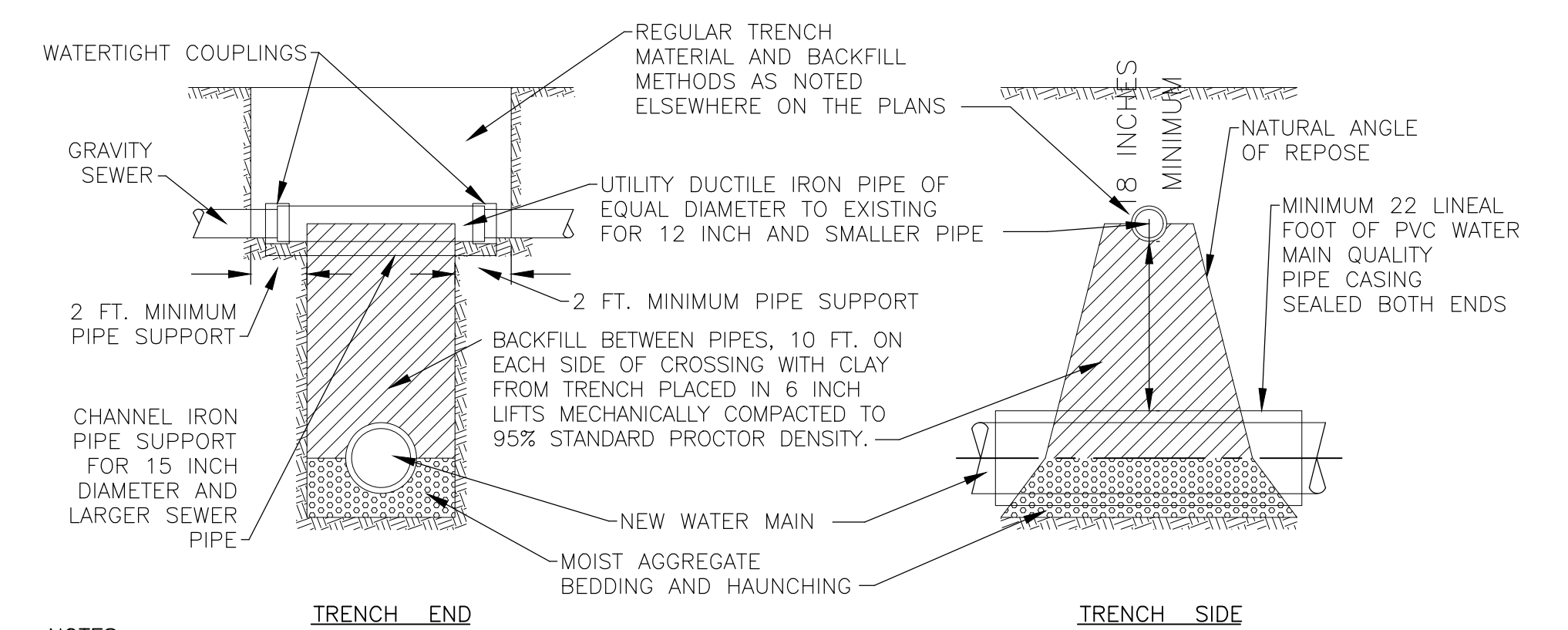
GRAVITY SEWER UTILITY CROSSING REPAIR FOR SEWER
STORM OR SANITARY SEWER CROSSING BENEATH GRAVITY SEWER UTILITY (FIELD TILE, STORM SEWER, SANITARY COLLECTOR SEWER)
NO SCALE



NOTES:

1. IF "V" IS LESS THAN 18 INCHES INSTALL PVC WATER MAIN QUALITY PIPE CASING AROUND WATER MAIN A MINIMUM OF 11 FEET EACH SIDE OF WATER MAIN CROSSING (SEAL BOTH ENDS).
2. IF GRANULAR BACKFILL EXISTS BETWEEN WATER MAIN AND SEWER REMOVE EXISTING GRANULAR MATERIAL AND INSTALL CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL.

WATER MAIN CROSSING GRAVITY SEWER
WATER MAIN CROSSING ABOVE EXISTING GRAVITY SEWER
NO SCALE



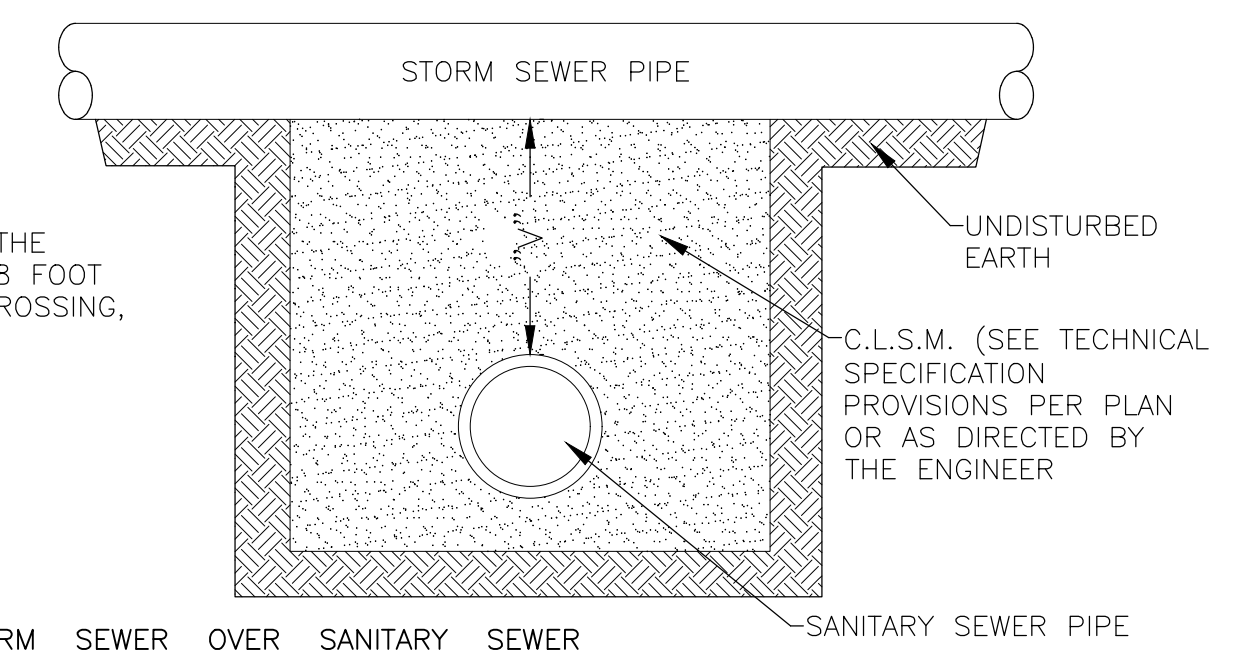
NOTES:

1. GRAVITY STORM OR SANITARY SEWER UTILITY SHALL BE NOT LESS THAN 18 INCHES ABOVE THE TOP OF THE WATER MAIN PIPE.
2. CHECK THE CONDITION OF THE GRAVITY SEWER UTILITY IN EACH DIRECTION TO VERIFY THAT THE UTILITY HAS NOT BEEN DAMAGED OR CRUSHED BY CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE UTILITY.
3. PROVIDE 10 INCH CHANNEL IRON PIPE SUPPORT FOR UTILITY SEWER.

GRAVITY SEWER UTILITY CROSSING WATER MAIN
WATER MAIN CROSSING BENEATH GRAVITY SEWER UTILITY (FIELD TILE, STORM SEWER, SANITARY COLLECTOR SEWER)
NO SCALE

NOTE:

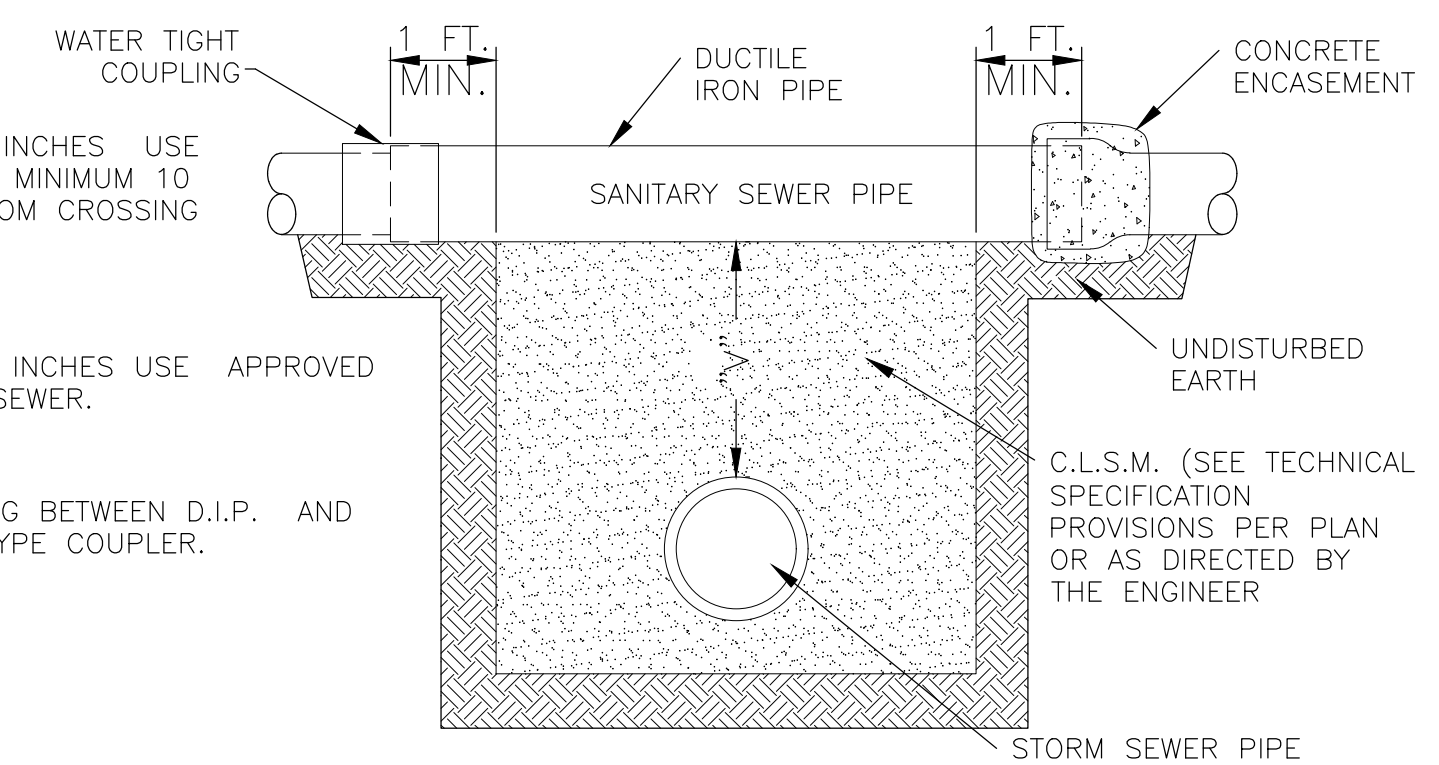
- IF "V" IS LESS THAN 18 INCHES;
1. USE DUCTILE IRON PIPE FOR THE SANITARY SEWER, WITH ONE 18 FOOT PIPE LENGTH CENTERED ON CROSSING, AND



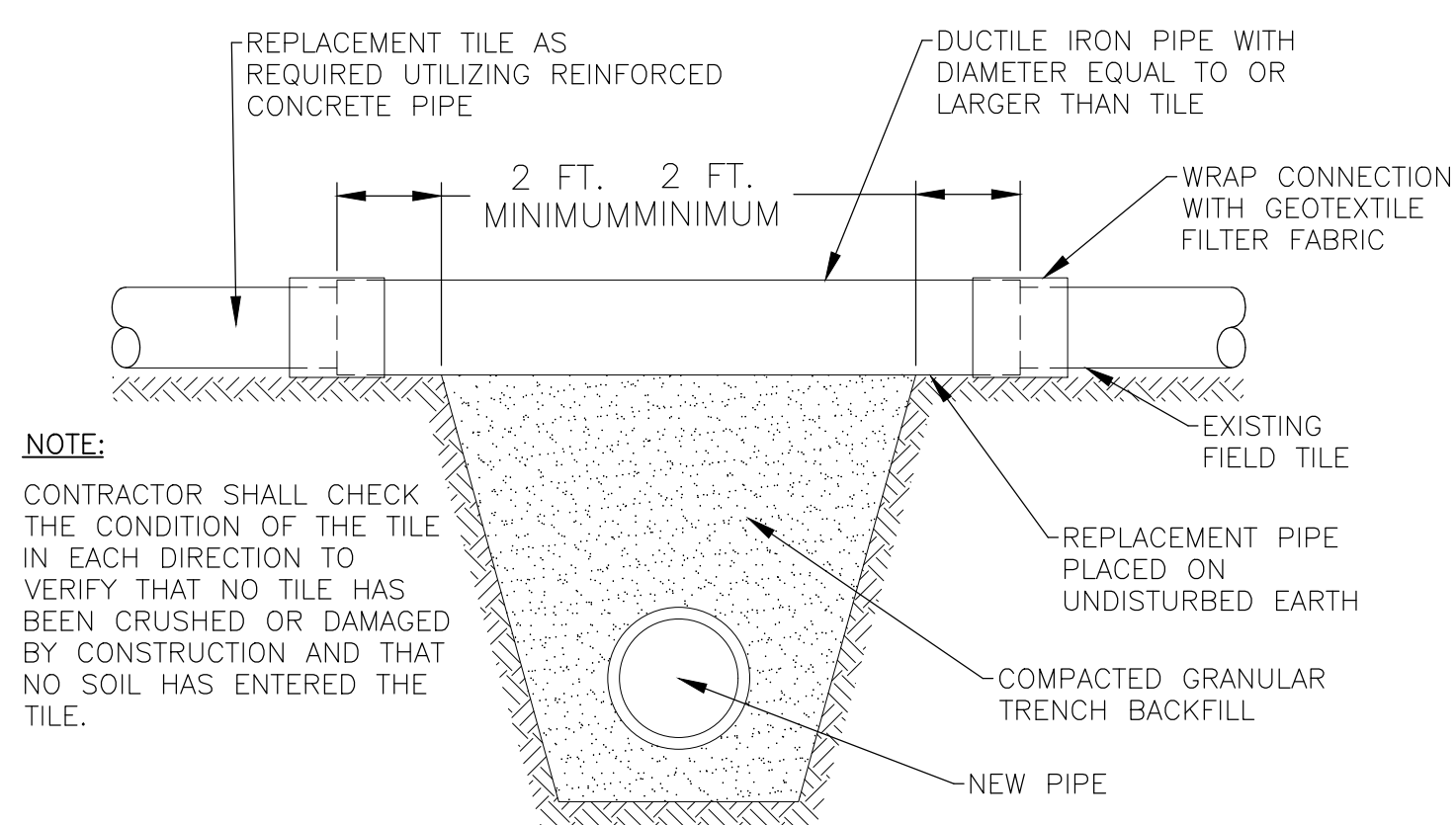
STORM SEWER OVER SANITARY SEWER

NOTES:

1. IF "V" IS LESS THAN 18 INCHES USE DUCTILE IRON PIPE FOR THE SANITARY SEWER, WITH MINIMUM 10 FEET EACH DIRECTION FROM CROSSING FOR SANITARY SEWER.
2. IF "V" IS MORE THAN 18 INCHES USE APPROVED MATERIAL FOR SANITARY SEWER.
3. WHEN MAKING A COUPLING BETWEEN D.I.P. AND E.S.V.C.P. USE A BAND TYPE COUPLER.



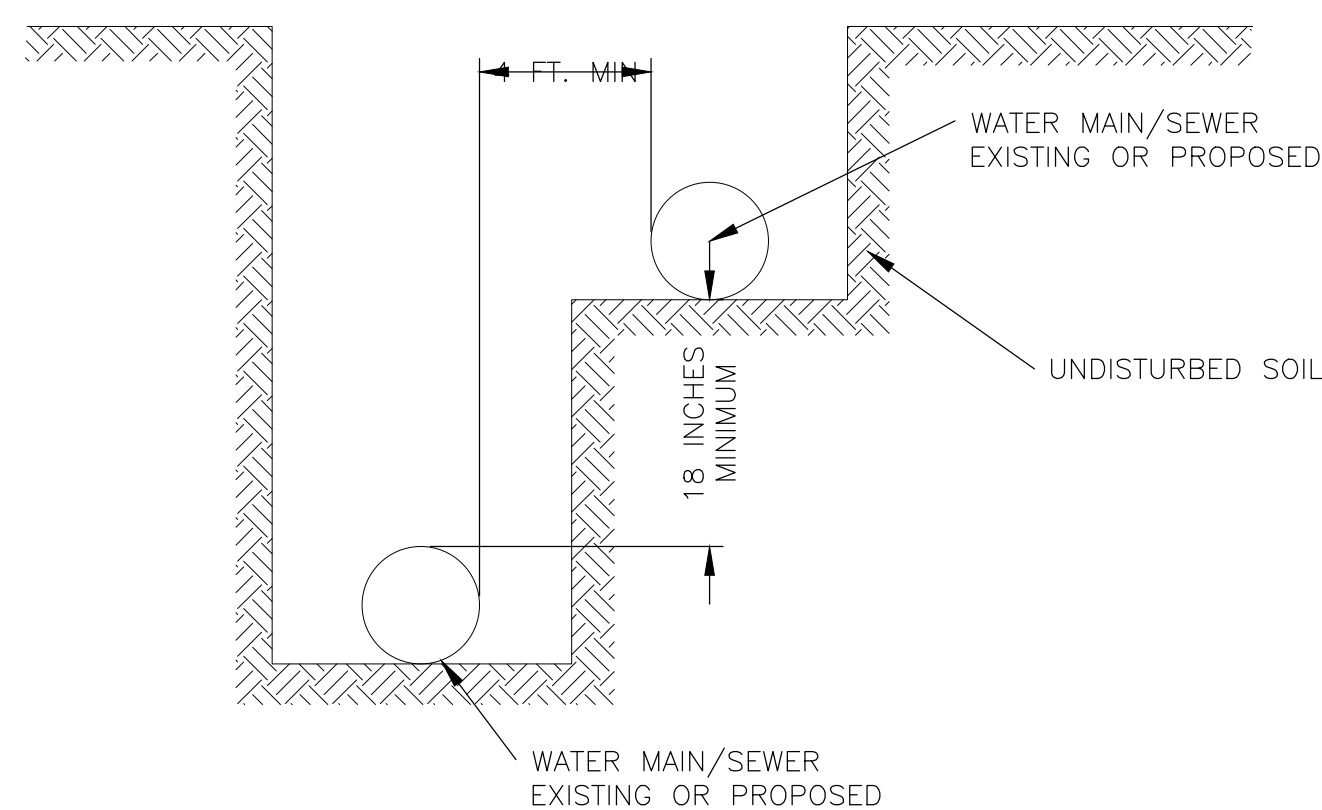
SANITARY SEWER OVER STORM SEWER
SANITARY / STORM SEWER CROSSING
NO SCALE



NOTE:

CONTRACTOR SHALL CHECK THE CONDITION OF THE TILE IN EACH DIRECTION TO VERIFY THAT NO TILE HAS BEEN CRUSHED OR DAMAGED BY CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE TILE.

TILE REPAIR / REPLACEMENT
NO SCALE



NOTE:

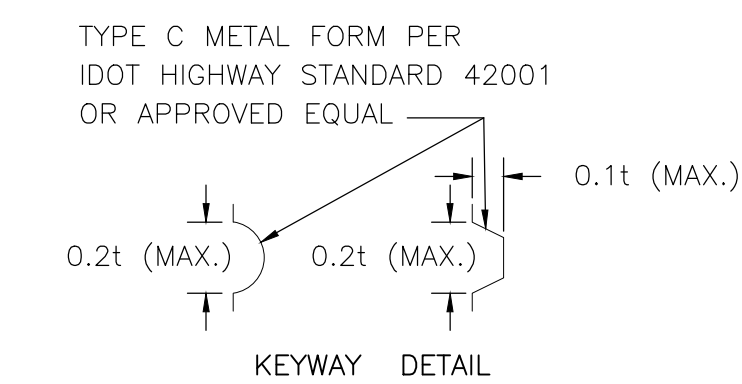
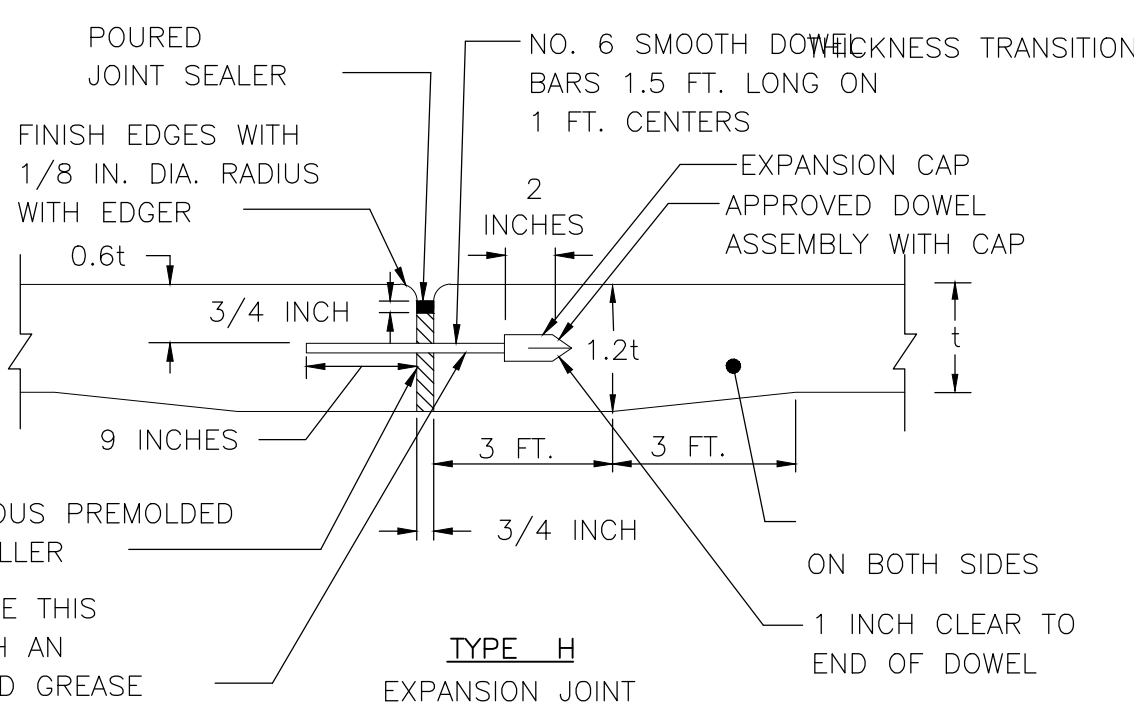
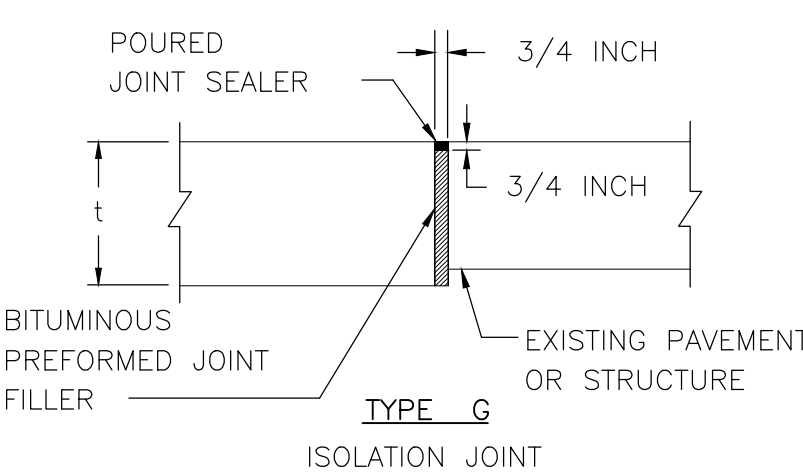
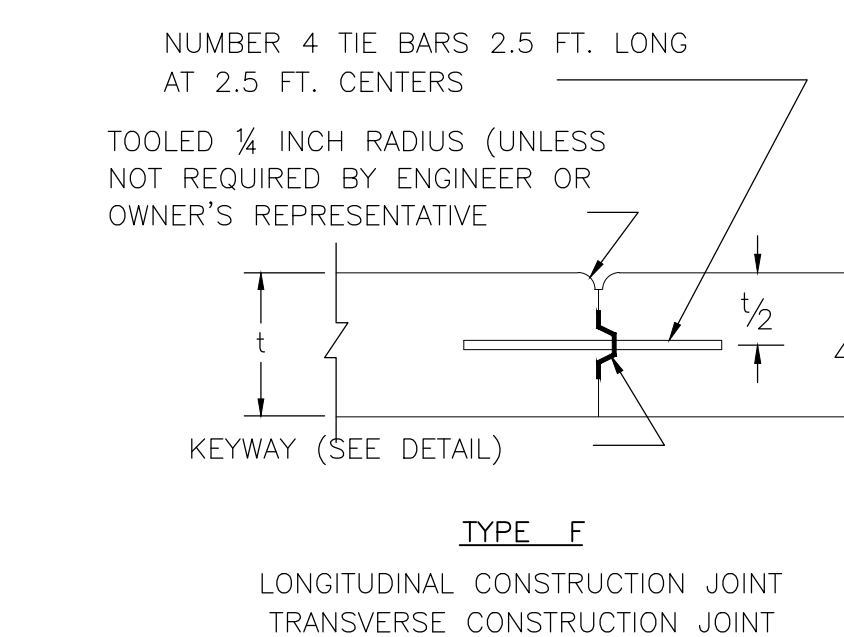
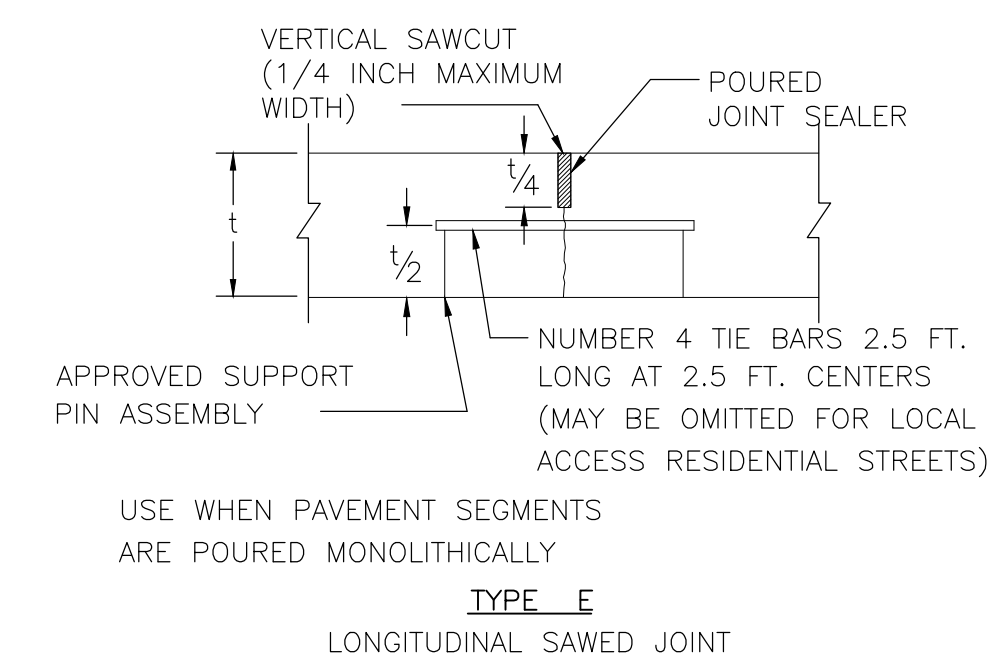
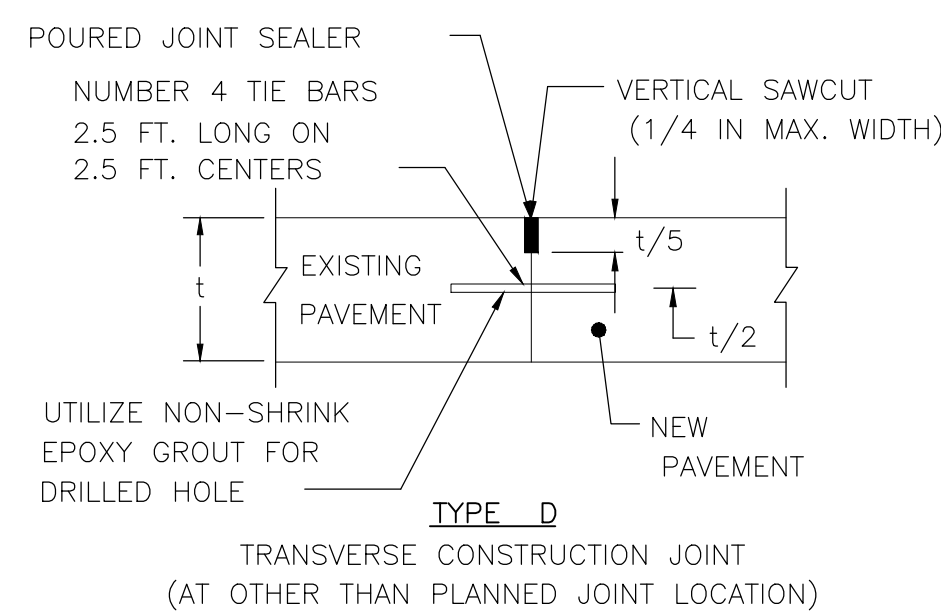
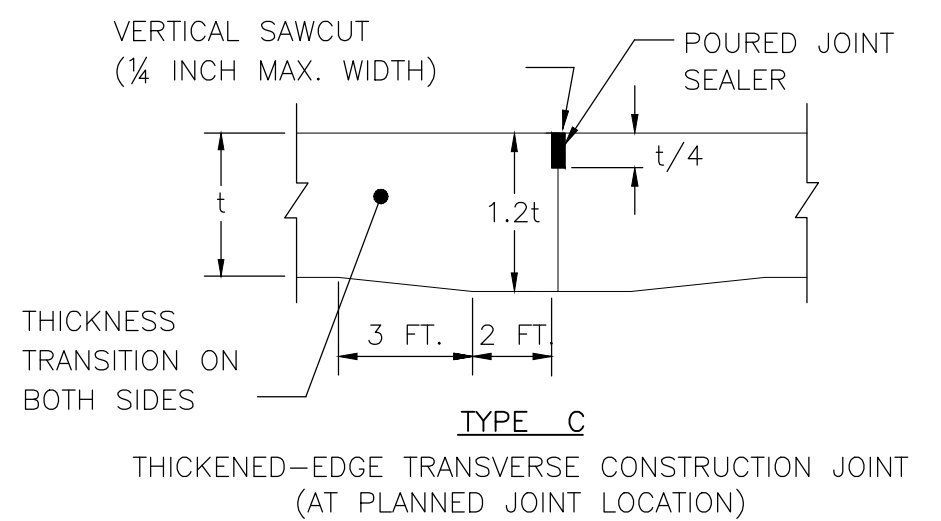
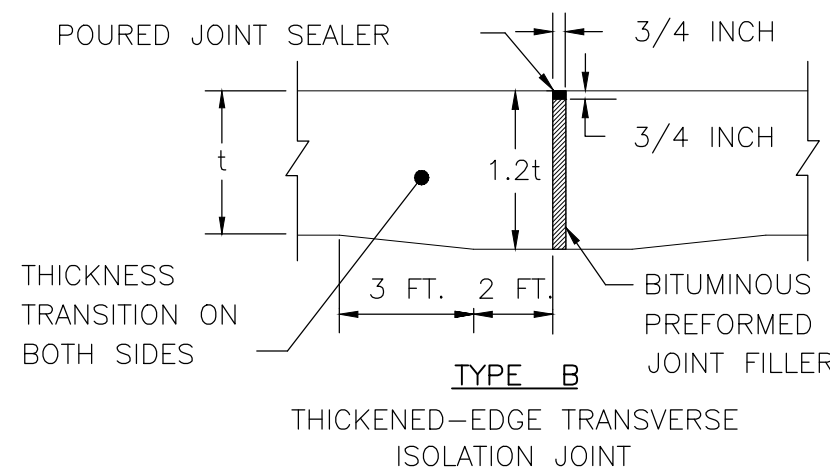
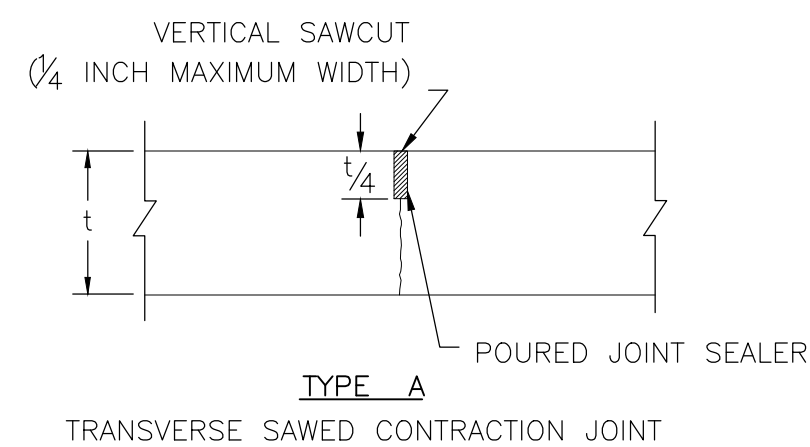
WHEN PROPOSED SEWER (OR WATER) IS LOCATED LESS THAN 10 FEET FROM EXISTING WATER (OR SEWER), THIS DETAIL SHALL APPLY. SEE UTILITY CROSSING NOTES ABOVE.

PARALLEL UTILITY INSTALLATION
NO SCALE

UTILITY CROSSING NOTES

1. WATER MAIN QUALITY PVC CASING PIPE SHALL BE SCHEDULE 40 OR EQUAL WITH A MINIMUM PRESSURE RATING OF 160 P.S.I.
2. SEAL ENDS OF CASING PIPE WITH A MINIMUM OF 1/2 CUBIC YARD OF CONCRETE OR EXPANDING FOAM PLUG.
3. DUCTILE IRON PIPE FOR SEWER OR TILE REPAIR SHALL BE THICKNESS CLASS 50 OR GREATER COMPLYING WITH AWWA C-151 WITH BITUMINOUS MATERIAL EXTERIOR COATING AND CEMENT LINED INTERIOR PER AWWA C-150.
4. STRICTLY ADHERE TO THE 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION REQUIREMENTS BETWEEN WATER MAINS AND STORM AND SANITARY SEWERS AT ALL TIMES. IF A WATER/SEWER SEPARATION CONFLICT IS IDENTIFIED DURING CONSTRUCTION IMMEDIATELY NOTIFY THE ENGINEER.
5. COMPLY WITH SUBSECTION 41-2.01 AND STANDARD DRAWINGS 18 THROUGH 24 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS", AT ALL TIMES.

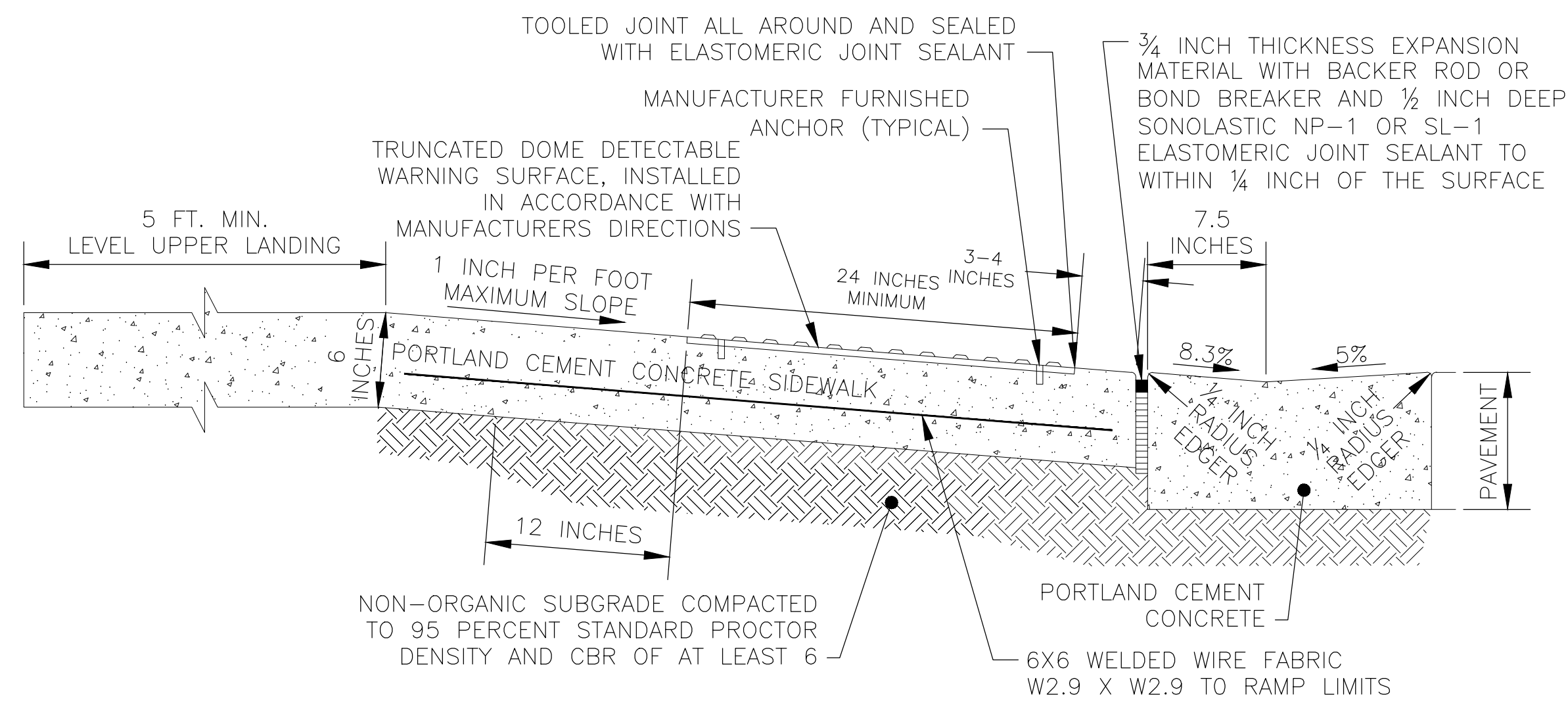
REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GENERAL DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C3.5



PAVEMENT JOINT TYPE DETAILS
NO SCALE

NOTES

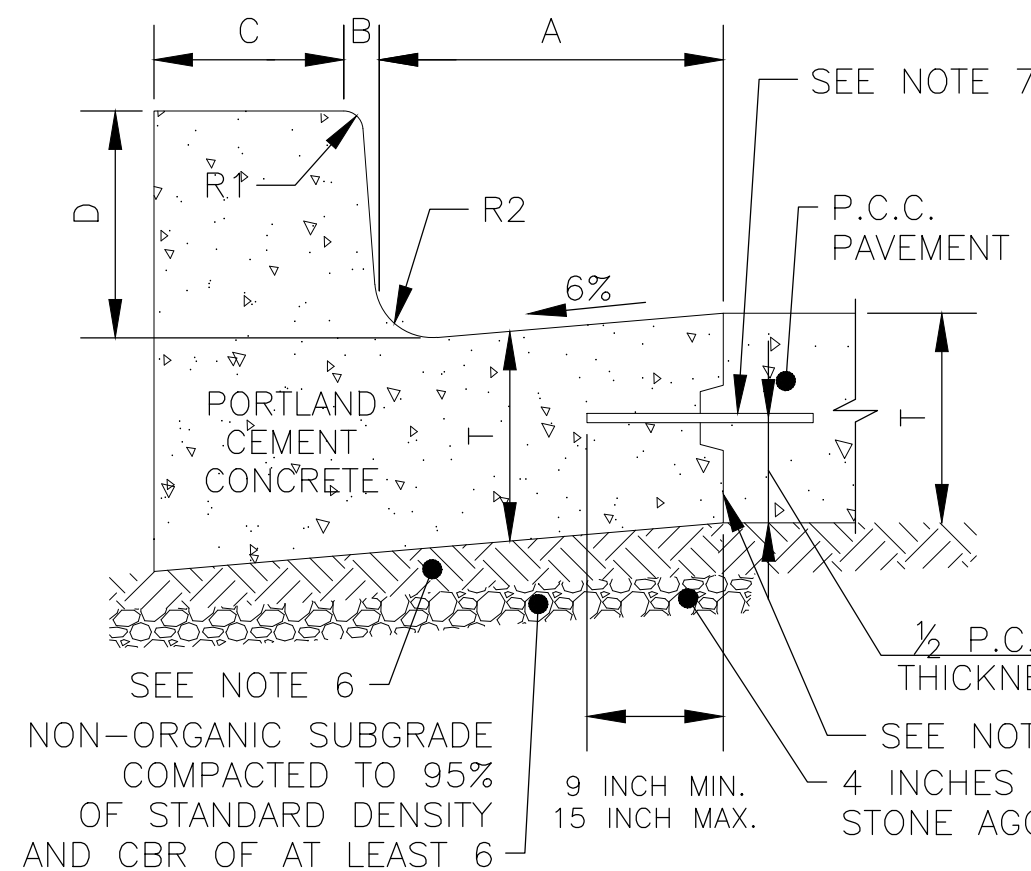
- ALL TRANSVERSE JOINTS MUST BE CONTINUOUS ACROSS THE PAVEMENT AND EXTEND THROUGH CURBS, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS.
- TRANSVERSE JOINT SPACING SHALL NOT EXCEED 15 FEET.
- SAWED JOINTS SHALL BE SEALED WITH JOINT SEALER MEETING THE REQUIREMENTS OF SECTION 1050 OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- ODD-SHAPED SLABS AT INTERSECTIONS AND SLABS CONTAINING CATCH BASINS SHALL BE REINFORCED WITH WELDED WIRE FABRIC WHICH MEETS THE REQUIREMENTS OF ARTICLE 1006010 OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" AS SHOWN IN THE DETAILS. THE WELDED WIRE FABRIC CUT FROM ROLLS WILL NOT BE PERMITTED.
- COMPLY WITH IDOT HIGHWAY STANDARD 420001, HIGHWAY STANDARD BLR-14, AND HIGHWAY STANDARD BLR-10.
- JOINTS SHALL BE SAWED TO A DEPTH OF 1/4 FOR TRANSVERSE JOINTS AND LONGITUDINAL JOINTS.
- CONSTRUCT TYPE D TRANSVERSE CONSTRUCTION JOINT WHEN CONSTRUCTION JOINT DOES NOT FALL AT AN ISOLATION OR EXPANSION JOINT.
- HOT POURED JOINT SEALANT SHALL BE, PAF-3 COMPLYING WITH ASTM D-3405. JOINT SEALANT SHALL COMPLY WITH SECTION 1050 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
- PREFORMED BITUMINOUS JOINT FILL SHALL CONFORM TO SECTION 1051 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION".
- TIE BARS SHALL BE EPOXY COATED.
- SAWCUT DEPTH THROUGH CURBS SHALL BE A MINIMUM OF 3 INCHES.
- THE DOWEL BARS SHOWN IN CONTRACTION JOINTS WILL ONLY BE REQUIRED FOR MONOLITHIC CONSTRUCTION.
- A MINIMUM CLEARANCE OF 2 INCHES BETWEEN THE END OF THE BAR AND THE BACK OF THE CURB SHALL BE MAINTAINED.



NOTE:

WHEN CUTTING PANELS, LAYOUT CUTS SUCH THAT AT LEAST TWO (2) ANCHORS ARE AVAILABLE IN EACH PIECE.

DETECTABLE WARNING SURFACE AND
DEPRESSED BARRIER CURB AT SIDEWALK RAMPS
NO SCALE



TYPE	A	B	C	D	R1	R2
B-6.12	12	1	6	6	1	3
B-6.18	18	1	6	6	1	3
B-6.24	24	1	6	6	1	3
B-6.30	30	1	6	6	1	3
B-5.18	18	1	6	5	1	3
B-5.24	24	1	6	5	1	3

NOTE: DIMENSIONS SHOWN ARE IN INCHES

TABLE OF DIMENSIONS
(TYPE "B" CURB AND GUTTERS)

NORMAL SLOPE
(ADJOINING P.C.C. PAVEMENT)

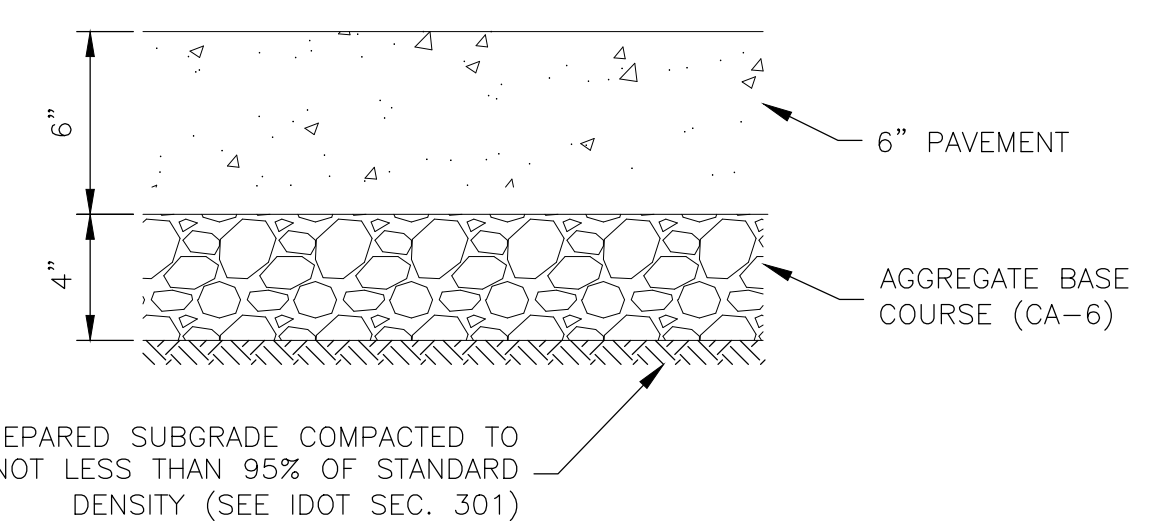
NOTES:

- "T" IS THE SPECIFIED TOTAL PAVEMENT THICKNESS AS INDICATED ON THE PLANS.
- PROVIDE TRANSVERSE CONTRACTION JOINTS AT 15 FT. MAXIMUM INTERVALS MATCHING ADJACENT CONCRETE PAVEMENT OR CONCRETE BASE COURSE AND PORTLAND CEMENT CONCRETE SIDEWALK JOINTS EACH SIDE.
- WHEN DEPRESSED BARRIER CURB IS CONSTRUCTED FOR SIDEWALK RAMPS THE BACK SLOPE OF THE PAN SHALL BE REDUCED TO 8.3% MAXIMUM. THE FRONT SLOPE OF THE PAN SHALL BE REDUCED FROM 6% TO 5%.
- THE STANDARD CURB FOR STREET PAVEMENTS SHALL BE B-6.24. USE OF OTHER CURB TYPES SHALL BE APPROVED IN ADVANCE BY THE VILLAGE ENGINEER.
- IF "T" IS GREATER THAN 7 INCHES USE NUMBER 6 DEFORMED TIE BARS DRILLED AND GROUTED AT 30 INCHES ON CENTERS. IF "T" IS LESS THAN 7 INCHES USE NUMBER 4 DEFORMED "L" WITH PRE-FORMED KEYWAY OR DRILLED AND GROUTED TIE BARS ON 30 INCH CENTERS. TIE BARS SHALL BE PLACED MID-DEPTH OF PORTLAND CEMENT CONCRETE
- CA-6 OR CA-10 CRUSHED STONE SPREAD, SHAPED AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY. SEE PAVEMENT DETAILS FOR SPECIFIC REQUIREMENTS.
- CONSTRUCTION JOINT WHEN PAVEMENT AND CURB ARE CAST SEPARATELY.

TYPE "B" PORTLAND CEMENT CONCRETE CURB AND GUTTER

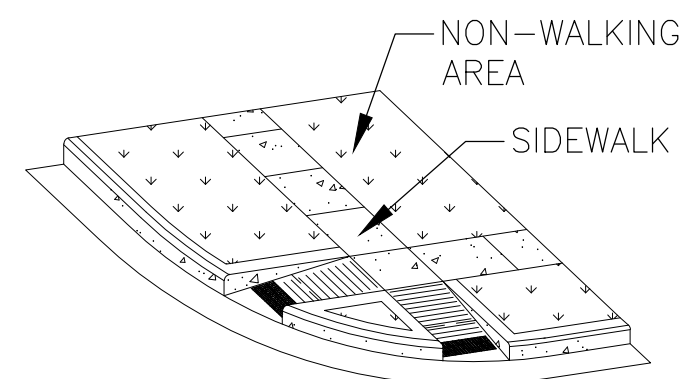
GENERAL DETECTABLE WARNING PANEL NOTES

- ALL DETECTABLE WARNING PANELS SHALL CONFORM TO ANSI A117.1 - 1988 ACCESSIBILITY GUIDELINES FOR BUILDING SPECIFICATIONS. SUBMIT DRAWINGS AND/OR CATALOG CUT SHEETS AND MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH ALL APPLICABLE STANDARDS TO THE ENGINEER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 4.1 AND 4.7 OF THE AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG) AS AMENDED AND WITH SECTION 1108 OF THE ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD'S "GUIDELINES FOR ACCESSIBLE PUBLIC RIGHTS-OF-WAY".
- TRUNCATED DOMES ON DETECTABLE WARNING PANEL SHALL HAVE A BASE DIAMETER OF 0.9 INCHES (23 mm) MINIMUM TO 1.4 INCHES (36 mm) MAXIMUM; A HEIGHT OF 0.2 INCHES (5 mm); AND A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM TO 2.4 INCHES (61 mm) MAXIMUM.
- DETECTABLE WARNING SURFACES SHALL BE DARK RED PANELS TO CONTRAST VISUALLY WITH ADJACENT LIGHT CONCRETE WALKING SURFACES AND SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE. SUBMIT COLOR SAMPLES OF DETECTABLE WARNING PAVERS FOR APPROVAL BY THE ENGINEER.
- DETECTABLE WARNING PANEL SHALL EXTEND 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.
- THE PANEL SHALL BE LOCATED SO THAT THE EDGE NEAREST THE SIDEWALK LINE IS NO LESS THAN 6 INCHES AND NO MORE THAN 8 INCHES FROM THE END OF SIDEWALK.
- TRUNCATED DOMES SHALL BE ALIGNED ON A SQUARE GRID PATTERN IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT ROLLING OF WHEELS BETWEEN DOMES. THE PATTERN SHALL NOT BE SKEWED DIAGONALLY TO THE DIRECTION OF TRAVEL.

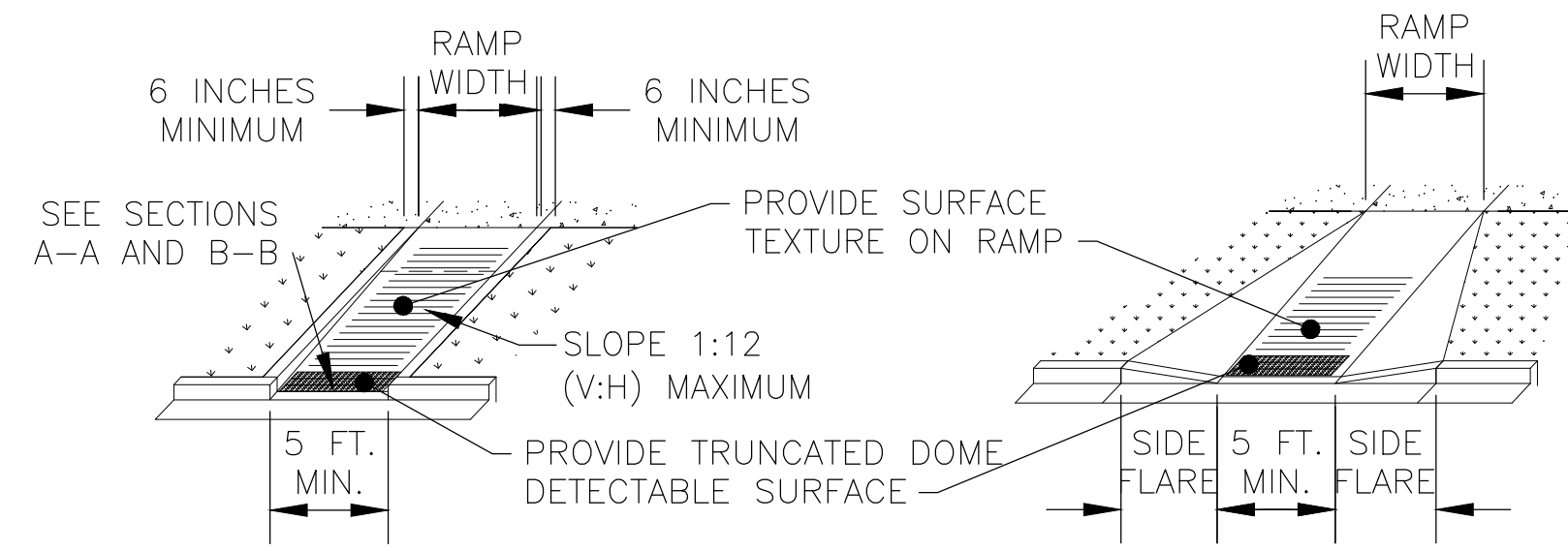


PORTLAND CEMENT CONCRETE PAVEMENT
N.T.S.

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GENERAL DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344 SHEET C3.6

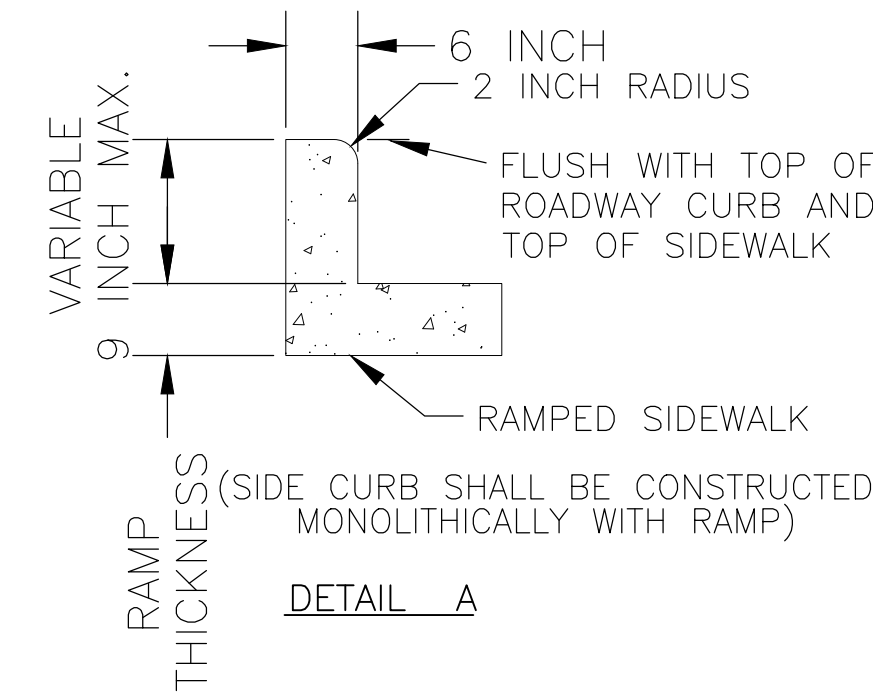


TYPICAL RAMP LOCATIONS

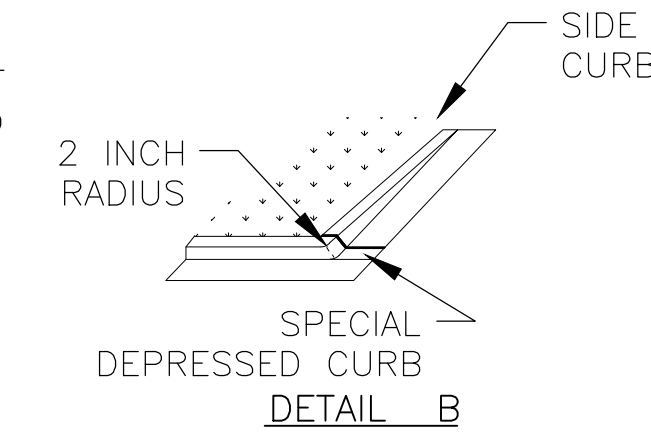


TYPE "A" RAMP

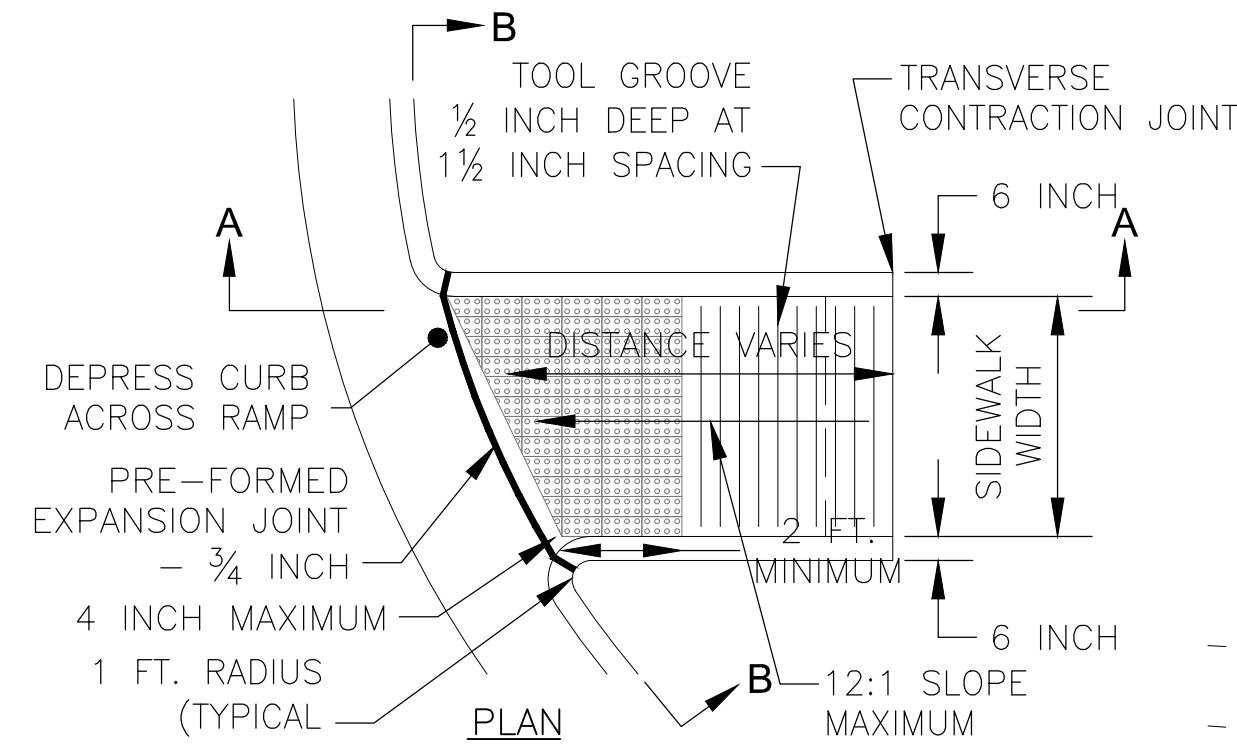
TYPE "B" RAMP



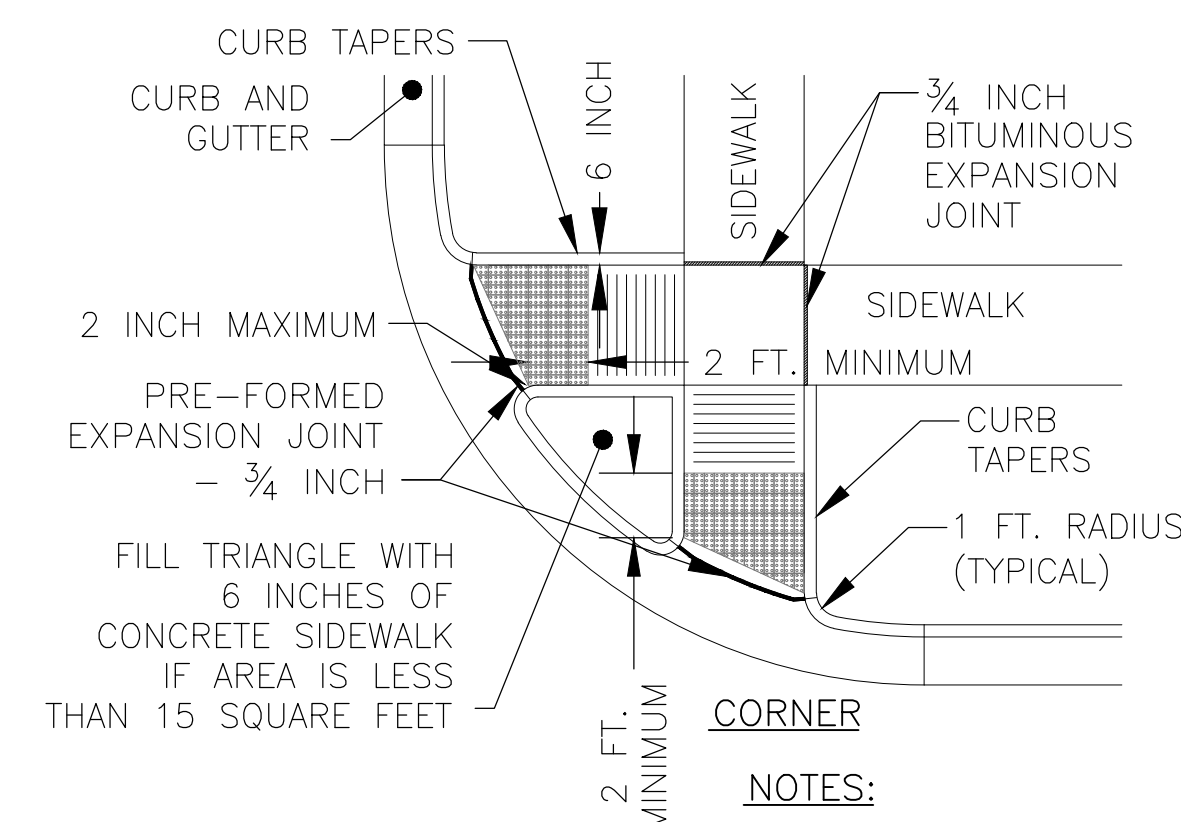
DETAIL A



SPECIAL DEPRESSED CURB
DETAIL B



PLAN



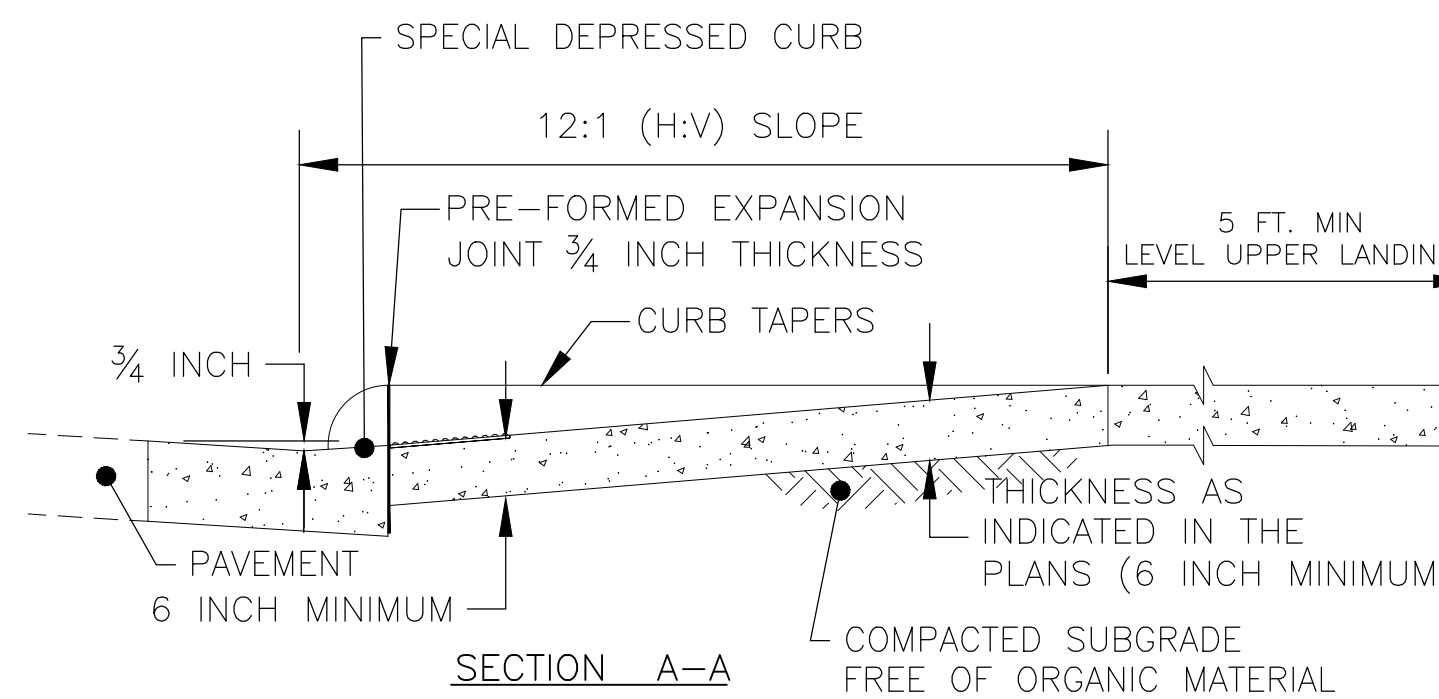
CORNER

NOTES:

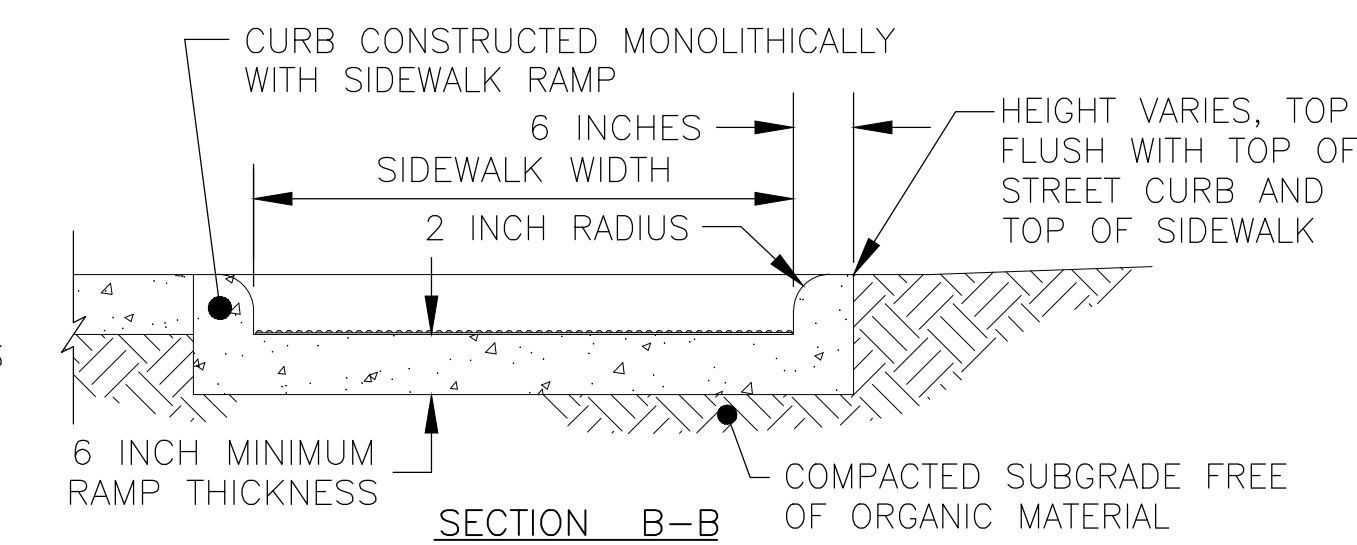
1. PROVIDE MINIMUM 2 FT. WIDE TRUNCATED DOME DETECTABLE PANELS SET AS SHOWN IN DETECTABLE WARNING PAVERS DETAIL.
2. RAMP TEXTURE - TRANSVERSE GROOVES TO BE PLACED 1/2 INCH DEEP AND 1/4 INCH WIDE AT 1 1/2 INCH SPACING TO LEAVE A TEXTURED PATTERN.

SIDEWALK CURB RAMPS

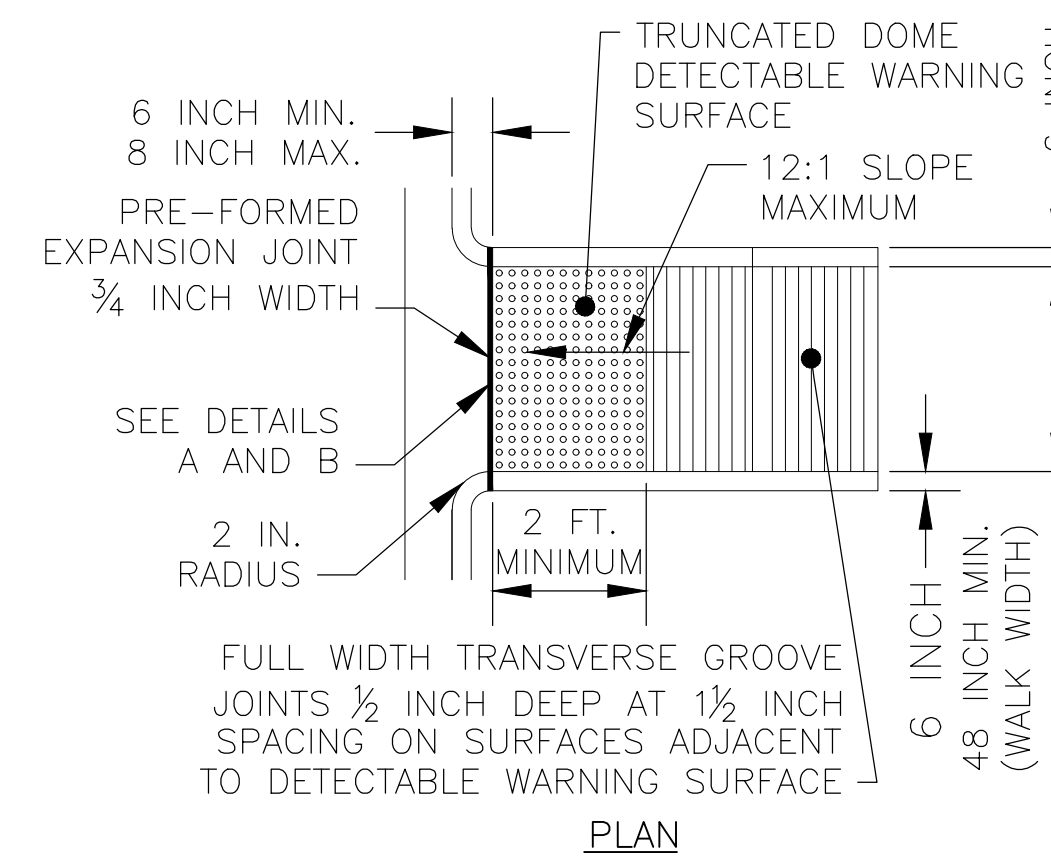
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SECTION A-A



SECTION B-B



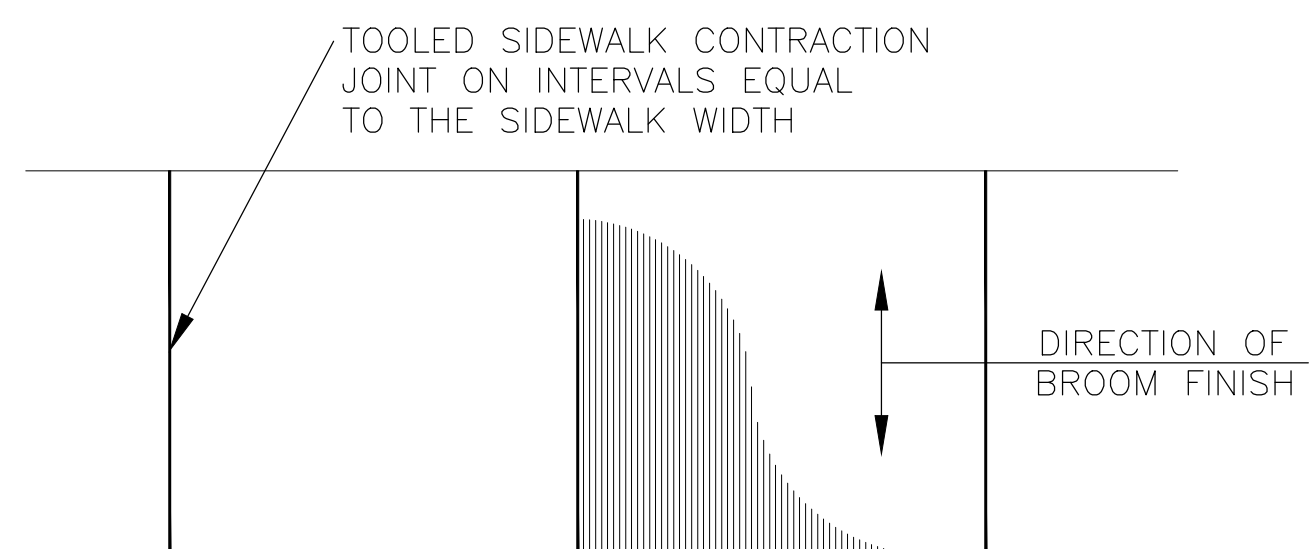
PLAN

SIDEWALK RAMP
NO SCALE

RAMP TEXTURE

TRANSVERSE GROOVES TO BE PLACED 1/2 INCH DEEP AT 1 1/2 INCH SPACING TO LEAVE A TEXTURED PATTERN.

DETECTABLE WARNING SURFACE SHALL BE TRUNCATED DOME TYPE COMPLYING WITH CURRENT AMERICANS WITH DISABILITIES ACT (A.D.A.) STANDARDS.

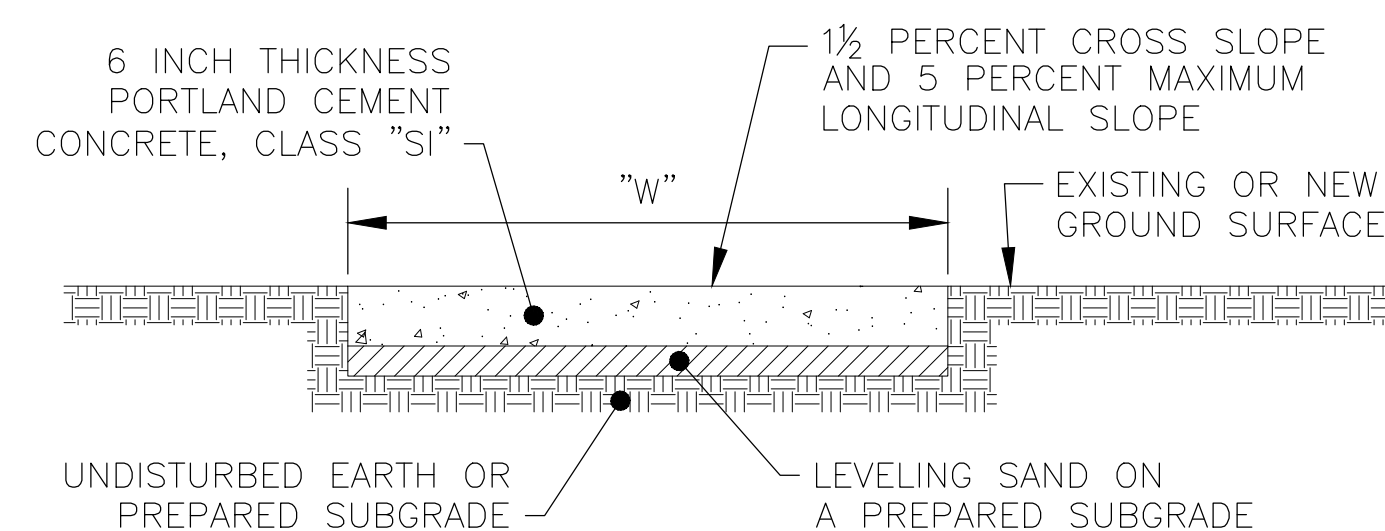


NOTE:

FOR PRONOUNCED EDGING, RETOOL EDGES AFTER BROOMING WITH A 3 INCH WIDE EDGER TO REMOVE BROOM MARKS.

SIDEWALK AND PATHWAY FINISHING

NO SCALE

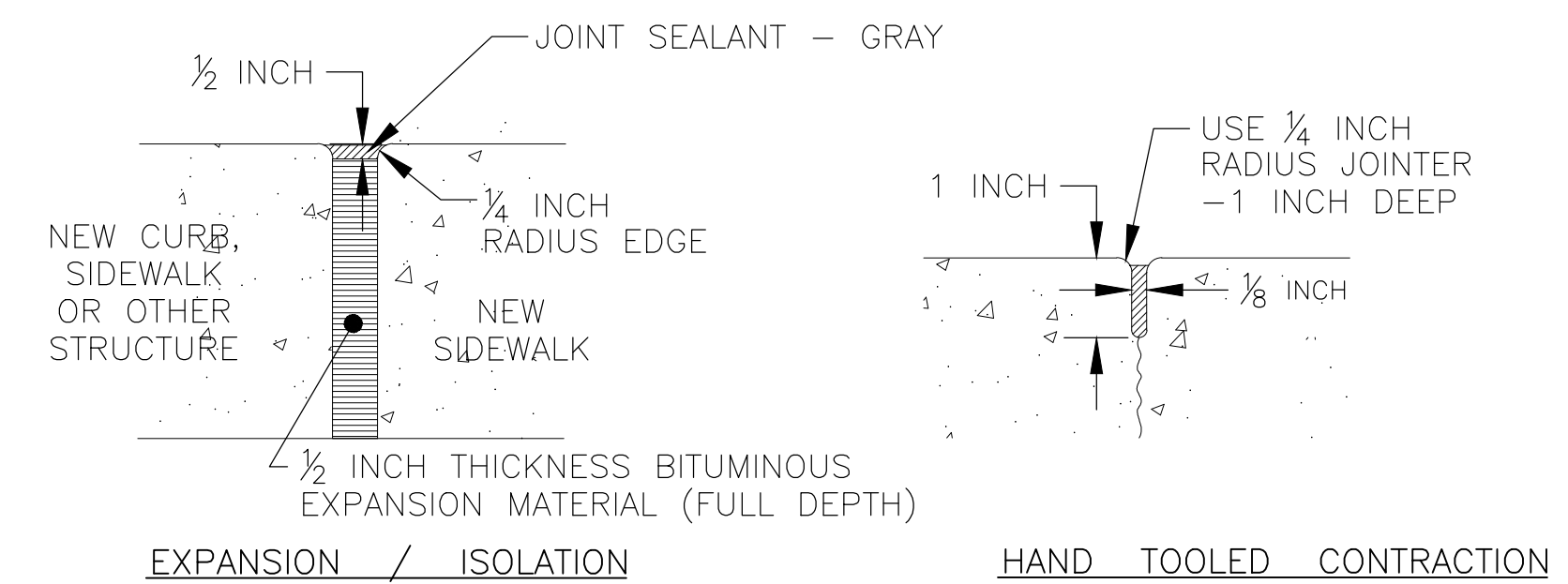


NOTES:

1. 1/2 INCH THICKNESS PREMOLDED EXPANSION JOINT SHALL BE PLACED AT MAXIMUM 100 FOOT INTERVALS.
2. SIDEWALK SHALL BE HAND GROOVED 1 INCH DEEP AT INTERVALS EQUAL TO THE WIDTH OF SIDEWALK AND SHALL BE EDGED WITH AN EDGING TOOL.
3. SIDEWALK WIDTH "W" VARIES PER LOCATION. SEE PLANS FOR WIDTH TO BE INSTALLED. STANDARD SIDEWALK WIDTH IS 5.0 FEET, STANDARD MULTIPURPOSE PATH WIDTH IS 8.0 FEET.

TYPICAL SIDEWALK CROSS SECTION

NO SCALE

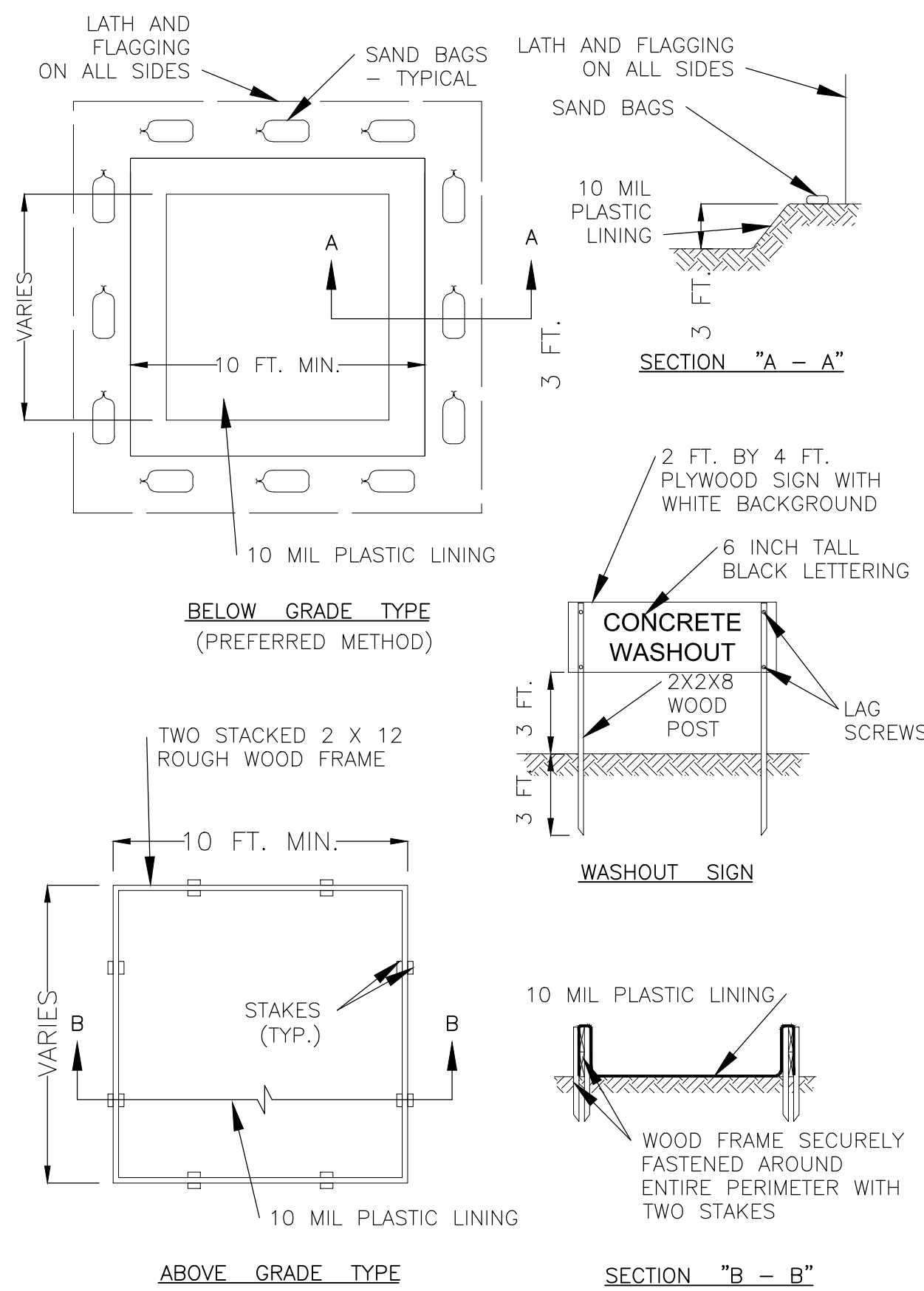


EXPANSION / ISOLATION

HAND TOOLED CONTRACTION

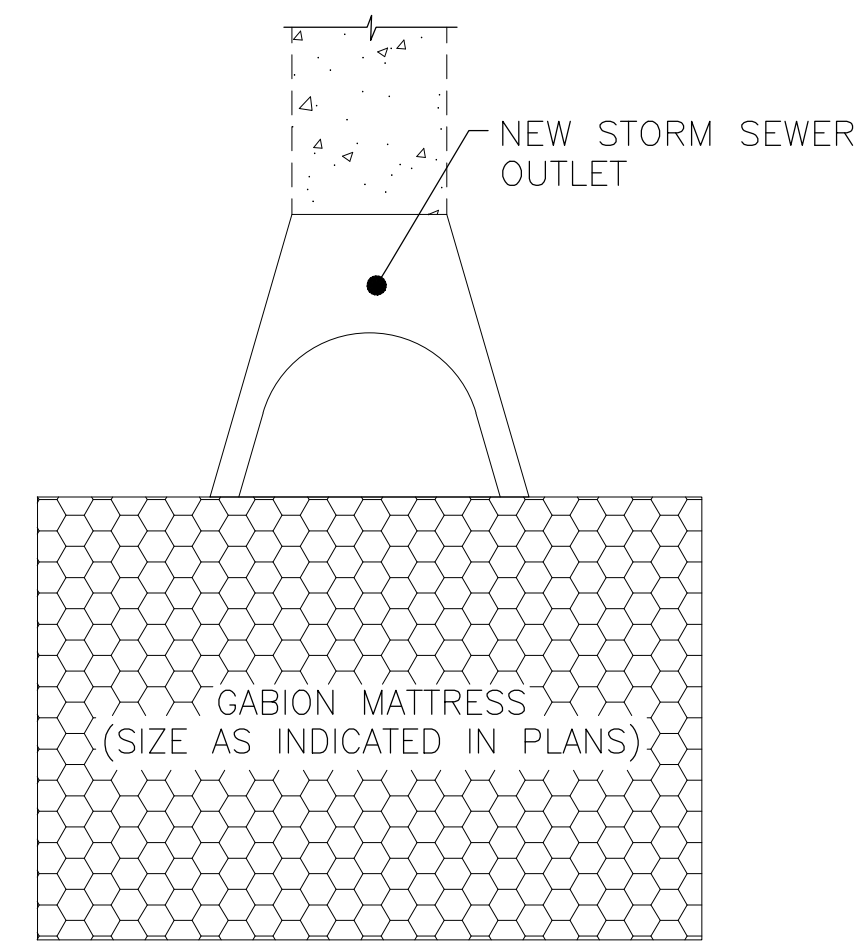
SIDEWALK AND PATHWAY JOINTS
NO SCALE

REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IOWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GENERAL DETAILS		ILLINOIS DESIGN FIRM NO. 184-003525
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		JOB # 21-344
		SHEET C3.7



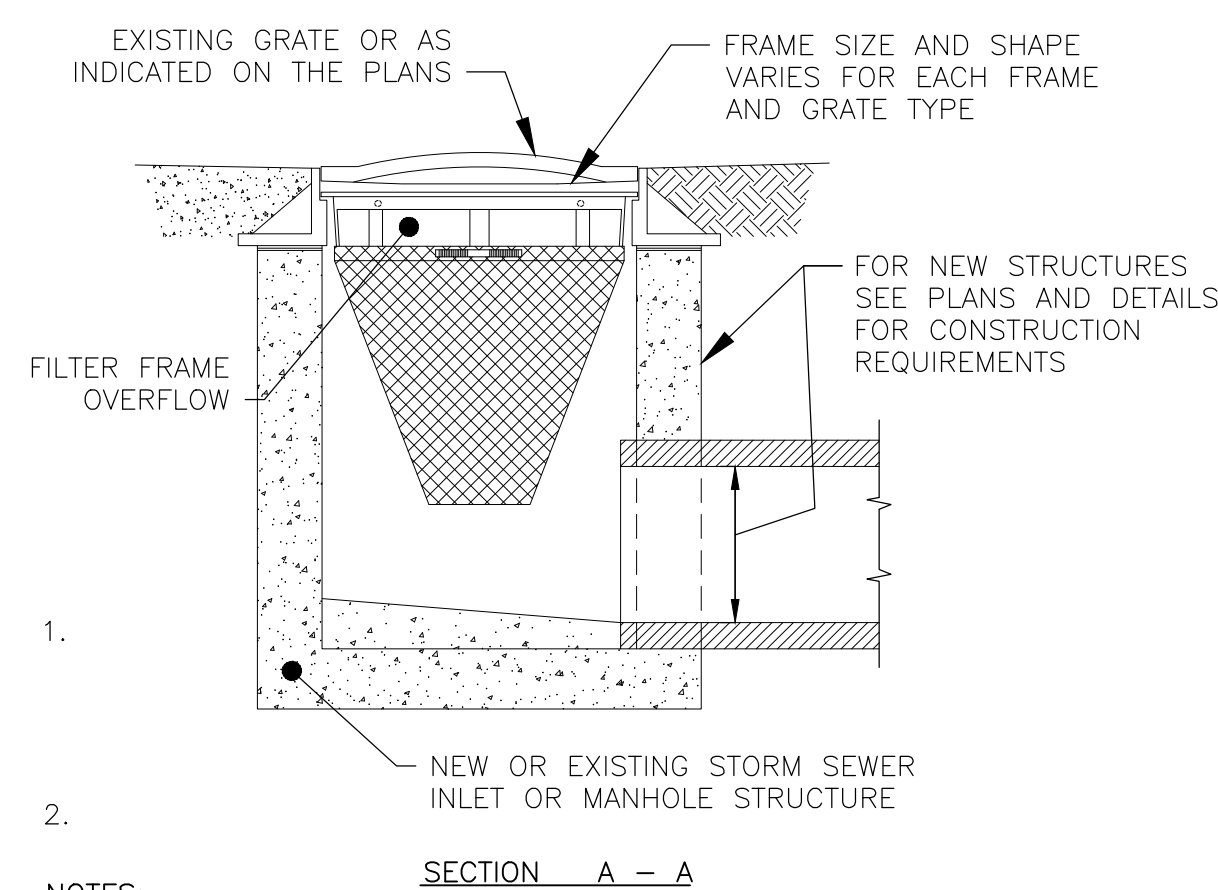
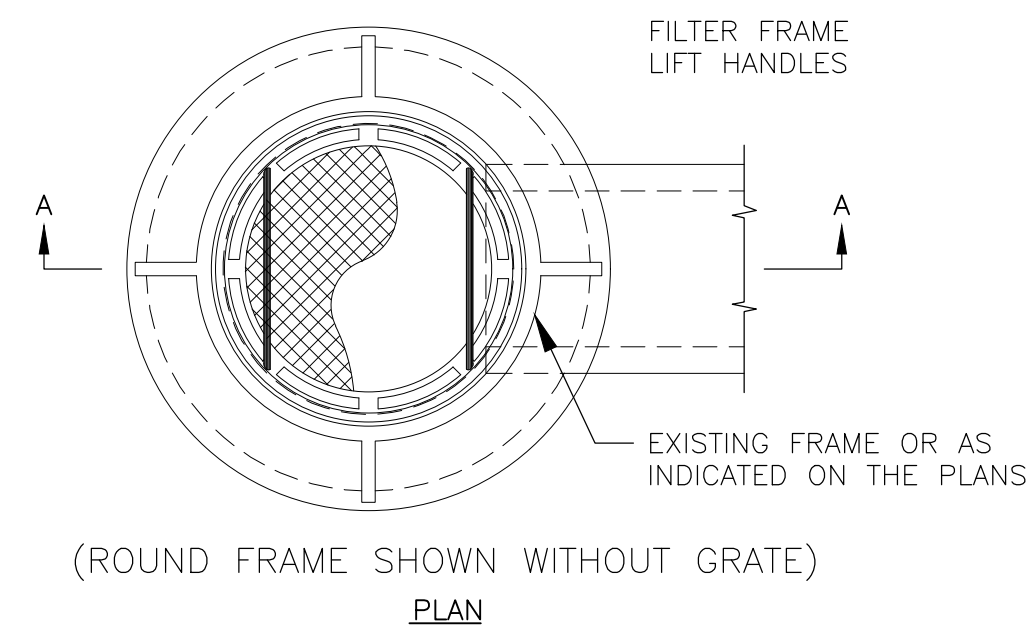
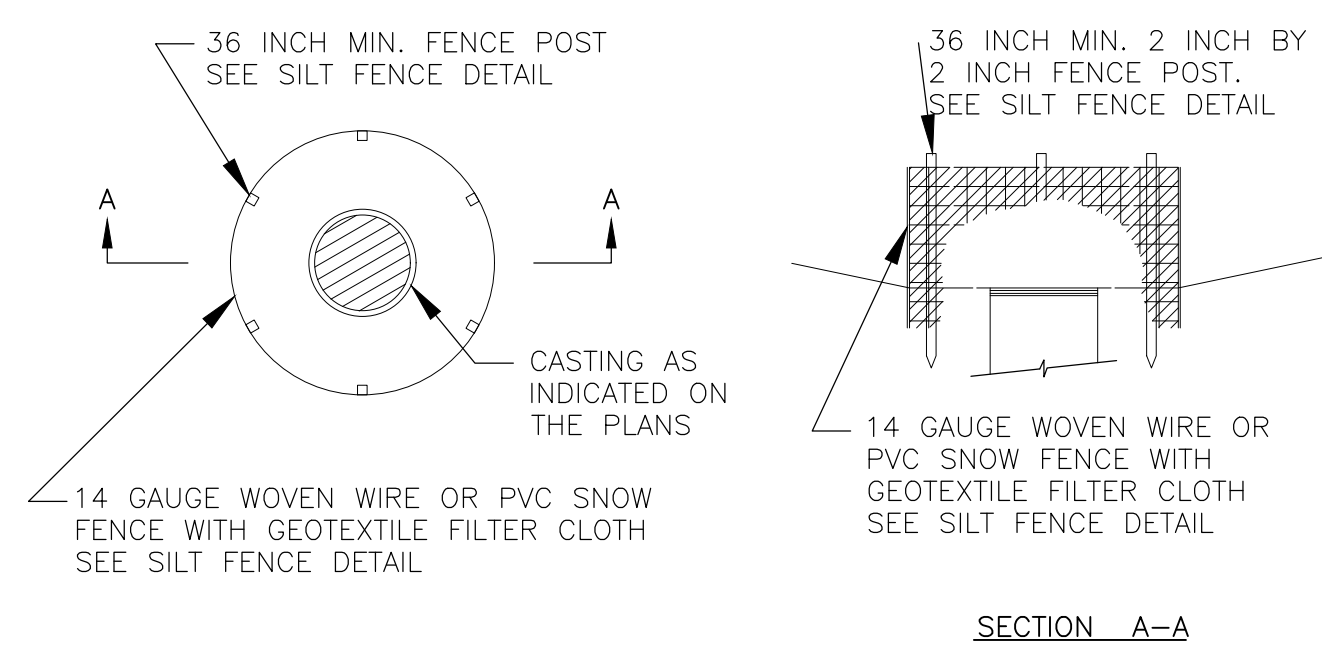
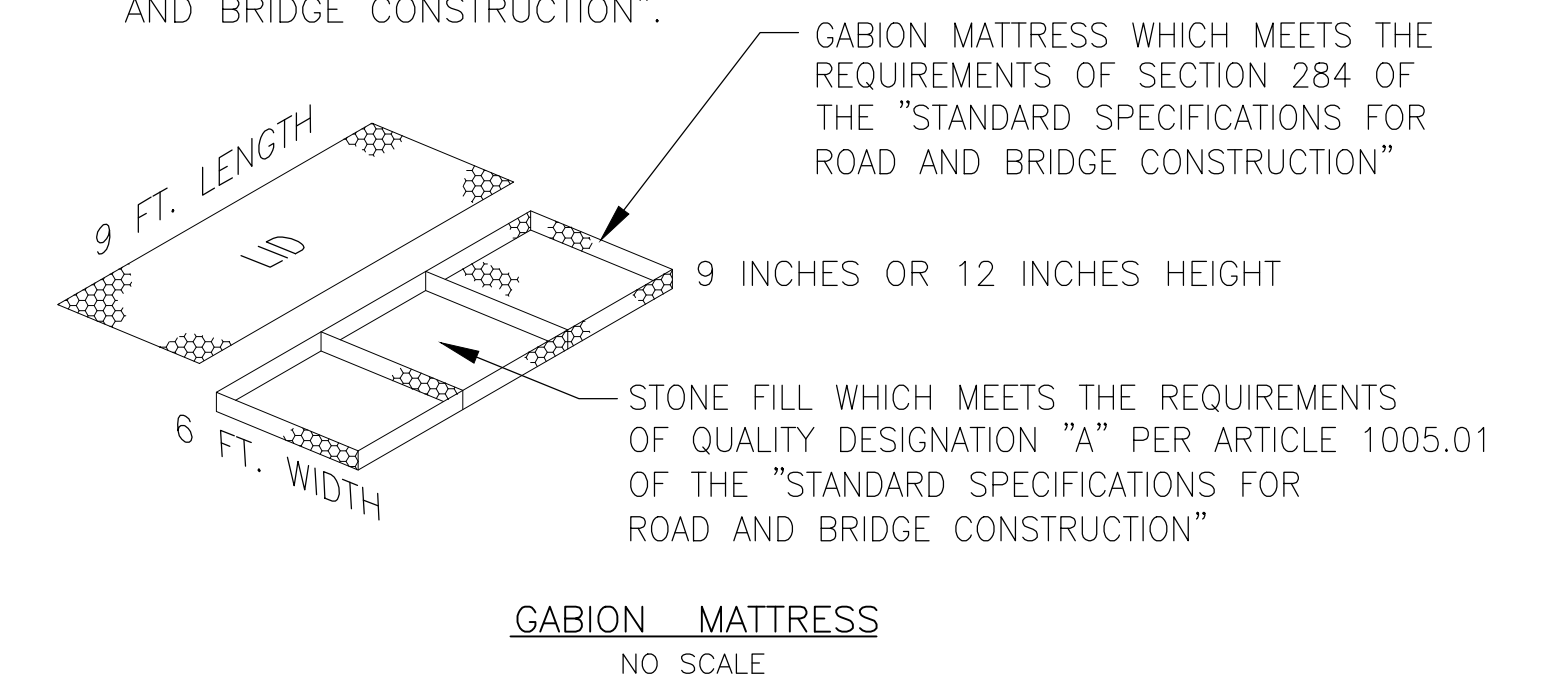
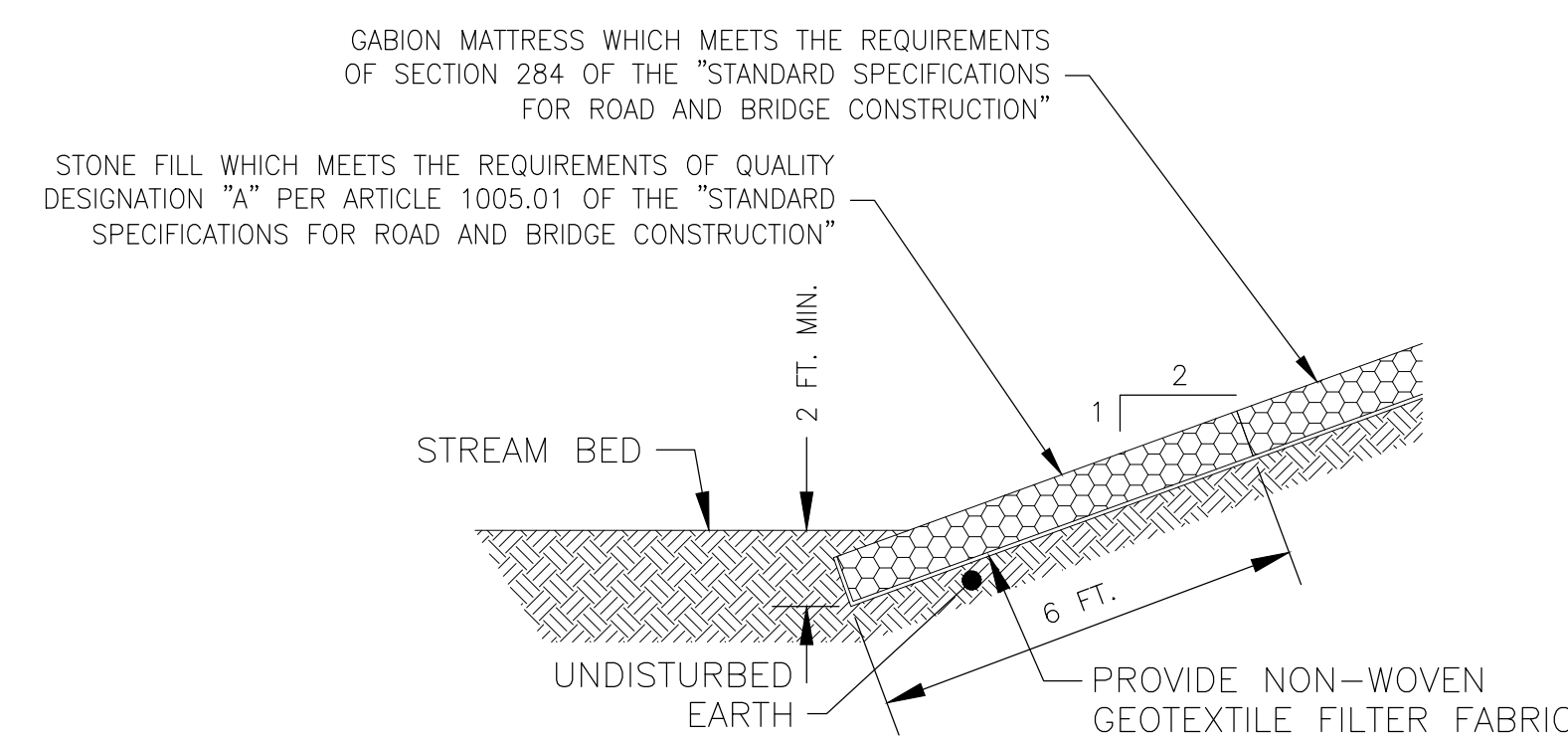
NOTES:

1. PORTLAND CEMENT CONCRETE (PCC) AND ASPHALT CONCRETE (AC) WASTES SHALL BE COLLECTED OR PLACED IN A CONCRETE WASHOUT FACILITY AND DISPOSED OF. NO PCC OR AC WASTES SHALL ENTER THE STORM SEWER SYSTEM OR WATERCOURSES.
2. A SIGN SHALL BE INSTALLED ADJACENT TO EACH FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE PROPER FACILITIES.
3. BELOW GRADE FACILITIES ARE PREFERRED. ABOVE GRADE FACILITIES MAY BE UTILIZED IF EXCAVATION IS NOT PRACTICAL.
4. WASHOUT FACILITIES SHALL HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED BY WASHOUT AND CONSTRUCTION ACTIVITIES.
5. ONCE CONCRETE WASTES ARE DISCHARGED TO FACILITIES AND ALLOWED TO HARDEN, THE CONCRETE WASTE SHALL BE BROKEN UP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.
6. PLASTIC LINING SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
7. A MINIMUM FREEBOARD OF 12 INCHES IS REQUIRED FOR BELOW GRADE FACILITIES AND A MINIMUM OF 4 INCHES FREEBOARD IS REQUIRED FOR ABOVE GRADE FACILITIES.
8. WHEN FACILITIES ARE NO LONGER REQUIRED FOR CONSTRUCTION WORK, THE MATERIALS USED TO CONSTRUCT THE FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.
9. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY REMOVAL OF THE FACILITIES SHALL BE BACKFILLED AND RESTORED TO PRE-EXISTING CONDITIONS OR TO INTENDED USE.
10. FACILITIES MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED ONCE THE WASHOUT IS 75% FULL.



GABION CONSTRUCTION NOTES

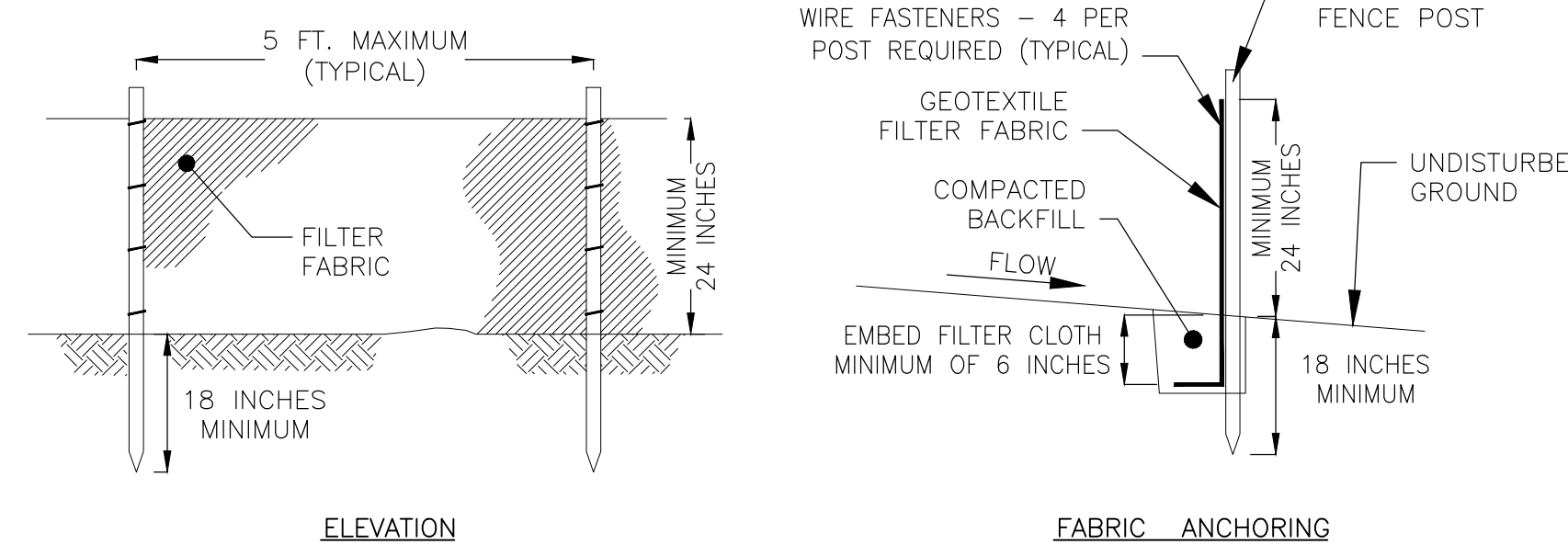
1. ALL GABIONS SHALL BE FURNISHED AND CONSTRUCTED IN ACCORDANCE WITH SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
2. GABIONS SHALL BE LACED OR FASTENED ALONG THE PERIMETER OF ALL CONTACT SURFACES ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
3. GABIONS SHALL BE OF SINGLE UNIT CONSTRUCTION, CONSISTING OF ZINC COATED STEEL WIRE WITH A DIAMETER NOT LESS THAN 2.2 MILLIMETERS. REINFORCING WIRES SHALL BE WOVEN INTO THE BASKETS AT CORNERS AND OTHER CRITICAL POINTS TO INCREASE STRENGTH.
4. GABIONS SHALL BE FILLED WITH STONE RANGING IN SIZE FROM THREE (3) INCHES TO SIX (6) INCHES IN DIAMETER OR LONG DIMENSIONS, AND SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS.
5. BACKFILL OF EARTH MATERIALS AROUND GABION BASKETS SHALL BE ADEQUATELY COMPACTED TO PREVENT EROSION.
6. PLACE GABION ON SHAPED, UNDISTURBED EARTH.
7. PROVIDE FILTER FABRIC BENEATH GABION MATTRESS COMPLYING WITH ARTICLE 1080.03 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
8. STONE FILL SHALL MEET THE REQUIREMENTS OF QUALITY DESIGNATION "A" PER ARTICLE 1005.01 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".



NOTES:

FILTER FRAMES FOR SEDIMENT BAGS SHALL BE SHAPED TO FIT INTO THE REQUIRED INLET OR MANHOLE FRAME AND GRATES. THE FILTER FRAME SHALL HAVE AN OVERFLOW FEATURE. THE SEDIMENT BAGS SHALL HAVE A SUPPORTING NET CAPABLE OF SUPPORTING A FULL SEDIMENT BAG.

CONTRACTOR WILL BE REQUIRED TO CHECK AND EMPTY SEDIMENT BAGS AFTER EACH RAIN AND AT SUCH INTERVALS NEEDED TO CONTROL SILT BUILDUP. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SEDIMENT BAGS WHEN DISCOVERED.

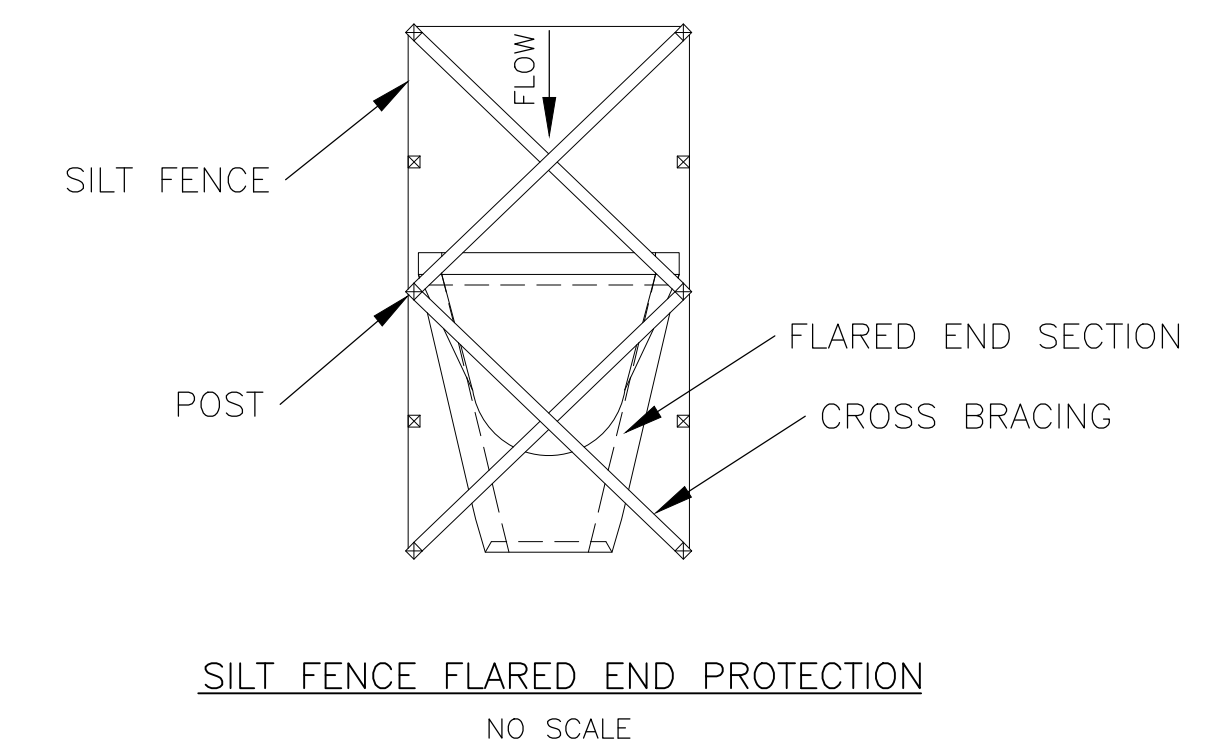


NOTES:

1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

PERIMETER BARRIER SILT FENCE

NO SCALE



REV. #	REV. DATE:	REVISION MADE:
DATE: 04/28/21	SCALE: AS SHOWN	ILLINOIS IDWA WISCONSIN
FIELD BOOK: 15/77, 20/41	DRAWN BY: RLT	FEHR GRAHAM ENGINEERING & ENVIRONMENTAL FEHR GRAHAM ENGINEERING & ENVIRONMENTAL 1610 BROADMOOR DR. CHAMPAIGN, ILLINOIS 61821
CHECKED BY: CMO		
GENERAL DETAILS		
THE RESERVE AT VISION SOUTH 1801 PATTON DRIVE MAHOMET, ILLINOIS		ILLINOIS DESIGN FIRM NO. 184-003525 JOB # 21-344 SHEET C3.8

Detention Calculations for Vision South Multi-Family Development

Storage Required per Mahomet Code

Area (multi-family): 222,793 SF = 5.11 acres
 Storage required: 3.0 in. x square foot area
 0.25 ft. x 222,793 sf = 55,699 cubic feet

Proposed Storage

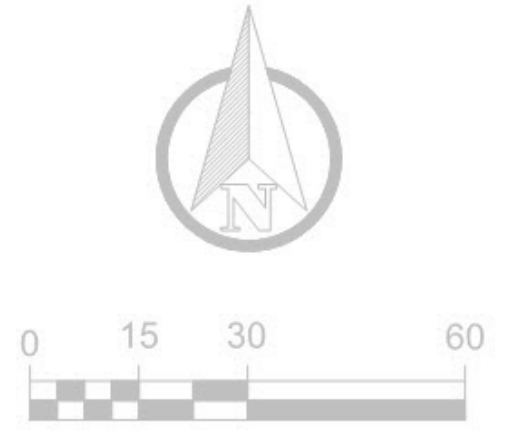
Elevation	Area – sf	Incremental Storage–cf	Cumulative Volume - cf
765.13	0	-----	0
766	2280	992	992
767	8524	5,402	6,394
768	10,822	9,673	16,067
769	12,437	11,630	27,696
770	14,152	13,294	40,991
771	15,968	15,060	56,051

Maximum Release Rate: 5 yr. release: 5.11 ac. x 0.20 cfs/ac. = 1.02 cfs
 Half full capacity: 5.11 ac. x 0.30 cfs/ac. = 1.53 cfs
 Full capacity: 5.11 ac. x 0.35 cfs/ac. = 1.79 cfs

50 YR Storm Routing

50 YR Inflow = 16.81 cfs
 50 YR Outflow = 0.94 cfs
 Max. Elevation = 768.38

Reserve Mahomet Lighting Plan



**MOUNTING HEIGHT NEXT TO EACH FIXTURE
CALCULATED 10' ON GROUND**

Luminaire Schedule		Label		Arrangement	ILF	Description	Lum. Watts	Total Watts	Lum. Lumens
T4	1	T5	94	SINGLE	0.900	PRV-C40-D-DNV-T5-B2	131	131	18364
T4	9	T4	94	SINGLE	0.900	PRV-C40-D-DNV-T4-B2	153	1377	19984

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label	SITE 1	Illuminance	Fc	2.04	5.5	0.5	4.08	11.00

NOTES: 1. ALL LIGHT FIXTURES ARE ASSUMED TO BE MOUNTED AT THE HEIGHT OF 10 FEET ON GROUND. 2. ALL FIXTURES ARE ASSUMED TO BE MOUNTED AT THE HEIGHT OF 10 FEET ON GROUND. 3. ALL FIXTURES ARE ASSUMED TO BE MOUNTED AT THE HEIGHT OF 10 FEET ON GROUND. 4. ALL FIXTURES ARE ASSUMED TO BE MOUNTED AT THE HEIGHT OF 10 FEET ON GROUND. 5. ALL FIXTURES ARE ASSUMED TO BE MOUNTED AT THE HEIGHT OF 10 FEET ON GROUND.

Post Lantern

Post top - fitter for 3" post or pedestal mounted • Wet location listed **PROGRESS LED**



Description:

The East Haven LED Collection offers modern styling to complement a wide variety of home styles. The one-light LED post lantern has a Black frame that cradles a seeded glass shade. Fits 3" post (order separately). 120V AC replaceable LED module, 623 lumens (source), 3000K color temperature and 90+ CRI.

Specifications:

- Black (-31) (powder coat paint)
- Aluminum Construction
- Clear Seeded glass shade, White acrylic Diffuser
- LED Module is replaceable (part # 93054049)
- Contemporary styling.
- Features clear seeded glass.
- Powder coated finish.
- 623 lumens 69.2 lumens/watt per module (source)
- 3000K color temperature, 90+ CRI.
- Dimmable to 10% brightness (See Dimming Notes)
- Mounting No for outlet box included
- 6" of wire supplied
- ENERGY STAR® qualified
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

Number of Modules	1
Input Power	9w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Source)	623/69.2 (LM-82)
Lumens/LPW (Delivered)	196/28 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	Meets FCC Title 47, Part 15 Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cCSAus Wet location listed ENERGY STAR® qualified Meets California Title 24 high efficacy requirements for outdoor use only

P6430-3130K9

Images:



Dimensions:

Diameter: 7-1/2"
Height: 15"

Glass
Width: 6-1/8"
Length: 6-1/8"
Height: 6-1/2"
Glass 2
Width: 2-7/8"
Length: 2-7/8"
Height: 0-13/16"

P6430-3130K9

Dimming Notes:

P6430 is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls

Lutron Nova T NTELV-300

Lutron Vierti VTELV-600

Lutron Ariadni AYCL-153P

Lutron Diva DVCL-153P

Lutron Maestro MAELV-600

Lutron spacer/system SPSELV-600

Leviton Renoir II AWRMG-EAW

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation. Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

SPECIFICATIONS

Certifications/Qualifications

www.kichler.com/warranty

Dimensions

Weight 4.35 LBS
Height 84.00"
Width 3.00"

Light Source

Lamp Included Not Included

Mounting/Installation

Interior/Exterior Exterior
Location Rating Accessory, Listing Not Required

FIXTURE ATTRIBUTES

Housing

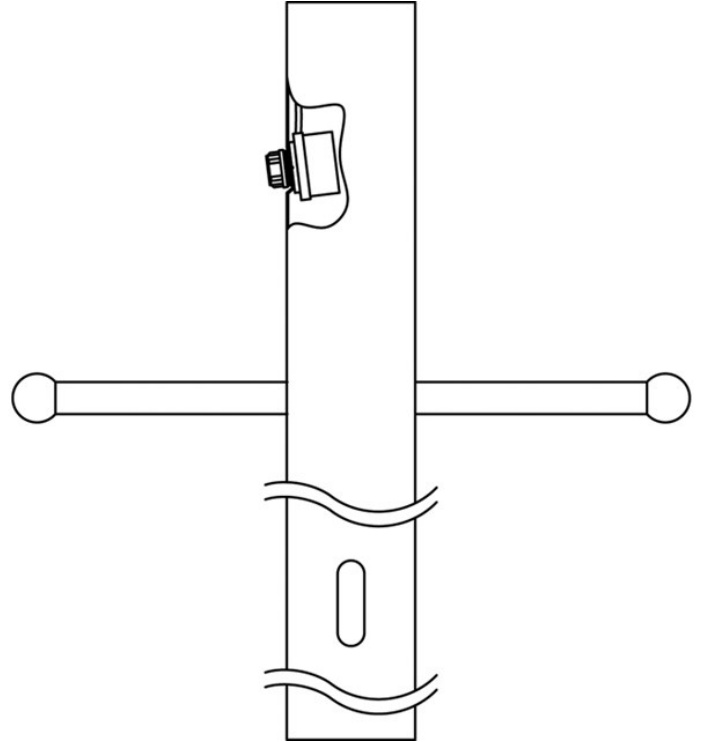
Primary Material ALUMINUM

Product/Ordering Information

SKU 9502BK
Finish Black
Style Other
UPC 783927290036

Finish Options

 Black





**Plan and Zoning Commission
Staff Report
Meeting December 7, 2021**

FROM: Abby Heckman, Planner
Community Development Department

PROJECT: Rezoning – ZA2021-07: 402 Copperhill Drive

PETITIONER: Victor J. Fuentes (owner)

PUBLIC HEARING / PROCEDURAL ISSUES:

The Plan and Zoning Commission (PZC) is required to hold a public hearing upon request for a Zoning Map Amendment. The public hearing is scheduled for December 7, 2021 at 7:00pm. Public hearings can be closed or continued to another meeting without any action on the case. Public notice was published in the News-Gazette on November 21, 2021. Notice letters were sent via USPS to property owners within 250 feet of the rezoning boundary. The PZC acts in an advisory role to the Board of Trustees (BOT) regarding zoning map amendments. The PZC is asked to make a recommendation to the BOT concerning rezoning requests. A draft resolution is attached for consideration by the PZC. The BOT will approve or deny the proposed zoning map amendment.

**REQUESTED ACTION: PUBLIC HEARING
RECOMMENDATION TO BOARD OF TRUSTEES (BOT)**

The petitioner has applied for and submitted all documentation in accordance with the Zoning Ordinance and requests consideration of the proposed zoning map amendment. The PZC is asked to consider all documents concerning the proposed zoning map amendment. The rezoning request includes 14.79± acres of land. Current zoning on the subject property is R-1A Single-Family Residential district. The proposed zoning is AG Agricultural district. The property owner would like to rezone the subject property due to the large size of the existing lot and to allow for more flexibility with allowed accessory buildings. Residentially zoned (R-1) property has significant limitations to the size of accessory buildings allowed.

The owners of the property at 310 Copperhill Drive, adjacent to the west, submitted a letter in support of the rezoning request which is attached.

SITE LOCATION / DETAILS: The subject property is located at the northeast corner of the intersection of Copperhill Drive and County Road 325E, commonly known at 402 Copperhill Drive.

BACKGROUND: The subject property was created in 1992 as Lot 4 of Country Ridge South Subdivision. A single-family home and related accessory structures exist on the site.

CONFORMANCE TO COMPREHENSIVE PLAN: The Village of Mahomet Comprehensive Plan currently designates this site as part of the South IL 47 Gateway functional framework area which is characterized

by newer subdivisions surrounded by farmland and natural areas. The Comprehensive Plan Land Use Plan shows Single-Family Detached Residential uses on this site and adjacent to lands designated as agricultural use. The Comprehensive Plan urges development which is compatible with adjacent existing and future land uses. The rezoning request is consistent with this principle. Expansion of residential development to the south of this property is not expected due to challenges with expansion of utilities to serve those lands.

LAND USE AND ZONING:

Direction	Current Land Use	Current Zoning
On-Site	Single-Family Residential	R-1A Single-Family Residential
North	Undeveloped / Agriculture	R-1B Single-Family Residential
South	Undeveloped / Agriculture	County
East	Undeveloped	AG Agricultural
West	Single-Family Residential	R-1A Single-Family Residential

CONFORMANCE TO ZONING ORDINANCE: The intent of the AG zoning district is to provide for limited areas of agricultural activity and for activities associated with a rural setting. Single-family dwelling is a permitted use within the AG district. The request is consistent with the intent of the proposed AG Agricultural zoning classification.

POLICE / FIRE PROTECTION: The Village of Mahomet Police Department currently provides police protection to this site and is approximately 2.1 miles from the police station. This property is within the Cornbelt Fire Protection District and is approximately 2.5 miles from the fire station.

SANITARY SEWER AND WATER FACILITIES: No public sanitary sewer and water services are available to serve this site therefore the site is currently served by a private water well and sanitary septic system.

STREETS AND SIDEWALKS: No sidewalks exist along Copperhill Drive. Sidewalks within Country Ridge South Subdivision were deferred and are the responsibility of the property owners to construct when requested by the Village to do so. No change to the existing access to this site is proposed.

LASALLE FACTORS:

The Illinois Supreme Court has established a set of factors for evaluation of the constitutionality of zoning decisions. No single factor is controlling, and each case must be decided on its own facts although Illinois courts place substantial importance on the first factor.

1. The existing uses and zoning of nearby property.
2. The extent to which property values are diminished.
3. The extent to which the destruction of property value of the plaintiff promotes the health, safety, morals or general welfare of the public.
4. The relative gain to the public as opposed to the hardship imposed upon the individual property owner.
5. The suitability of the subject property for the zoned purposes

6. The length of time the property has been vacant as zoned considered in the context of land development in the area.
7. The care with which a community has undertaken to plan its land-use development.

These factors should be considered during the Commission's deliberations. The attached prepared resolution will address these factors for consideration by the Commission.

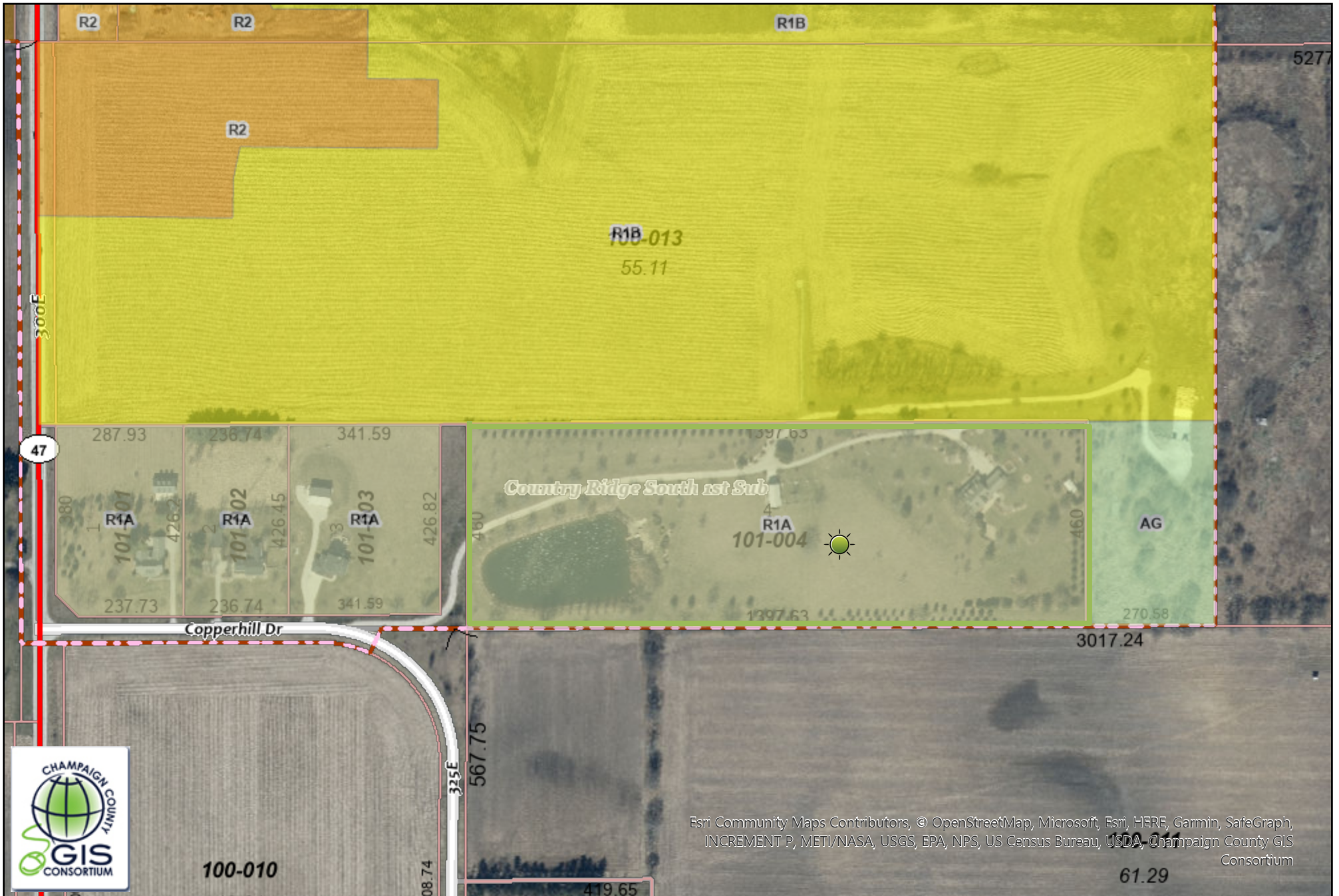
STAFF RECOMMENDATION

Village staff supports approval of the rezoning request. The proposed rezoning is consistent with existing and future expected uses in the area. The request is consistent with recommendations in the Comprehensive Plan and the intent of the proposed zoning district.

ATTACHMENTS:

- A) Aerial Location / Zoning Map
- B) Draft Resolution
- C) Application

ZA2021-07 402 Copperhill Drive R-1A to AG



RESOLUTION FOR PLAN AND ZONING COMMISSION

Concerning Amending the Zoning Classification for 14.79± acres of land located at the northeast corner of the intersection of Copperhill Drive and County Road 325E, commonly known at 402 Copperhill Drive from R-1A Single-Family Residential district to AG Agricultural district

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,

WHEREAS, the Petitioner, Victor J Fuentes, has requested a zoning map amendment for the subject property from R-1A Single-Family Residential to AG Agricultural district; and,

WHEREAS, the subject property is located at the northeast corner of the intersection of Copperhill Drive and County Road 325E, commonly known at 402 Copperhill Drive; and,

WHEREAS, the legal description for the property to be rezoned is as follows:

LOT 4 OF COUNTRY RIDGE SOUTH SUBDIVISION, AS PER PLAT RECORDED JULY 24, 1992 AS DOCUMENT NUMBER 92R20530, PLAT BOOK "BB", PAGE 180, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS

WHEREAS, a Public Hearing concerning the proposed rezoning was held on December 7, 2021 by the Plan and Zoning Commission to solicit evidence and testimony from the public; and,

WHEREAS, the Village Planner, and Village Attorney provided the Village with technical and background information regarding the proposed rezoning; and,

WHEREAS, the Plan and Zoning Commission met and reviewed the evidence and testimony submitted and has considered all the available factual evidence concerning the requested action.

BE IT THEREFORE RESOLVED this 4th day of January, 2022 by the Plan and Zoning Commission of the Village of Mahomet that:

- A. The Plan and Zoning Commission does hereby further set forth the following findings of fact concerning the requested zoning amendment:
1. The procedural requirements for zoning establishment or amendment **HAVE / HAVE NOT** been met.
 2. The proposed zoning **DOES / DOES NOT** conform with the intent of the Village Comprehensive Plan.

3. The proposed zoning **IS / IS NOT** consistent with the proposed use of the site.
4. The proposed zoning **WILL / WILL NOT** be compatible with the established land use pattern in the vicinity.
5. The proposed zoning **DOES / DOES NOT** create an isolated, unrelated zoning district.
6. The site **IS / IS NOT** suitable for the uses allowed in the proposed zoning district.
7. The proposed zoning **WILL / WILL NOT** be consistent with the health, safety and general welfare of the public.
8. Major land uses in the neighborhood **HAVE / HAVE NOT** changed since zoning was applied to this site.
9. The proposed zoning **IS / IS NOT** consistent with the existing zoning designations in the surrounding area.
10. The proposed zoning **WILL / WILL NOT** be contrary to the original purpose and intent of the Zoning Ordinance.
11. The proposed zoning **WILL / WILL NOT** be injurious to the use and enjoyment of adjacent properties.
12. The proposed zoning **WILL / WILL NOT** promote the orderly development of the site and surrounding properties.
13. The proposed zoning **WILL / WILL NOT** significantly adversely impact existing traffic patterns.
14. Adequate facilities for municipal sanitary sewage disposal and water supply **ARE / ARE NOT** available for the site.
15. Adequate provisions for stormwater drainage **ARE / ARE NOT** available for this site.
16. The proposed zoning **WILL / WILL NOT** adversely impact police protection or fire protection.
17. The proposed zoning **WILL / WILL NOT** significantly adversely impact schools or other public facilities.
18. The proposed zoning **WILL / WILL NOT** conflict with existing public commitments for planned public improvements.
19. The proposed zoning **WILL / WILL NOT** adversely influence living conditions in the immediate vicinity.

20. The proposed zoning **WILL / WILL NOT** preserve the essential character of the neighborhood in which it is located.
21. The proposed change **WILL / WILL NOT** significantly alter the population density pattern.
22. The value of adjacent property **WILL / WILL NOT** be diminished by the proposed zoning.
23. The proposed zoning **WILL / WILL NOT** enhance the value of the petitioner's property.
24. The proposed zoning **WILL / WILL NOT** constitute an entering wedge affecting the use or development of adjacent property.
25. If denied, the petitioner **WILL / WILL NOT** suffer deterioration to his or her property value.
26. The proposed zoning **DOES / DOES NOT** correct an error in the original zoning of this site.
27. If the property is currently vacant, the length of time the property has remained vacant as zoned **HAS / HAS NOT** been considered in the context of land development in the area and in the vicinity of the subject property.
28. The proposed change in zoning **WILL / WILL NOT** result in private investment that would be beneficial to the development or redevelopment of a vacant property or deteriorated neighborhood.
29. There **IS / IS NOT** a need in the community for additional land within the requested zoning district.
30. The proposed zoning **WILL / WILL NOT** adversely impact agricultural farming operations in the vicinity of this site.
31. The proposed rezoning **IS / IS NOT** consistent with Village Comprehensive Plan policies concerning the protection of prime farmland when appropriate.
32. The proposed rezoning **WILL / WILL NOT** result in long term adverse environmental consequences to natural areas and wildlife habitat.
33. The LaSalle Factors for evaluation of zoning decisions **HAVE / HAVE NOT** been considered during the review of this proposed rezoning request.
34. _____

- B. The Plan and Zoning Commission does hereby recommend that the Board of Trustees of the Village of Mahomet **GRANT / DENY** the requested zoning map amendment for the subject property from R-1A Single-Family Residential to AG Agricultural district.

Chair, Plan and Zoning Commission
Village of Mahomet, Illinois

Case Name: ZA2021-07

**REQUEST FOR ZONING AMENDMENT
VILLAGE OF MAHOMET**

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

Date Filed: 10-27-2021 Date of Hearing: 12/07/2021

Date of Published Notice: 11/21/2021 Newspaper News-Gazette

Fee Paid – ^{CK} Receipt No.: 5525 Amount: \$300.00 Date: 11-03-2021

Legal Ad cost - CK# 6187 \$105.20 11/29/2021

Comments: (indicate other actions such as continuances) _____

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Zoning Amendment is a zoning adjustment, which permits a change of district requirements where an individual or group of properties are both harshly and uniquely burdened by the strict application of the law. The power to alter zoning districts is limited. No Zoning Amendment will be granted which would adversely affect surrounding property or the general neighborhood. All zoning amendments must be in harmony with the intent and purposes of the Zoning Ordinance. The applicant must show that there is need and justification for the proposed amendment.
2. There will be no refund of application fee for any Zoning Amendment not granted or withdrawn.
3. No incomplete applications will be acted upon.
4. Granting a Zoning Amendment requires that the Village hold a Public Hearing regarding the request, and publication of a Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village staff to assure consideration of their request is as timely a manner as is reasonably possible.

Case Name: 2A2021-07

ZONING AMENDMENT

DATA ON APPLICANT AND OWNER

Name of Applicant (s): VICTOR J. FUENTES Phone: (217) 202-7327

Address of Applicant (s): 402 Copperhill Dr, Mahomet, IL 61853

Property Interest of Applicant: Owner
(Owner/Contract Purchases/Agent, etc.)

Name of Owner: SAME AS APPLICANT Phone: _____

ADDRESS AND DESCRIPTION OF PROPERTY

Address: 402 Copperhill Dr, Mahomet, IL 61853

Width of Lot: 460 Length of Lot: 1397.63

Lot Area (Square Feet): 14.79+/- ACRES Tax Parcel Number: 15-13-27-101-004

Legal Description: (or attach legal description _____)

Lot 4 of Country Ridge South Subdivision, as per Plat recorded July 24, 1992 as

Document Number 92R20530, Plat Book "BB", Page 180, situated in Champaign

County, Illinois

LAND USE AND ZONING

Present Zoning: R1A

Proposed Zoning: AG

Present Land Use: Single Family Home

Proposed Land Use: Agriculture/Developed

	Surrounding Zoning	Surrounding Land Use
North	<u>R1B</u>	<u>Undeveloped/Agriculture</u>
South	<u>AG-1</u>	<u>Agriculture</u>
East	<u>AG</u>	<u>Agriculture</u>
West	<u>R1A</u>	<u>Single Family Home</u>

Case Name: ZA 2021-07

REASONS FOR REQUEST FOR ZONING AMENDMENT

NOTE: The following questions must be answered completely. If additional space is needed, attach extra pages to application. Before answering, read the NOTICE TO APPLICANTS attached hereto.

1. Error in the present Ordinance to be corrected by the proposed change in the Ordinance (Explain fully):

None

2. Other circumstances which justify the Amendment (Explain Fully):

The parcel is surrounded on both the east, south and the north with agricultural properties and the subject property would be better fitted as an agricultural zoning rather than residential zoning.

3. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at this time?
YES _____ NO If yes, how? _____

4. Is the subject property planned to be improved? No

When? _____

What improvements are planned? _____

What will be the actual use of the improvements _____

5. Will the grant of an Amendment in the form requested be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance?

Yes No _____ Elaborate: _____

The property is neighboring agriculturally zoned cornfields to its north, east, and south.

6. Have there been major land changes since zoning was applied in 1963 (i.e. new expressway, new development, etc.)? Yes _____ No Elaborate: _____

Case Name: ZA2021-07

ZONING AMENDMENT

7. Would the proposed change create an isolated district unrelated to adjacent land use or zoning?
Yes _____ No Elaborate: _____

8. Can the owner of the property realize an economic benefit from uses in accordance with existing zoning? Yes _____ No Elaborate: _____

9. Are there other sites available already zoned for the proposed use? Yes _____ No Elaborate: _____

10. Additional comments by applicant: _____


SKETCH PLAN

A) Is a scaled plot plan indicating the location of the premises and the nature of the variance attached.
Yes _____ No _____ (Application will not be processed without the required drawing)

B) Additional exhibits submitted by applicants: _____

Letter of support and approval on rezoning from neighboring property owners, Dustin and Amy Hammerschmidt.

I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.



(Signature) Owner/Applicant - VICTOR J. FUENTES

Date
10/26/21
Date

Dustin and Amy Hammerschmidt

310 Copperhill Dr

Mahomet, IL 61953

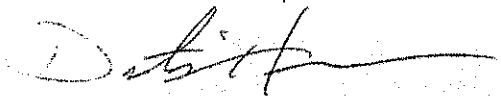
10/15/2021

To Whom it May Concern,

We, Dustin and Amy Hammerschmidt, reside at 310 Copperhill Dr and are the neighbors directly to the west of Victor and Jen Fuentes, who reside at 402 Copperhill Dr. We give our approval for the Fuentes to change their property classification from residential to ag.

Respectfully,

Dustin and Amy Hammerschmidt

A handwritten signature in black ink, appearing to be "Dustin and Amy Hammerschmidt", written over a faint, dotted grid background.

12/15/2021

To Whom it May Concern:

We are the owners of land adjacent to Victor and Jen Fuentes at 402 Copperhill Drive in Mahomet. Our property (PIN 15-13-27-100-013) lies directly to the north and west of their property. We understand that they would like to change their property classification from residential to agricultural and give our approval for this.

Thank you,

A handwritten signature in black ink, appearing to read "Fatima Ahmad". The signature is written in a cursive style with a large, sweeping initial letter.

Uwais Zaid and Fatima Ahmad



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

REPORT TO PLAN AND ZONING COMMISSION Meeting Date – January 4, 2022

FROM: Abby Heckman, Planner
Kelly Pfeifer, Community Development Director and Village Planner

CASE: VAR2022-01

PETITIONER: VILLAGE OF MAHOMET

REQUESTED ACTION: Three (3) variances are requested from the standards established by the Village of Mahomet Zoning Ordinance:

1. Reduce the rear yard setback from the required 25 feet to a minimum of 5 feet (§152.090 R-1B).
2. Reduce the side yard setback from the required ten (10) feet to a minimum of five (5) feet (§152.090 R-1B).
3. Exceed the maximum allowed fencing height of six (6) feet to a maximum of 15 feet in height (§152.050 (D)(3)).

PUBLIC HEARING: Village Zoning Board of Appeals will conduct a public hearing at its regular meeting on January 19, 2022 at 7 p.m. Notice was published in the January 2, 2022 issue of the News-Gazette.

LOCATION and SITE DESCRIPTION:

The subject property contains 2.03± acres and is located at 101 N Division Street, northwest corner of the Division Street and Main Street intersection. The variance request is to facilitate development of community tennis courts. The subject property is zoned R-1B Single-Family Residential district.

HISTORY:

See attached project narrative provided by Dan Waldinger, Village Parks and Recreation Director.

CASE DETAILS:

The Village would like to develop a public park with tennis court facilities in accordance with school district and community desires.

PROPOSED DEVELOPMENT'S CONFORMANCE TO ORDINANCES and COMPREHENSIVE PLAN:

The Village Comprehensive Plan designates the area which includes the subject property as part of the Middletown Functional Framework Area. The future land use plan recommends institutional uses at this location which are intended to provide essential facilities and services to the community. The character of this area can be described as a mix of uses which include neighborhood commercial, residential (single-family and multi-family), and institutional uses. Development of an active public park space would be compatible with the neighborhood.

STANDARDS FOR VARIATIONS:

The Mahomet Zoning Ordinance sets forth the requirement that the Board of Appeals may grant a variance only when it is determined that ALL of the following conditions have been met.

1. There are special circumstances or conditions applying to the land or building for which the variance is sought; and,
2. The said special circumstances or conditions are peculiar to such land or buildings and do not apply generally to land or buildings in this neighborhood; and,
3. The said special circumstances or conditions are such that the strict application of the provisions of the Zoning Ordinance could deprive the applicant of the reasonable use of such land and building; and,
4. The granting of the requested variance is necessary for the reasonable use of the land and building; and,
5. The variance requested is the minimum variance that will accomplish this purpose; and,
6. The granting of the requested variance will be in harmony with the general purpose and intent of the Zoning Ordinance; and,
7. The requested variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare; and,
8. The requested variance will not be in conflict with the Comprehensive Plan.

DEVELOPMENT TEAM RECOMMENDATION:

The variance request seems reasonable considering the site has historically been used for public purposes, has existing property constraints, along with community desires to establish a tennis court facility to support both the school district and Village residents. The PZC will need to determine any special circumstances as part of its recommendation and if the variance request meets the eight (8) variance standards listed above.

SUMMARY:

A review of the factors and issues relevant to the requested variances are set forth above. The Plan and Zoning Commission acts in an advisory role to the Zoning Board of Appeals regarding variance requests. A draft resolution is attached for consideration by the PZC.

ATTACHMENTS:

- 1) Project Background
- 2) Property Aerial / Zoning Map
- 3) Draft Resolution
- 4) Variance Application

RE: Request for Variance, Tennis Courts, Middletown Park

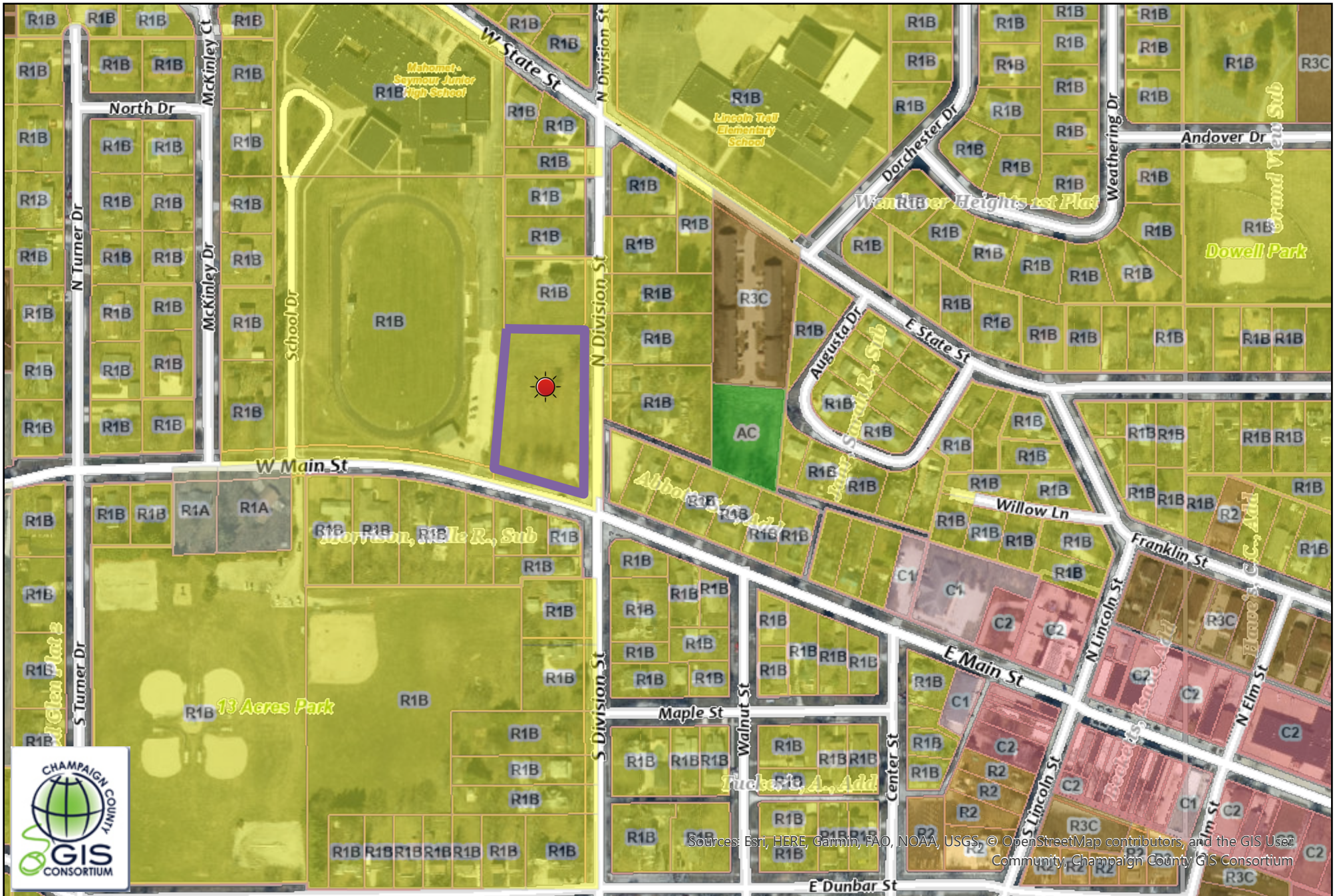
Background:

Middletown Park and 13 Acres were both previously Mahomet Seymour School District owned sites. The School district and Village reached an agreement in October 2021. In the agreement the Village takes ownership of both sites in exchange for the construction and use of tennis courts for both public use and high school athletics. The existing Intergovernmental Agreement with the School district was amended as such to update ownership of these spaces.

The design and construction of tennis courts scope of services includes design, construction documents, bidding services. The Village had previously identified development of tennis/pickleball in its CIP budget as a priority if/when land became available for many years. Additionally, acquisition of 13 Acres has been a long priority and effort by the Village. This transaction and subsequent project have been made possible by a DCEO grant sponsored by Senator Chapin Rose in the amount of \$725,000. The primary goal is construction of tennis courts, secondary goal is construction of pickleball courts. Another major fundraising initiative should coincide with these efforts.

Best practices for IHSA tennis courts include a North to South orientation and have a minimum of 6 courts. The site is conducive for a tennis facility but is somewhat constrained given the standard setbacks. Typical fence for tennis courts is vinyl coated in nature and is typically 10-12 feet in height which contains the balls inside the field of play. The variance request reducing the minimum setbacks would allow for flexibility in the design and allow the consulting engineers to design a more user friendly, aesthetically functional facility for the community. Without a variance, the property would not be conducive for development. The Mahomet Seymour School District and the Village of Mahomet both support the development of tennis at this site for the benefit of the community.

VAR2022-01 VOM Tennis Courts



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium

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This map was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this map is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this map and information contained herein. The use of this map constitutes acknowledgement of this disclaimer.



RESOLUTION FOR PLAN AND ZONING COMMISSION

**A Resolution Concerning a variance request from
Village of Mahomet at 101 N Division Street**

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,

WHEREAS, the Petitioner, Village of Mahomet, requested variances for the property located at 101 N Division Street; and,

WHEREAS, the subject site is located at the northwest corner of the intersection of Division Street and Main Street; and,

WHEREAS, the legal description for the proposed variance is as follows:

COMMENCING AT THE SOUTHEAST CORNER OF EISENHAUER SUBDIVISION IN A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R12706 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER; THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 162.90 TO THE SOUTHEAST CORNER OF THE EAST 221 FEET OF THE SOUTH 40 RODS OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 317.10 FEET THEREOF AND EXCEPT THE NORTH 180 FEET THEREOF, IN CHAMPAIGN COUNTY ILLINOIS PER WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2011R02953 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 414.36 FEET TO THE INTERSECTION OF THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16 WITH THE CENTERLINE OF BLOOMINGTON ROAD, NOW MAIN STREET; THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST ALONG THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD), A DISTANCE OF 257.63 FEET; THENCE NORTH 04 DEGREES 45 MINUTES 54 SECONDS EAST ALONG A LINE EASTERLY OF AND PARALLEL WITH AND 11.00 FEET OF EVEN WIDTH MEASURED PERPENDICULAR FROM THE EAST EDGE OF AN EXISTING CONCRETE PARKING LOT BELONGING TO THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303, MAHOMET ILLINOIS AND THE NORTHERLY AND SOUTHERLY EXTENSIONS THEREOF, A DISTANCE OF 289.19 FEET TO AN IRON PIPE SURVEY MONUMENT SET; THENCE NORTH 01 DEGREES 07 MINUTES 08 SECONDS EAST, A DISTANCE OF 54.34 FEET TO AN IRON PIPE SURVEY MONUMENT FOUND AT THE SOUTHWEST CORNER OF SAID DOCUMENT NUMBER 2011R02953; THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 221.91 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 2.03 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

WHEREAS, the three (3) requested variances are as follows:

1. Reduce the rear yard setback from the required 25 feet to a minimum of 5 feet (§152.090 R-1B).
2. Reduce the side yard setback from the required ten (10) feet to a minimum of five (5) feet (§152.090 R-1B).
3. Exceed the maximum allowed fencing height of six (6) feet to a maximum of 15 feet in height (§152.050 (D)(3)).

WHEREAS, a Public Hearing regarding the proposed variances has been duly noticed in the January 2, 2022 issue of the News-Gazette and will be held before the Mahomet Board of Appeals on January 19, 2022 to solicit evidence and testimony from the public; and,

WHEREAS, the Village staff reviewed the request and provided the technical background information to the Plan and Zoning Commission; and,

WHEREAS, the Plan and Zoning Commission met and reviewed the evidence and testimony submitted and considered all of the available factual evidence concerning the requested action.

BE IT THEREFORE RESOLVED this 4th day of January, 2022 by the Plan and Zoning Commission of the Village of Mahomet that:

- 1) The Plan and Zoning Commission sets forth the following findings of fact concerning the requested variances;
 - A. That the special circumstances or conditions applying to the land or building for which the variances are sought are:
 1. Preservation of memorial park features while accommodating large rectangular courts necessitate flexibility in the buildable area.
 2. The fencing desired for the facility does not meet the ordinance definition of fencing (a constructed barrier erected as a means of protection or confinement to enclose or screen areas of land). The fencing proposed serves as walls for the tennis court facility.
 - B. That concerning the variances requested:
 1. There **ARE / ARE NOT** special circumstances or conditions applying to the land or building for which the variances are sought; and,
 2. The said special circumstances or conditions **ARE / ARE NOT** peculiar to such land or buildings and do not apply generally to land or buildings in this neighborhood; and,
 3. The said special circumstances or conditions **ARE / ARE NOT** such that the strict application of the provisions of the Zoning Ordinance could deprive the applicant of the reasonable use of such land and building; and,
 4. The granting of the requested variances **ARE / ARE NOT** necessary for the reasonable use of the land and building; and,
 5. The variances requested **ARE / ARE NOT** the minimum variances that will accomplish this purpose; and,
 6. The granting of the requested variances **WILL / WILL NOT** be in harmony with the general purpose and intent of the Zoning Ordinance; and,
 7. The requested variances **WILL / WILL NOT** be injurious to the neighborhood or otherwise detrimental to the public welfare; and,
 8. The requested variances **WILL / WILL NOT** be in conflict with the Comprehensive Plan.

2) The granting of the variances, if approved, shall be subject to the following conditions:

3) The Plan and Zoning Commission does hereby recommend that the Zoning Board of Appeals of the Village of Mahomet **GRANT / DENY** the requested variance to reduce the rear yard setback from the required 25 feet to a minimum of 5 feet (§152.090 R-1B).

4) The Plan and Zoning Commission does hereby recommend that the Zoning Board of Appeals of the Village of Mahomet **GRANT / DENY** the requested variance to reduce the side yard setback from the required ten (10) feet to a minimum of five (5) feet (§152.090 R-1B).

5) The Plan and Zoning Commission does hereby recommend that the Zoning Board of Appeals of the Village of Mahomet **GRANT / DENY** the requested variance to exceed the maximum allowed fencing height of six (6) feet to a maximum of 15 feet in height (§152.050 (D)(3)).

Chair, Plan and Zoning Commission
Village of Mahomet, Illinois

**REQUEST FOR VARIANCE
VILLAGE OF MAHOMET**

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

.....

Date Filed: 12/03/2021 Date of Hearing: 01/19/2022

Date of Published Notice: 01/02/2022 Newspaper: News-Gazette

Fee Paid – Receipt No.: n/a Amount: n/a Date: _____

Comments: (indicate other actions such as continuances) _____

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Variance is a zoning adjustment, which permits minor changes of district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of Variance is limited to the minimum change necessary to overcome the inequality inherent in the property.
2. A Variance recognizes that the same district requirements do not affect all properties equally. It was invented to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. You must prove that your land is affected by special circumstances or unusual conditions. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where hardship conditions extend to other properties a Variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
3. You must provide that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent you from making reasonable use of your land as permitted by your present zoning district. Since zoning regulates land and not people, the following conditions cannot be considered pertinent to the application for a Variance: (1) Proof that a Variance would increase the financial return from the land, (2) Personal hardship, (3) Self-imposed hardship. In the last case, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

- 4. No Variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.
- 5. There will be no refund of application fees for Variances not granted or withdrawn.
- 6. No incomplete applications will be acted upon.
- 7. Granting a Variance requires that the Village hold a Public Hearing regarding the request, and publication of the Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village Staff to assure consideration of their request in as timely manner as is reasonably possible.

DATA ON APPLICANT AND OWNER

Name of Applicant (s): H[^SYWAX? SZa_ W Phone: S#) Ž * (Ž&& (

Address of Applicant (s): ' "%7 ? S[EfdWŽBA 4aj \$ + ? SZa_ W ; > (#' %

Property Interest of Applicant: Ai ` W
(Owner/Contract Purchases/Agent, etc.)

Name of Owner: H[^SYWAX? SZa_ W Phone: S#) Ž * (Ž&& (

ADDRESS AND DESCRIPTION OF PROPERTY

Address: 101 N Division Street Mahomet, IL 61853

Width of Lot: 342.57 ft Length of Lot: 208.15 ft

Lot Area (Square Feet): 1.48 AC / 64,469+- sq ft Tax Parcel Number: part of 15-13-16-231-002

Legal Description: (or attach legal description) See attached legal discription.

LANE USE AND ZONING

Present Zoning: R1B Single Family Residential

Present Land Use: Park

Proposed Land Use: Park with tennis court facilities

	Surrounding Zoning	Surrounding Land Use
North	<u>R1B</u>	<u>Residential</u>
South	<u>R1B</u>	<u>Residential</u>
East	<u>R1B</u>	<u>Residential</u>
West	<u>R1B</u>	<u>Residential</u>

REASONS FOR REQUEST FOR VARIANCE

NOTE: The following questions must be answered completely. If additional space is needed, attach extra pages to application. Before answering, read the NOTICE TO APPLICANTS attached hereto.

1. Set forth specifically the nature of the variance requested, giving exact distances (e.g. to reduce the side yard requirements from 15 ft. to 10 ft. or to vary the height limitation from 35 ft. to 38 ft.)

Reduce the rear yard setback along the north property line from the required 25 ft to a minimum of 5 ft. Reduce the sideyard setback along west property line to a minimum of 5ft. Exceed the maximum allowed fencing height of 6ft and install a fence around the tennis court area up to a maximum of 15ft in height.

2. What circumstances, peculiar to this site, justify the need for the requested variance? Explain in detail:

The subject property is a former site of Middletown School which was demolished and turned into a park / open area. Existing public streets and a private drive serving the junior high school constrain the site. On adjacent properties there are no structures immediately adjacent to the boundaries of the site. The Village acquired the land from the school district with the intention of installing tennis court facilities to serve the community.

3. What characteristics of your property prevent its being used for the uses permitted in your zone? (Describe the items giving dimensions where appropriate)

The acute angle of the intersection of Division and Main Streets (NW corner) creates a site-visibility triangle that pushes any future structures back to the north and west. There is also an existing memorial feature / seating area located at the corner which is planned to remain as part of this project.

4. How do the above site conditions prevent any reasonable use of your land under the terms of the Zoning Ordinance?

Without a variance to reduce sideyard setbacks and allow adequate fencing, the property would be limited and not conducive for the community desired park feature (tennis courts).

5. To the best of your knowledge, was the hardship described above created by an action of anyone having property interests in the land after the Zoning Ordinance was enacted? 5. To the best of your knowledge, was the hardship described above created by an action of anyone having property interests in the land after the Zoning Ordinance was enacted? Yes___No X, If "yes", explain why the hardship should not be regarded as self-imposed (self-imposed hardships are not entitled to variances).

6. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at the present time? Yes___ No X If yes, how?

7. Are the conditions on your property the result of other man-made changes (such as the relocation of a road or highway)? Yes___ No X If yes, Describe:

8. Are the conditions of hardship for which you request a variance true only to your property? Yes If not, how many other properties are similarly affected?

9. Will the granting of a variance in the form required by in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance? Elaborate:

The site is currently used as park / open space and will remain as a public park / open space area which is in harmony with the existing uses in the neighborhood.

10. Additional Comments by Applicant: _____

SKETCH PLAN

A) Is a scaled plot plan indicating the location of the premises and the nature of the variance attached.
Yes X No ____ (Application will not be processed without the required drawing)

B) Additional exhibits submitted by applicants: _____

Survey Plat

I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.

/s/ Dan Waldinger
(Signature) Applicant

12/03/2021
Date

(Signature) Owner

Date

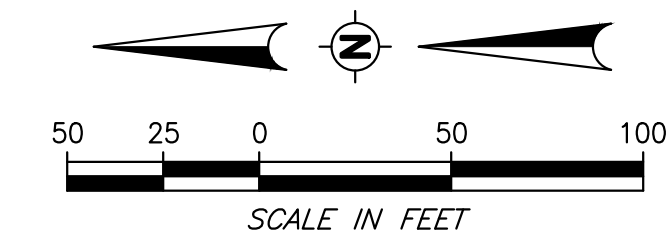
Legal Description-Middletown Park

PERIMETER (BEING A PART OF THE LAND OCCUPIED BY THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303 NOW MAHOMET-SEYMOUR COMMUNITY UNIT SCHOOL DISTRICT NO. 3, MAHOMET, ILLINOIS)

COMMENCING AT THE SOUTHEAST CORNER OF EISENHAUER SUBDIVISION IN A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R12706 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER; THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 162.90 TO THE SOUTHEAST CORNER OF THE EAST 221 FEET OF THE SOUTH 40 RODS OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 317.10 FEET THEREOF AND EXCEPT THE NORTH 180 FEET THEREOF, IN CHAMPAIGN COUNTY ILLINOIS PER WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2011R02953 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 414.36 FEET TO THE INTERSECTION OF THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16 WITH THE CENTERLINE OF BLOOMINGTON ROAD, NOW MAIN STREET; THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST ALONG THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD), A DISTANCE OF 257.63 FEET; THENCE NORTH 04 DEGREES 45 MINUTES 54 SECONDS EAST ALONG A LINE EASTERLY OF AND PARALLEL WITH AND 11.00 FEET OF EVEN WIDTH MEASURED PERPENDICULAR FROM THE EAST EDGE OF AN EXISTING CONCRETE PARKING LOT BELONGING TO THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303, MAHOMET ILLINOIS AND THE NORTHERLY AND SOUTHERLY EXTENSIONS THEREOF, A DISTANCE OF 289.19 FEET TO AN IRON PIPE SURVEY MONUMENT SET; THENCE NORTH 01 DEGREES 07 MINUTES 08 SECONDS EAST, A DISTANCE OF 54.34 FEET TO AN IRON PIPE SURVEY MONUMENT FOUND AT THE SOUTHWEST CORNER OF SAID DOCUMENT NUMBER 2011R02953; THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 221.91 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 2.03 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

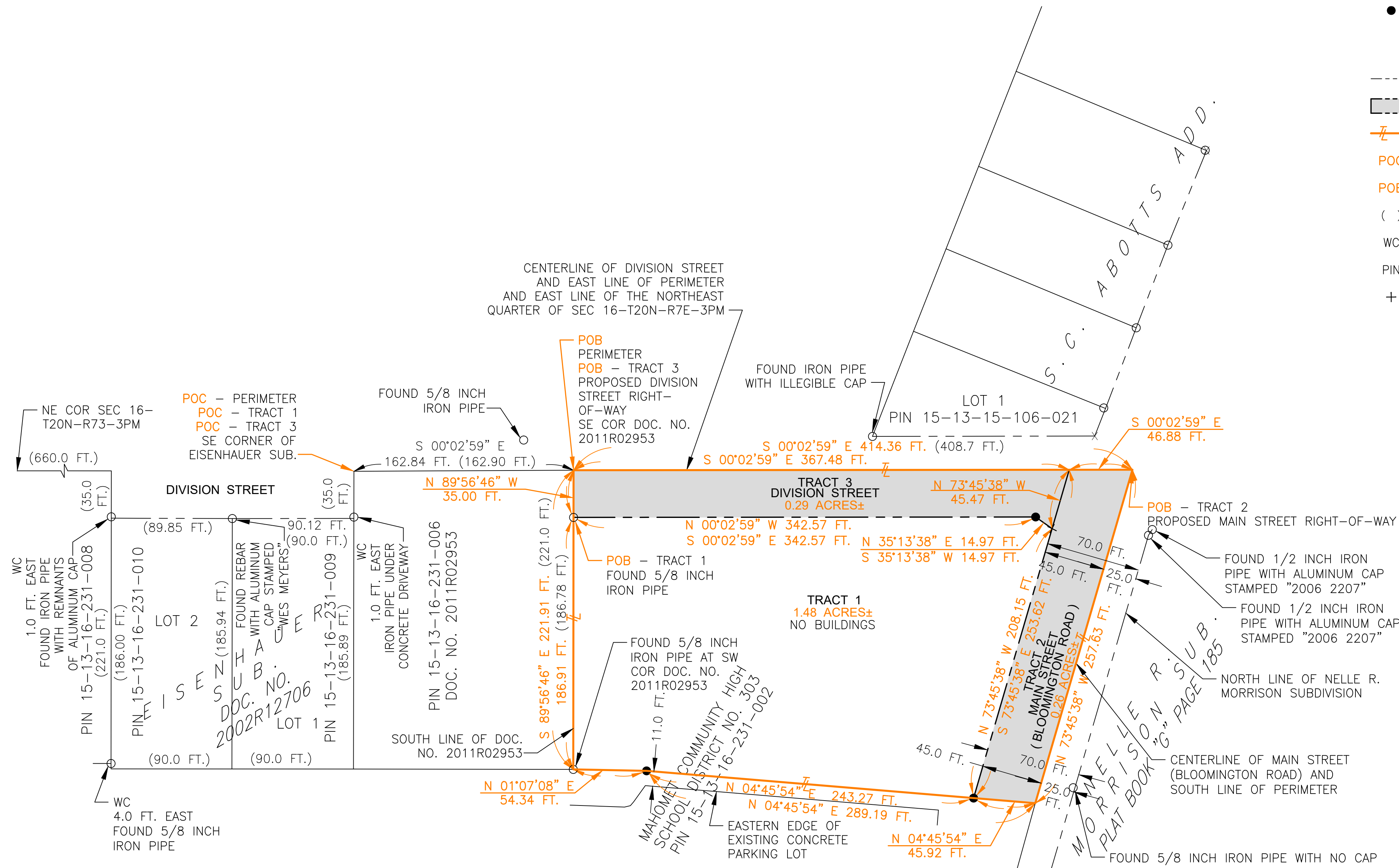
PIN No.: part of 15-13-16-231-002

AREA SUMMARY:	
TRACT 1	1.48 ACRES±
TRACT 2 PROPOSED MAIN STREET RIGHT-OF-WAY	0.26 ACRES±
TRACT 3 PROPOSED DIVISION STREET RIGHT-OF-WAY	0.29 ACRES±
TOTAL (PERIMETER)	2.03 ACRES±



LEGEND

- EXISTING IRON PIPE/PIN SURVEY MONUMENT FOUND
- 30 INCH LONG, 1/2 INCH DIAMETER IRON PIPE SURVEY MONUMENT SET WITH ALUMINUM CAP STAMPED "ILS 3396 2207"
- EXISTING RIGHT-OF-WAY LINE
- ▨ PROPOSED RIGHT-OF-WAY LINE
- +— TITLE LINE
- POC POINT-OF-COMMENCEMENT
- POB POINT-OF-BEGINNING
- () RECORD MEASUREMENT AND/OR DATA
- WC WITNESS CORNER
- PIN PERMANENT INDEX NUMBER
- + CHISELED "+" SURVEY MONUMENT SET IN CONCRETE



BOUNDARY SURVEY OF PART OF
 MAHOMET - SEYMOUR COMMUNITY
 HIGH SCHOOL DISTRICT NO. 303, NOW
 MAHOMET - SEYMOUR COMMUNITY
 UNIT SCHOOL DISTRICT
 NO. 3 PROPERTY IN A PART
 OF THE NORTHEAST QUARTER OF
 SECTION 26, TOWNSHIP 20 NORTH,
 RANGE 7 EAST OF THE
 THIRD PRINCIPAL MERIDIAN
 VILLAGE OF MAHOMET,
 CHAMPAIGN COUNTY, ILLINOIS

J. U. L. I. E.

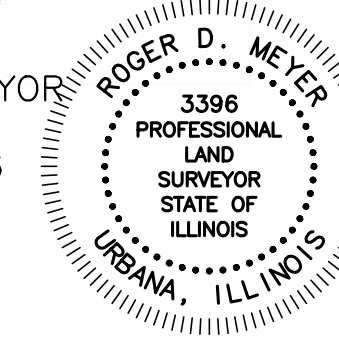
NOTE: THE EXACT LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES. FOR UTILITY LOCATIONS CALL: J.U.L.I.E. (800) 892-0123

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SIGNED AND SEALED NOVEMBER 15, 2021

Roger D Meyer

ROGER D. MEYER, P.E., L.S., PROJECT SURVEYOR
 BERNIS, CLANCY AND ASSOCIATES, P.C.
 ILLINOIS PROFESSIONAL LAND SURVEYOR 3396
 LICENSE EXPIRATION: NOVEMBER 30, 2022
 URBANA, CHAMPAIGN COUNTY, ILLINOIS
 ILLINOIS PROFESSIONAL DESIGN FIRM 2999
 LICENSE EXPIRATION: APRIL 30, 2023



BERNIS, CLANCY AND ASSOCIATES
 ENGINEERS • SURVEYORS • PLANNERS
 405 EAST MAIN STREET - POST OFFICE BOX 755
 URBANA, ILLINOIS 61803-0755
 PHONE: (217) 384-1144 - FAX: (217) 384-3355
DRAWN BY:

JOB: 508-607 508-607 ROW.DWG	DATE: 11/15/21	SHEET 1 OF 2
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SURVEYOR'S REPORT

I, ROGER D. MEYER ILLINOIS PROFESSIONAL LAND SURVEYOR 3396 AND PROJECT SURVEYOR OF BERNS, CLANCY AND ASSOCIATES, P.C. DO HEREBY STATE THAT AT THE REQUEST OF AND FOR THE EXCLUSIVE BENEFIT OF THE VILLAGE OF MAHOMET, I PREPARED A BOUNDARY SURVEY AND ACCOMPANYING DESCRIPTIONS ON THE GROUND TO THE NORMAL STANDARD OF CARE OF PROFESSIONAL LAND SURVEYORS PRACTICING IN CHAMPAIGN COUNTY, ILLINOIS OF A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PERIMETER (BEING A PART OF THE LAND OCCUPIED BY THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303 NOW MAHOMET-SEYMOUR COMMUNITY UNIT SCHOOL DISTRICT NO. 3, MAHOMET, ILLINOIS)

COMMENCING AT THE SOUTHEAST CORNER OF EISENHAUER SUBDIVISION IN A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R12706 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER;

THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 162.90 TO THE SOUTHEAST CORNER OF THE EAST 221 FEET OF THE SOUTH 40 RODS OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 317.10 FEET THEREOF AND EXCEPT THE NORTH 180 FEET THEREOF, IN CHAMPAIGN COUNTY ILLINOIS PER WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2011R02953 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER AND THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 414.36 FEET TO THE INTERSECTION OF THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16 WITH THE CENTERLINE OF BLOOMINGTON ROAD, NOW MAIN STREET;

THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST ALONG THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD), A DISTANCE OF 257.63 FEET;

THENCE NORTH 04 DEGREES 45 MINUTES 54 SECONDS EAST ALONG A LINE EASTERLY OF AND PARALLEL WITH AND 11.00 FEET OF EVEN WIDTH MEASURED PERPENDICULAR FROM THE EAST EDGE OF AN EXISTING CONCRETE PARKING LOT BELONGING TO THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303, MAHOMET ILLINOIS AND THE NORTHERLY AND SOUTHERLY EXTENSIONS THEREOF, A DISTANCE OF 289.19 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE NORTH 01 DEGREES 07 MINUTES 08 SECONDS EAST, A DISTANCE OF 54.34 FEET TO AN IRON PIPE SURVEY MONUMENT FOUND AT THE SOUTHWEST CORNER OF SAID DOCUMENT NUMBER 2011R02953;

THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 221.91 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 2.03 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 2 PROPOSED MAIN STREET RIGHT-OF-WAY

BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD) AND THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 16;

THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST ALONG THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD), A DISTANCE OF 257.63 FEET;

THENCE NORTH 04 DEGREES 45 MINUTES 54 SECONDS EAST, A DISTANCE OF 45.92 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE SOUTH 73 DEGREES 45 MINUTES 38 SECONDS EAST, A DISTANCE OF 253.62 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16;

THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 46.88 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 0.26 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 3 PROPOSED DIVISION STREET RIGHT-OF-WAY

COMMENCING AT THE SOUTHEAST CORNER OF EISENHAUER SUBDIVISION IN A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R12706 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER;

THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 162.90 FEET TO THE SOUTHEAST CORNER OF THE EAST 221 FEET OF THE SOUTH 40 RODS OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 317.10 FEET THEREOF AND EXCEPT THE NORTH 180 FEET THEREOF, IN CHAMPAIGN COUNTY ILLINOIS PER WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2011R02953 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER AND THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 367.48 FEET;

J. U. L. I. E.

NOTE: THE EXACT LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES. FOR UTILITY LOCATIONS CALL: J.U.L.I.E. (800) 892-0123

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THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST, A DISTANCE OF 45.47 FEET TO A CHISELED "+" SET;

THENCE NORTH 35 DEGREES 13 MINUTES 38 SECONDS EAST, A DISTANCE OF 14.97 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE NORTH 00 DEGREES 02 MINUTES 59 SECONDS WEST, A DISTANCE OF 342.57 FEET TO AN IRON PIPE SURVEY MONUMENT FOUND ON THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953;

THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 0.29 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 1

COMMENCING AT THE SOUTHEAST CORNER OF EISENHAUER SUBDIVISION IN A PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R12706 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER;

THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 162.90 FEET TO THE SOUTHEAST CORNER OF THE EAST 221 FEET OF THE SOUTH 40 RODS OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 317.10 FEET THEREOF AND EXCEPT THE NORTH 180 FEET THEREOF, IN CHAMPAIGN COUNTY ILLINOIS PER WARRANTY DEED RECORDED AS DOCUMENT NUMBER 2011R02953 ON FILE IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER;

THENCE NORTH 89 DEGREES 56 MINUTES 46 SECONDS WEST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 35.00 FEET TO AN IRON PIPE SURVEY MONUMENT FOUND ON THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953 AT THE POINT OF BEGINNING;

THENCE SOUTH 00 DEGREES 02 MINUTES 59 SECONDS EAST, A DISTANCE OF 342.57 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE SOUTH 35 DEGREES 13 MINUTES 38 SECONDS WEST, A DISTANCE OF 14.97 FEET TO A CHISELED "+" SET;

THENCE NORTH 73 DEGREES 45 MINUTES 38 SECONDS WEST ALONG A LINE NORTHERLY OF AND PARALLEL WITH AND 70.00 FEET OF EVEN WIDTH MEASURED PERPENDICULAR FROM THE NORTH LINE OF SAID NELLE R. MORRISON'S SUBDIVISION PER PLAT RECORDED IN PLAT BOOK "G" PAGE 185 IN THE OFFICE OF CHAMPAIGN COUNTY RECORDER, A DISTANCE OF 208.15 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE NORTH 04 DEGREES 45 MINUTES 54 SECONDS EAST ALONG A LINE EASTERLY OF AND PARALLEL WITH AND 11.00 FEET OF EVEN WIDTH MEASURED PERPENDICULAR FROM THE EAST EDGE OF AN EXISTING CONCRETE PARKING LOT BELONGING TO THE MAHOMET COMMUNITY HIGH SCHOOL DISTRICT NO. 303, MAHOMET ILLINOIS AND THE NORTHERLY AND SOUTHERLY EXTENSIONS THEREOF, A DISTANCE OF 243.27 FEET TO AN IRON PIPE SURVEY MONUMENT SET;

THENCE NORTH 01 DEGREES 07 MINUTES 08 SECONDS EAST, A DISTANCE OF 54.34 FEET TO AN IRON PIPE SURVEY MONUMENT SET AT THE SOUTHWEST CORNER OF SAID DOCUMENT NUMBER 2011R02953;

THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS EAST ALONG THE SOUTH LINE OF SAID DOCUMENT NUMBER 2011R02953, A DISTANCE OF 186.91 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 1.48 ACRES, MORE OR LESS, ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

I FURTHER STATE THAT NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR TO DETERMINE THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.

I FURTHER STATE THAT NO INDEPENDENT INVESTIGATION CONCERNING ZONING OR LAND USE, OR INDEPENDENT SEARCH OF THE RECORDS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE FOR SUBJECT PROPERTY OR FOR ADJOINING PARCELS WAS MADE AS A PART OF THIS SURVEY. THE SURVEYOR HAS RELIED UPON THE MATERIALS AND REPRESENTATIONS SUPPLIED BY THE CLIENT

I FURTHER STATE THAT NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN DATA CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY MUNICIPAL OR PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.

I FURTHER STATE THAT I FOUND AND/OR SET THE SURVEY MONUMENTS AS SHOWN ON THE ACCOMPANYING PLAT OF SURVEY AND THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT OF SURVEY.

I FURTHER STATE THAT THE ACCOMPANYING PLAT OF SURVEY IS A SCALED REPRESENTATION OF THE PHYSICAL SITUATION WHICH I FOUND IN THE FIELD AND SHOWS THE LOCATION OF VARIOUS ABOVE-GROUND FACILITIES WHICH I FOUND IN THE FIELD AT THE TIME OF MY FIELD SURVEY OF THESE PREMISES FROM OCTOBER 12, 2021 TO OCTOBER 25, 2021.

I FURTHER STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GENERAL NOTES

ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF, UNLESS NOTED OTHERWISE.

SEE MUNICIPAL/COUNTY ORDINANCES AND REGULATIONS FOR ZONING, SETBACK AND BUILDING STANDARD REQUIREMENTS.

COORDINATES AND BEARINGS SHOWN ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83 (2011).

DETAILS NOT DRAWN TO SCALE.

THE CENTERLINE OF MAIN STREET (BLOOMINGTON ROAD) IS BASED UPON A DISTANCE OF 25 FEET FROM THE NORTH LINE OF NELLE R. MORRISON'S SUBDIVISION TO THE CENTER OF MAIN STREET OIL AND CHIP PAVEMENT AS INDICATED BY MAIN STREET IMPROVEMENT PROJECT CONSTRUCTIONS BY THOMAS B. BERNS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2006 AND ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 30889, DATED APRIL 12, 2005.

BOUNDARY SURVEY OF PART OF MAHOMET - SEYMOUR COMMUNITY HIGH SCHOOL DISTRICT NO. 303, NOW MAHOMET - SEYMOUR COMMUNITY UNIT SCHOOL DISTRICT NO. 3 PROPERTY IN A PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN VILLAGE OF MAHOMET,

CHAMPAIGN COUNTY, ILLINOIS

BERNS, CLANCY AND ASSOCIATES

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DRAWN BY:

JOB: 508-607 508-607 ROW.DWG

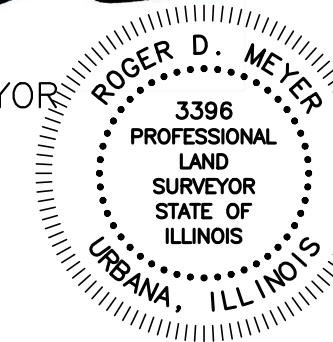
DATE: 11/15/21

SHEET 2 OF 2

SIGNED AND SEALED NOVEMBER 15, 2021

Roger D Meyer

ROGER D. MEYER, P.E., L.S., PROJECT SURVEYOR
BERNS, CLANCY AND ASSOCIATES, P.C.
ILLINOIS PROFESSIONAL LAND SURVEYOR 3396
LICENSE EXPIRATION: NOVEMBER 30, 2022
URBANA, CHAMPAIGN COUNTY, ILLINOIS
ILLINOIS PROFESSIONAL DESIGN FIRM 2999
LICENSE EXPIRATION: APRIL 30, 2023





Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

REPORT TO PLAN AND ZONING COMMISSION Meeting Date – January 4, 2022

FROM: Abby Heckman, Planner
Kelly Pfeifer, Community Development Director and Village Planner

CASE: VAR2022-02

PETITIONER: James Hay and Mary Carrara-Hay (Owners)

REQUESTED ACTION: Two (2) variances are requested from the standards established by the Village of Mahomet Zoning Ordinance:

1. Reduce the ten (10) foot minimum parking lot setback requirement to allow a setback of zero (0) (§152.108 (E)(1)).
2. Reduce the minimum accessory rear yard setback of five (5) feet and the minimum accessory side yard setback of two (2) feet to allow a setback of zero (0) (§152.091(D)).

PUBLIC HEARING: Village Zoning Board of Appeals will conduct a public hearing at its regular meeting on January 19, 2022 at 7 p.m. Notice was published in the January 2, 2022 issue of the News-Gazette.

LOCATION and SITE DESCRIPTION:

The subject property contains 0.36± acre and is located at 110 S Lombard Street, east side of Lombard approximately 375 feet north of the Oak Street and Lombard Street intersection. The variance request is to facilitate the expansion of an existing residential structure to a commercially usable and accessible building. The subject property is zoned C-2 General Commercial district.

HISTORY:

The property has been zoned C-2 General Commercial for many years. The property was originally developed as a single-family home. The counseling business was originally established as a home-based business.

CASE DETAILS:

The home-based counseling use has grown, and the owner would like to make commercial improvements to the site to establish the commercial use as the primary use and no longer be considered a home-based business. Proposed improvements would provide formal on-site parking, site circulation, and stormwater management. There is an existing home structure on the site which provides constraints to the site layout. With modifications, the existing structure will remain on the site. The petitioner has provided a proposed site plan which shows parking lot and drive lane encroachment into the minimum required setbacks. The requested variances are intended to facilitate development of the site as indicated on the attached site plan.

PROPOSED DEVELOPMENT'S CONFORMANCE TO ORDINANCES and COMPREHENSIVE PLAN:

The Village Comprehensive Plan designates the area which includes the subject property as part of the Commercial Core Functional Framework Area. The future land use plan recommends corridor commercial uses at this location which are intended to provide essential facilities and services to the community. The character of this area can be described as a mix of uses which include small office, retail, restaurant and other commercial uses. Development of an infill

commercial site would be compatible with the neighborhood and the variances would enable a rear parking area and front parking area to be connected which would improve circulation and access from Lombard St. The parking lot setback requirement is a new ordinance provision as of 2020.

STANDARDS FOR VARIATIONS:

The Mahomet Zoning Ordinance sets forth the requirement that the Board of Appeals may grant a variance only when it is determined that **ALL** of the following conditions have been met.

1. There are special circumstances or conditions applying to the land or building for which the variance is sought; and,
2. The said special circumstances or conditions are peculiar to such land or buildings and do not apply generally to land or buildings in this neighborhood; and,
3. The said special circumstances or conditions are such that the strict application of the provisions of the Zoning Ordinance could deprive the applicant of the reasonable use of such land and building; and,
4. The granting of the requested variance is necessary for the reasonable use of the land and building; and,
5. The variance requested is the minimum variance that will accomplish this purpose; and,
6. The granting of the requested variance will be in harmony with the general purpose and intent of the Zoning Ordinance; and,
7. The requested variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare; and,
8. The requested variance will not be in conflict with the Comprehensive Plan.

DEVELOPMENT TEAM RECOMMENDATION:

The variance request seems reasonable considering the site was rezoned to commercial with an existing residential structure per the Comprehensive Plan policies. Subsequent redevelopment is challenging with setback provisions meant for new development. Facilitating a formal conversion from a residential home-based business to a stand alone commercial business would allow for “infill” site development but the existing structure restricts the placement of parking areas and site circulation drives. Staff recommends two (2) condition requirements: Installation of a sidewalk along the frontage of the site to facilitate pedestrian sidewalk connection in this area and the site development must substantially comply with the site plan as presented to the PZC. The PZC will need to determine any special circumstances as part of its recommendation and if the variance request meets the eight (8) variance standards listed above.

SUMMARY:

A review of the factors and issues relevant to the requested variances are set forth above. The Plan and Zoning Commission acts in an advisory role to the Zoning Board of Appeals regarding variance requests. A draft resolution is attached for consideration by the PZC.

ATTACHMENTS:

- 1) Property Aerial / Zoning Map
- 2) Draft Resolution
- 3) Variance Application

VAR2022-02 110 S Lombard Street



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium

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This map was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this map is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this map and information contained herein. The use of this map constitutes acknowledgement of this disclaimer.



RESOLUTION FOR PLAN AND ZONING COMMISSION

**A Resolution Concerning a variance request from
Village of Mahomet at 110 S Lombard Street**

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,

WHEREAS, the Petitioner, Village of Mahomet, requested variances for the property located at 110 S Lombard Street; and,

WHEREAS, the subject site is located along the east side of Lombard approximately 375 feet north of the Oak Street and Lombard Street intersection; and,

WHEREAS, the legal description for the proposed variance is as follows:

Lot 1 of Cecil Pittman's First Addition to the Village of Mahomet, Illinois, as per plat recorded in Book "G" at page 182, situated in the Village of Mahomet, in Champaign County, Illinois.

WHEREAS, the two (2) requested variances are as follows:

1. Reduce the ten (10) foot minimum parking lot setback requirement to allow a setback of zero (0) (§152.108 (E)(1)).
2. Reduce the minimum accessory rear yard setback of five (5) feet and the minimum accessory side yard setback of two (2) feet to allow a setback of zero (0) (§152.091(D)).

WHEREAS, a Public Hearing regarding the proposed variances has been duly noticed in the January 2, 2022 issue of the News-Gazette and will be held before the Mahomet Board of Appeals on January 19, 2022 to solicit evidence and testimony from the public; and,

WHEREAS, the Village staff reviewed the request and provided the technical background information to the Plan and Zoning Commission; and,

WHEREAS, the Plan and Zoning Commission met and reviewed the evidence and testimony submitted and considered all of the available factual evidence concerning the requested action.

BE IT THEREFORE RESOLVED this 4th day of January, 2022 by the Plan and Zoning Commission of the Village of Mahomet that:

- 1) The Plan and Zoning Commission sets forth the following findings of fact concerning the requested variances;
 - A. That the special circumstances or conditions applying to the land or building for which the variances are sought are:
The property is a landlocked parcel with an existing building whose compliance with parking requirements can only be achieved by the removal of setbacks.

 - B. That concerning the variances requested:
 1. There **ARE / ARE NOT** special circumstances or conditions applying to the land or building for which the variances are sought; and,

2. The said special circumstances or conditions **ARE / ARE NOT** peculiar to such land or buildings and do not apply generally to land or buildings in this neighborhood; and,
 3. The said special circumstances or conditions **ARE / ARE NOT** such that the strict application of the provisions of the Zoning Ordinance could deprive the applicant of the reasonable use of such land and building; and,
 4. The granting of the requested variances **ARE / ARE NOT** necessary for the reasonable use of the land and building; and,
 5. The variances requested **ARE / ARE NOT** the minimum variances that will accomplish this purpose; and,
 6. The granting of the requested variances **WILL / WILL NOT** be in harmony with the general purpose and intent of the Zoning Ordinance; and,
 7. The requested variances **WILL / WILL NOT** be injurious to the neighborhood or otherwise detrimental to the public welfare; and,
 8. The requested variances **WILL / WILL NOT** be in conflict with the Comprehensive Plan.
- 2) The granting of the variances, if approved, shall be subject to the following conditions:
- A. Installation of a public sidewalk along the Lombard Street frontage of the property.
 - B. Site development must substantially comply with the Site Plan as presented to the PZC (Site Plan dated January 4, 2022).
-
- 3) The Plan and Zoning Commission does hereby recommend that the Zoning Board of Appeals of the Village of Mahomet **GRANT / DENY** the requested variance to reduce the ten (10) foot minimum parking lot setback requirement to allow a setback of zero (0) (§152.108 (E)(1)).
- 4) The Plan and Zoning Commission does hereby recommend that the Zoning Board of Appeals of the Village of Mahomet **GRANT / DENY** the requested variance to reduce the minimum accessory rear yard setback of five (5) feet and the minimum accessory side yard setback of two (2) feet to allow a setback of zero (0) (§152.091(D)).

Chair, Plan and Zoning Commission
Village of Mahomet, Illinois

**REQUEST FOR VARIANCE
VILLAGE OF MAHOMET**

DO NOT WRITE IN THIS SPACE – FOR OFFICE USE ONLY

Date Filed: December 3, 2021 Date of Hearing: January 19, 2022

Date of Published Notice: January 2, 2022 Newspaper: News-Gazette

Fee Paid – ^{Check} Receipt No.: 4712 Amount: \$300.00 Date: 12/03/2021

Comments: (indicate other actions such as continuances) _____

Action by Board on Request: _____

NOTICE TO APPLICANTS

1. A Variance is a zoning adjustment, which permits minor changes of district requirements where individual properties are both harshly and uniquely burdened by the strict application of the law. The power to vary is restricted and the degree of Variance is limited to the minimum change necessary to overcome the inequality inherent in the property.
2. A Variance recognizes that the same district requirements do not affect all properties equally. It was invented to permit minor changes to allow hardship properties to enjoy equal opportunities with properties similarly zoned. You must prove that your land is affected by special circumstances or unusual conditions. These must result in uncommon hardship and unequal treatment under the strict application of the Zoning Ordinance. Where hardship conditions extend to other properties a Variance cannot be granted. The remedy for general hardship is a change of the map or the text of the Zoning Ordinance.
3. You must provide that the combination of the Zoning Ordinance and the uncommon conditions of your property prevent you from making reasonable use of your land as permitted by your present zoning district. Since zoning regulates land and not people, the following conditions cannot be considered pertinent to the application for a Variance: (1) Proof that a Variance would increase the financial return from the land, (2) Personal hardship, (3) Self-imposed hardship. In the last case, the recognition of conditions created after the enactment of the Zoning Ordinance would encourage and condone violation of the law.

4. No Variance may be granted which would adversely affect surrounding property or the general neighborhood. All variances must be in harmony with the intent and purposes of the Zoning Ordinance.
5. There will be no refund of application fees for Variances not granted or withdrawn.
6. No incomplete applications will be acted upon.
7. Granting a Variance requires that the Village hold a Public Hearing regarding the request, and publication of the Public Notice 15 days in advance of the Hearing. Applicants are urged to coordinate their activities with Village Staff to assure consideration of their request in as timely manner as is reasonably possible.

DATA ON APPLICANT AND OWNER

Name of Applicant (s): James Hay and Mary Carrara-Hay Phone: 217-649-1073

Address of Applicant (s): 2671 County Road 300 E, Mahomet, IL 61853

Property Interest of Applicant: Owners
(Owner/Contract Purchases/Agent, etc.)

Name of Owner: James Hay and Mary Carrara-Hay Phone: 217-649-1073

ADDRESS AND DESCRIPTION OF PROPERTY

Address: 110 South Lombard Street, Mahomet, IL 61853

Width of Lot: 80' Front (West), 74.4' Rear (East) Length of Lot: 193' (North), 255.75' (South)

Lot Area (Square Feet): 15,791.37 s.f. Tax Parcel Number: 15-13-15-328-001

Legal Description: (or attach legal description) Lot 1 of Cecil Pittman's First Addition to the Village of Mahomet, Illinois, as per plat recorded in Book "G" at page 182, situated in the Village of Mahomet, in Champaign County, Illinois.

LANE USE AND ZONING

Present Zoning: C2 General Commercial District

Present Land Use: Professional Office

Proposed Land Use: Professional Office

	Surrounding Zoning	Surrounding Land Use
North	<u>C2</u>	<u>Restaurant</u>
South	<u>C2</u>	<u>Restaurant</u>
East	<u>R3C</u>	<u>Multi Family Residential</u>
West	<u>C2</u>	<u>Mahomet Small Engine</u>

REASONS FOR REQUEST FOR VARIANCE

NOTE: The following questions must be answered completely. If additional space is needed, attach extra pages to application. Before answering, read the NOTICE TO APPLICANTS attached hereto.

- Set forth specifically the nature of the variance requested, giving exact distances (e.g. to reduce the side yard requirements from 15 ft. to 10 ft. or to vary the height limitation from 35 ft. to 38 ft.)
 - Eliminate the minimum parking lot setback from "All yards, 10 feet" to zero feet, to allow for access drive and adequate parking for office use. Ref 152.108 (E)(1).
 - Allow "Accessory" parking in rear yard closer than 5' to rear lot line and parking at side yard closer than 2' to side lot line. Ref 152.091(D)
- What circumstances, peculiar to this site, justify the need for the requested variance? Explain in detail: The current use is a professional office (former residence) with less than adequate client / staff parking. The proposed front parking, access drive, and rear parking would create the parking needed within the site.
- What characteristics of your property prevent its begin used for the uses permitted in your zone? (Describe the items giving dimensions where appropriate) Without relief granted by a variance, the front parking, access drive, and rear parking are not permitted by the zoning ordinance, as shown on the proposed site plan.

4. How do the above site conditions prevent any reasonable use of your land under the terms of the Zoning Ordinance?

Without the additional parking, the proposed improvements to the site and building
are not economically feasible or practicable for this professional office.

5. To the best of your knowledge, was the hardship described above created by an action of anyone having property interests in the land after the Zoning Ordinance was enacted? 5. To the best of your knowledge, was the hardship described above created by an action of anyone having property interests in the land after the Zoning Ordinance was enacted? Yes___No X, If "yes", explain why the hardship should not be regarded as self-imposed (self-imposed hardships are not entitled to variances).

6. Does any violation of the Village of Mahomet Zoning Ordinance exist on the property at the present time? Yes X No___ If yes, how?

The current site / building was an existing residence converted to an office use. The
existing entrance drive, parking, storm detention, and site lighting are not in conformance.

7. Are the conditions on your property the result of other man-made changes (such as the relocation of a road or highway)? Yes___ No X If yes, Describe:

8. Are the conditions of hardship for which you request a variance true only to your property? Yes
If not, how many other properties are similarly affected?

9. Will the granting of a variance in the form required by in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance? Elaborate:

With the grant of the variance, the site / building will come fully into conformance with
the zoning ordinance. The development then will be compatible with the other
surrounding businesses along Lombard Street.

10. Additional Comments by Applicant: _____

SKETCH PLAN

A) Is a scaled plot plan indicating the location of the premises and the nature of the variance attached.
Yes No (Application will not be processed without the required drawing)

B) Additional exhibits submitted by applicants: Warranty Deed, Proposed Site Plan, & Aerial
Photos of Site

I (we) certify that all of the above statements and the statements contained in any papers or plan submitted herewith are true to the best of my (our) knowledge and belief.

(Signature) Applicant

Date

(Signature) Owner

Date

5253-1401136

WARRANTY DEED - TENANCY BY THE ENTIRETY

THE GRANTOR, JOSEPH O. CHAMBERLAIN, a married person, of the City of Indianapolis, Indiana, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, **CONVEYS** and **WARRANTS** to the **GRANTEES, K. JAMES HAY and MARY CARRARA-HAY, as husband and wife**, of the Village of Mahomet, Illinois, not in **JOINT TENANCY** or in **TENANCY IN COMMON**, but in **TENANCY BY THE ENTIRETY**, the following described real estate:

Legally Known as: Lot 1 of Cecil Pittman's First Addition to the Village of Mahomet, Illinois, as per plat recorded in Book "G" at page 182, situated in the Village of Mahomet, in Champaign County, Illinois.


Commonly Referred to as: 110 S. Lombard, Mahomet, Illinois

Permanent Index Number: 15-13-15-328-001

Subject to: (1) Real estate taxes for the year 2013 and subsequent years;
(2) Covenants, conditions, restrictions and easements apparent or of record;
(3) All applicable zoning laws and ordinances;

situated in the County of Champaign and State of Illinois hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of Illinois. Grantor warrants that no homestead rights have accrued in the foregoing property.

Dated this 21 day of May, 2014.



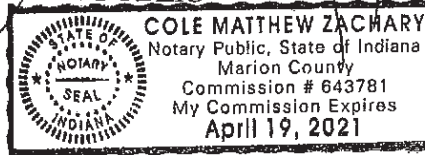
Joseph O. Chamberlain

STATE OF INDIANA)
) SS
COUNTY OF MARION)

I, the undersigned, a Notary Public for the State of Illinois, certify that JOSEPH O. CHAMBERLAIN, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed, sealed, and delivered the said instrument as his free and voluntary act, in said capacity.

Dated this 21 day of May, 2014.

NOTARY PUBLIC



DEED PREPARED BY:
Marc R. Miller
Miller & Hendren, LLP
P. O. Box 980
Champaign, IL 61824-0980
(217) 352-2171

RETURN TO AND SEND TAX BILL TO:
K. James Hay &
Mary Carrara-Hay
2671 CR 300 E
Mahomet, IL 61853

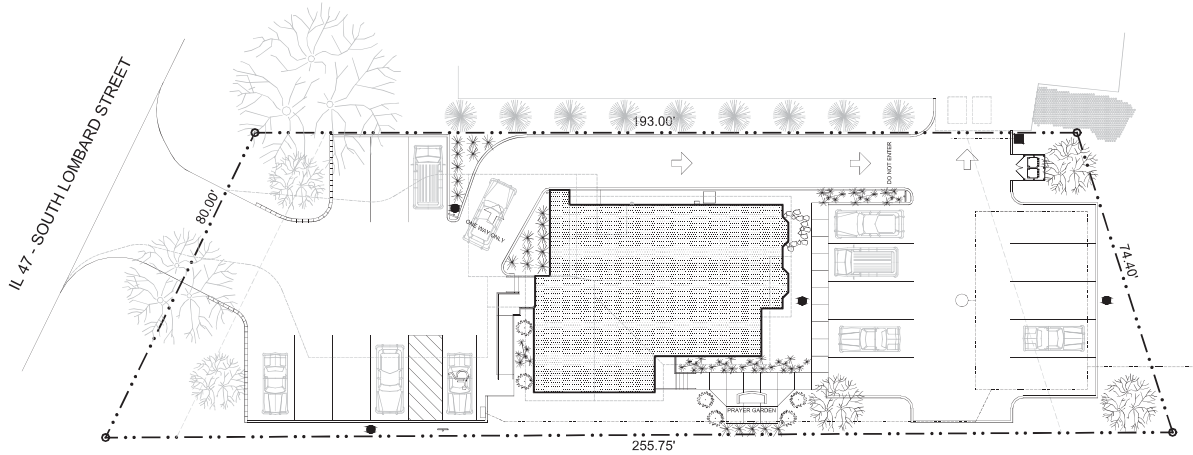
Return to
Alan Singleton
2001 South First Street
Suite 203
Champaign, IL 61820

SITE PLAN as presented to PZC January 4, 2022

NOTE:
THE STUDY DRAWINGS ARE SCHEMATIC IN NATURE. NO AS BUILT OR SITE SURVEY HAS BEEN PROVIDED TO THE ARCHITECT. DIMENSIONS WERE GATHERED VIA WEBSITE MAPPING OR IN THE FIELD AND WILL NEED TO BE VERIFIED. THE DRAWINGS ILLUSTRATE DESIGN INTENT ONLY. NO JURISDICTION OR AUTHORITY HAS REVIEWED OR APPROVED ANY OR A PART OF THE DESIGN OR CONTENT HERE WITHIN. A CODE REVIEW OR ENGINEERING HAS NOT BEEN PERFORMED. THE SCHEMATIC DRAWINGS ARE SUBJECT TO CHANGE.



10/20/21 10:00 AM
10/20/21 10:00 AM
10/20/21 10:00 AM



ON-GRADE PARKING - 18 PARKING SPACES INCLUDING 1 ACCESSIBLE PARKING SPACE
SCOPE OF SITE WORK (NOT INCLUSIVE): NEW DRIVEWAY ENTRANCE FROM LOMBARD STREET, PAVED PARKING FOR 18 SPACES (INCLUDING 1 ACCESSIBLE SPACE), ADDED PARKING LOT LIGHTING, STORM WATER MANAGEMENT SYSTEM, PRAYER GARDEN, ACCESSIBLE RAMP TO FRONT ENTRANCE, CONCRETE STEPS TO REAR ENTRANCE, TRASH ENCLOSURE, TRAFFIC CONTROL GATE, & LANDSCAPING.

NEW SITE PLAN
3/32" = 1'-0"

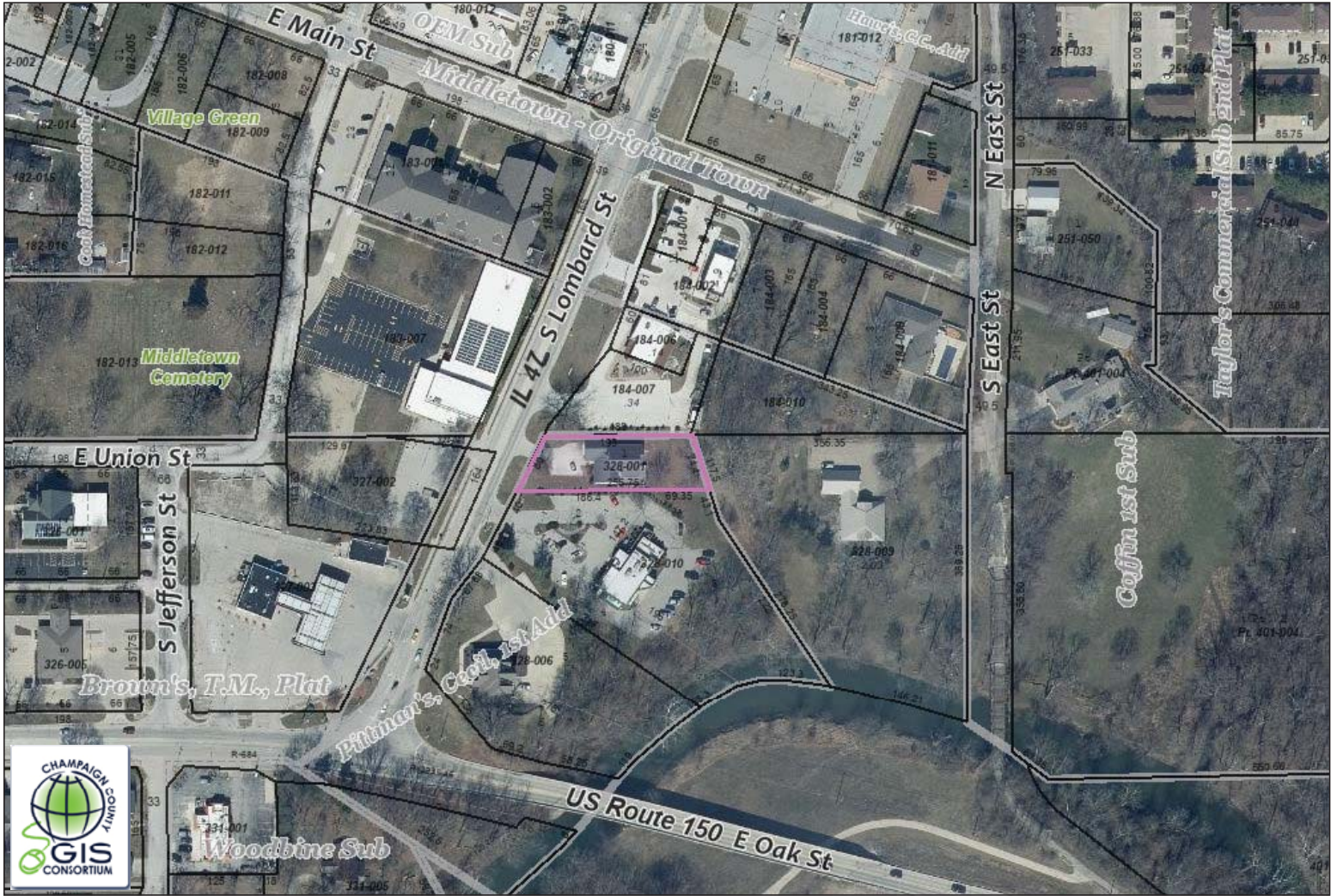
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

CROSSROADS COUNSELING SOLUTIONS
JOB NO. 1909
SCHEMATIC DESIGN
OCTOBER 5, 2021
An Alteration for
110 South Lombard
Mahomet, IL 61853

JOB NO. 1909	DATE: 10/05/21 10:00 AM
SCALE: 3/32" = 1'-0"	REV:
DRAWN BY:	
CHECKED BY:	

NEW SITE PLAN
A100

GIS Webmap Public Interface Champaign County, Illinois



110

Feet

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GIS Webmap Public Interface Champaign County, Illinois



Pittman's, Cecil, 1st Add

25 Feet

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Date: Friday, November 8, 2019



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

REPORT TO PLAN AND ZONING COMMISSION Meeting January 4, 2022

FROM: Abby Heckman, Planner
Kelly Pfeifer, Community Development Director and Village Planner

PROJECT: **MAP2021-03: Kimball Subdivision (Final Plat), part of PIN 15-13-13-300-001**

PETITIONER: Adam and Jodi Kimball

ENGINEER: BKB Engineering Inc.

REQUESTED ACTION: **Recommendation to the Board of Trustees (BOT)**
Approval of Final Plat
Subdivision Ordinance Waivers

INTRODUCTION: The Plan and Zoning Commission is asked to consider all the documents concerning the subject subdivision. The subdivision contains two (2) commercial lots along with roadway dedication for a cul-de-sac termination of Clark Street. The plat is to be submitted in accordance with the standard procedures set forth in the Mahomet Subdivision Ordinance. Additionally, waivers approved for the subject property by the Board of Trustees on December 21, 2021 are acknowledged in the review and attached (BOT Res. 21-12-06).

LOCATION / SITE DESCRIPTIONS: The site is located on the north side of Clark Street approximately 230 feet west of Prairieview Road on 4.7± acres of land. It is part of parcel 15-13-13-300-001 which received waivers to permit application and approval of a final plat limited to the area contained as presented.

CONFORMANCE TO ZONING ORDINANCE: The site is zoned C-2 General Commercial District. The proposed lot sizes comply with applicable requirements of the Village of Mahomet Zoning Ordinance. A 15-foot front yard setback is required along the frontage of Clark Street right of way.

WAIVERS REQUESTED:

1. Waiver to increase the maximum overland flow distance such that all right of way and lot development of the entirety of the subdivision will be able to surface flow to the offsite detention basin.
2. Waive the preliminary plat filing requirement.
3. Waiver to allow for the dedication of right of way for Clark Street to the minimum necessary to facilitate a 25' B-B curb street pavement from the existing islands in the straightaway and an 80' diameter cul-de-sac east of the current termination of street pavement with 5 feet of grass boulevard.
4. Waiver of the requirement to dedicate right of way, construct sidewalks or street pavement for the extension of Clark Street west of the existing pavement along the southern property line
5. Waiver to allow SVPWD standards for water and sanitary sewer.
6. Waiver to defer the application and submission of construction plans for Clark Street until such time as site development plans are submitted for either lot.
7. Waiver to allow for a 7.5' wide utility easement in lieu of the required 10' along the eastern property line.

8. Waiver of the requirement to plat any utility easement along the southern property line since 29' of unobstructed right of way was dedicated by the adjacent subdivision.
9. Waiver to allow for storm water detention in a facility not within the subdivision.
10. Waiver of the construction of sidewalks along the new and widened Clark Street frontage.

PUBLIC WATER AND SANITARY SEWER FACILITIES: Public sanitary sewers and water mains being constructed will be owned and operated by SVPWD. Final Plat approval is always subject to approval by SVPWD to assure lots created will be serviceable by water and sanitary sewer. The proposed easements appear to be satisfactory, but final responsibility rests with SVPWD through the regular agency contact requirement. The final plat has been forwarded to SVPWD for comment. None have been received at this time and the date for comment has passed which would indicate the easements shown are satisfactory or otherwise SVPWD needs have been met.

AVAILABILITY OF PUBLIC UTILITIES: This subdivision involves the necessary extensions of services to all platted lots and accommodates future extensions to adjacent undeveloped land by the provisions of utility easements. Petitioner has reported contact with all utility providers and presentation of drawn easements are sufficient to assure service.

STREET ACCESS / TRAFFIC: This final plat includes a request to terminate Clark Street in a cul-de-sac instead of dedicating the additional required $\frac{1}{2}$ right-of-way width to extend Clark Street to the west. If the property to the north develops with an access road from Clark Street along the west side of lot 101, instead of a cul-de-sac, an intersection with Clark Street would be required. Sidewalks do not exist in this area and are required by the Village Subdivision Ordinance unless an alternative plan is approved. On December 21, 2021, a subdivision waiver request was approved by the Board of Trustees that requires an access easement of 39' in width be dedicated to serve the unplatted land to the north. Such dedication is shown on the plat and terms will be outlined in the owner's certificate recorded with the subdivision

STORMWATER MANAGEMENT: Site development must comply with the Village stormwater management ordinance. There is an existing off-site drainage pond to the east of the subject site which the petitioner intends to utilize as part of the required stormwater management for the subject site. Though the basin has not been analyzed for capacity and outlet size, preliminary calculations of just under 5 acres of impervious surface indicate sufficient capacity for the development. Roadway drainage by widening Clark Street will also be directed through the lots and to the off-site basin. A mutual use and maintenance agreement will be provided and the project engineer will certifying the design and off site capacity which must comply with ordinances.

POLICE AND FIRE PROTECTION: The Village of Mahomet Police Department currently provides police protection to this site which is approximately 2.7 miles from the police station. This property is within the Cornbelt Fire Protection District and is approximately 2.8 miles from the Main Street fire station. Cornbelt Fire Chief John Koller was given the full site development plan as well as the final plat. He determined no additional fire hydrants are needed.

OUTSIDE AGENCY REVIEW: The Final Plat has been forwarded to outside agencies for review. No objections had been received at the time of this report and easements are included on the plat as necessary.

SUBSIDIARY DOCUMENTS: The Owner's Certificate and other legal documents are under review by Village staff. Staff is in process of working with the developer to finalize those documents. The petitioner will own the property prior to the presentation of the final plat to the Board of Trustees. Therefore, documents will be adjusted to reflect the new owner. All approvals by the board are always contingent on the satisfactory completion of all required documentation. The resolution prepared for PZC recommendation includes that contingency.

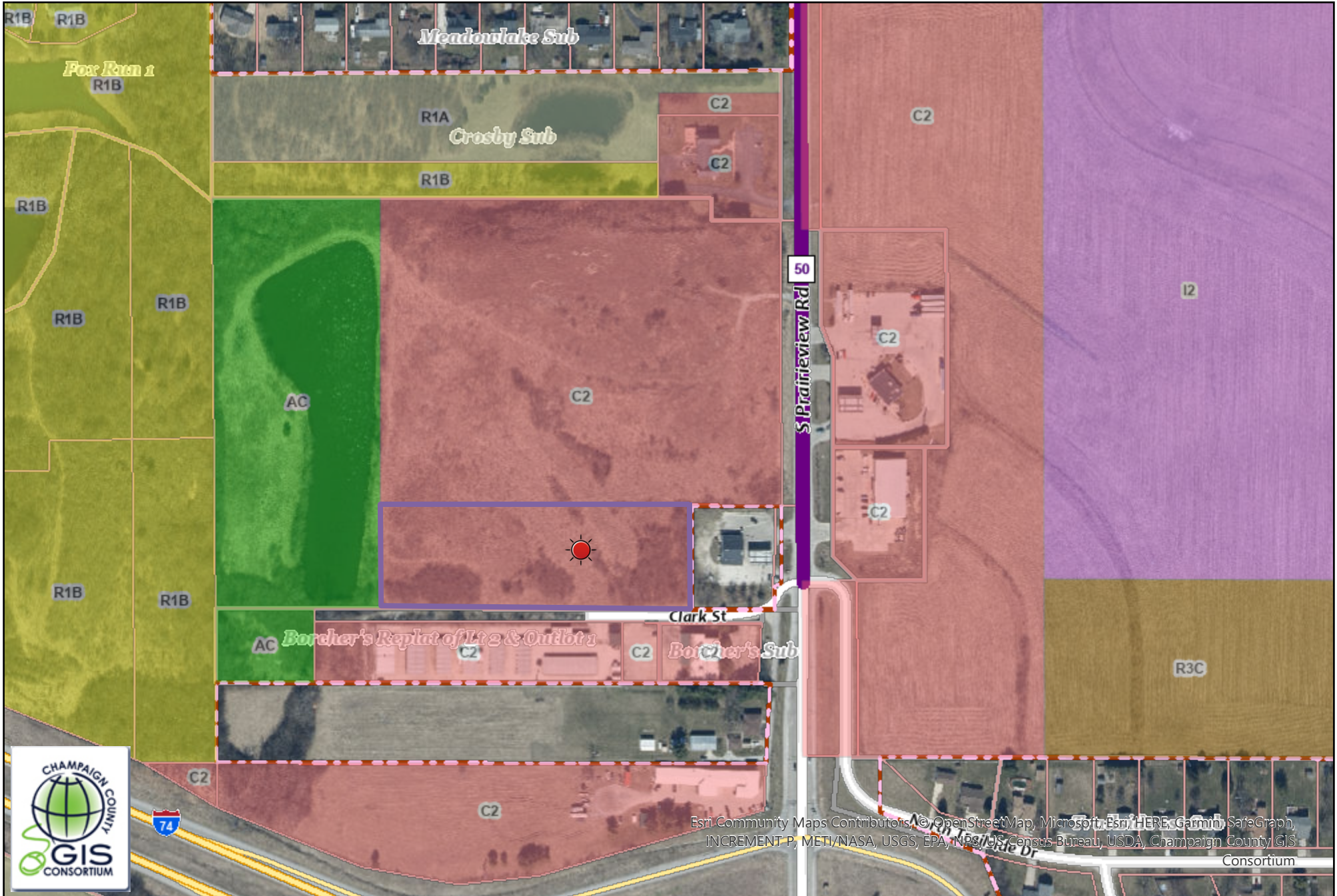
FINAL PLAT / PROCEDURAL ISSUES: A complete Final Plat application has been submitted, and the application fee has been paid. The plat was drawn to process as a minor subdivision but will be altered to reflect the new owner and the major subdivision process. Subject to revisions, the Final Plat appears to meet the technical requirements of the Village Subdivision Ordinance as well as the subdivision waivers given on December 21, 2021 for the “parent parcel”. Additionally, terms in the approved conditional use permit appear to be supported by the plat.

VILLAGE STAFF RECOMMENDATION / SUMMARY: A recommendation to the BOT by the PZC related to the approval of the final plat is requested by the developer. Staff supports a recommendation by the Plan and Zoning Commission for approval of the Final Plat subject to the standard conditions. A draft resolution is enclosed for consideration by the PZC. The Plan and Zoning Commission should feel free to modify the resolution as it sees fit.

ATTACHMENTS:

- A. Aerial Exhibit with Zoning
- B. Final Plat for Kimball Subdivision
- C. Draft Resolution
- D. Exhibit PIN 15-13-13-300-001 “Parent Parcel”
- E. BOT Resolution 21-12-06 Subdivision Waivers for PV403 LLC

MAP2021-03 Kimball Subdivision



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0.06
mi

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FINAL PLAT

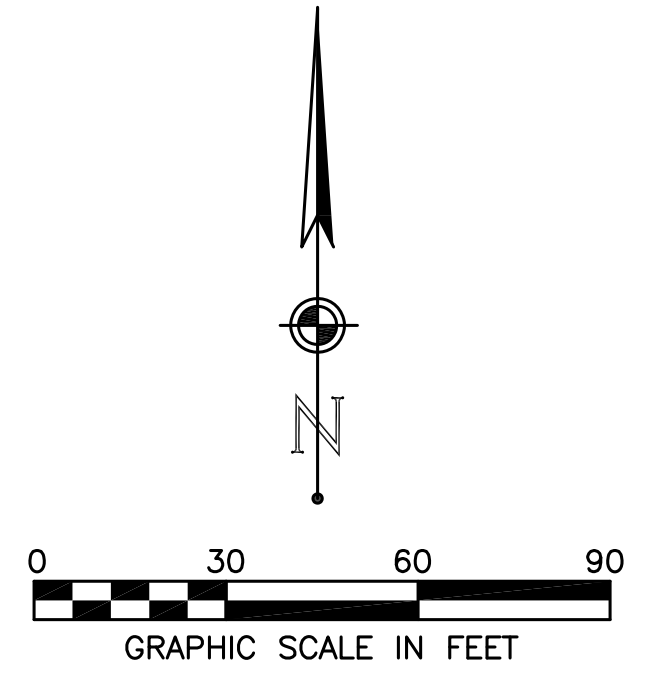
KIMBALL SUBDIVISION

PART OF NW 1/4, SW 1/4, SEC. 13,
T. 20 N., R. 7 E., 3rd. P.M.
MAHOMET, CHAMPAIGN COUNTY, ILLINOIS

APPROVED:

APPROVAL OF THIS MINOR SUBDIVISION FINAL PLAT IS HEREBY GRANTED UNDER THE AUTHORITY OF THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MAHOMET. THIS PLAT SHALL BE RECORDED WITH THE RECORDER OF DEEDS OF CHAMPAIGN COUNTY, ILLINOIS WITHIN ONE (1) YEAR OF THIS DATE, OTHERWISE THIS PLAT SHALL BECOME VOID.

PRESIDENT, MAHOMET BOARD OF TRUSTEES	DATE
MAHOMET VILLAGE ADMINISTRATOR	DATE
MAHOMET VILLAGE PLANNER	DATE
MAHOMET VILLAGE ENGINEER	DATE



- NOTES:
1. THE SUBDIVISION IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF MAHOMET.
 2. BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83.
 3. ALL YARD SETBACKS SHALL BE IN ACCORDANCE WITH THE MAHOMET, ILLINOIS ZONING ORDINANCE.
 4. NO PART OF THE AREA COVERED BY THIS PLAT IS SITUATED WITHIN 500 FEET OF A WATERCOURSE SERVING A TRIBUTARY AREA OF 640 ACRES OR MORE.
 5. THE SUBDIVISION IS LOCATED WITHIN ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE), BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 17019C0208D, DATED OCTOBER 2, 2013.
 6. FIELDWORK FOR THIS SUBDIVISION WAS PERFORMED IN NOVEMBER 2021.
 7. NO INDEPENDENT REVIEW OF EASEMENTS FOR THIS SUBDIVISION WAS PERFORMED.

STATE OF ILLINOIS)
) S.S.
COUNTY OF CHAMPAIGN)

I, BRYAN K. BRADSHAW, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3738 DO HEREBY CERTIFY THAT AT THE REQUEST OF PV403 DEVELOPMENTS, LLC, I HAVE SURVEYED AND SUBDIVIDED THE HEREINAFTER DESCRIBED TRACT OF LAND INTO LOTS AS SHOWN ON THE ATTACHED PLAT. SAID PLAT IS A TRUE REPRESENTATION OF SAID SUBDIVISION, WHICH IS HEREAFTER TO BE KNOWN AS "KIMBALL SUBDIVISION". THE SCALE ON THE PLAT IS AS INDICATED. ALL DISTANCES MARKED ON THE PLAT ARE IN FEET AND DECIMAL PARTS OF FEET. SUBDIVISION AND LOT CORNERS HAVE BEEN MONUMENTED AS SHOWN ON ATTACHED PLAT. I FURTHER CERTIFY THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THE PROPERTY TO BE SUBDIVIDED AND PLATTED IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTH 20 ACRES OF THE SOUTH 30 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT AN IRON ROD SURVEY MONUMENT AT THE NORTHWEST CORNER OF LOT 103 OF A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION RECORDED AS DOCUMENT NO. 2002R23661 IN THE CHAMPAIGN COUNTY RECORDER'S OFFICE, SAID CORNER BEING A POINT ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, A DISTANCE OF 989.42 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89 DEGREES 51 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 103, SAID LINE ALSO BEING THE SOUTH LINE OF THE NORTH 20 ACRES OF THE SOUTH 30 ACRES OF THE NORTHWEST QUARTER OF SAID SOUTHWEST QUARTER, A DISTANCE OF 222.40 FEET TO THE NORTHEAST CORNER OF SAID LOT 103 ALSO BEING THE NORTHWEST CORNER OF THE DEDICATED RIGHT-OF-WAY OF CLARK STREET (AUGGIE'S WAY DRIVE); THENCE SOUTH 89 DEGREES 51 MINUTES 56 SECONDS EAST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID CLARK STREET AND SAID SOUTH LINE OF THE NORTH 20 ACRES OF THE SOUTH 30 ACRES OF THE NORTHWEST QUARTER OF SOUTHWEST QUARTER, A DISTANCE OF 157.92 FEET TO A CONCRETE SURVEY MONUMENT BEING THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 06 MINUTES 33 SECONDS WEST, A DISTANCE OF 297.10 FEET TO AN IRON ROD SURVEY MONUMENT; THENCE SOUTH 89 DEGREES 51 MINUTES 56 SECONDS EAST, A DISTANCE OF 688.00 FEET TO AN IRON ROD SURVEY MONUMENT; THENCE SOUTH 00 DEGREES 06 MINUTES 33 SECONDS WEST, A DISTANCE OF 64.86 FEET TO AN IRON ROD SURVEY MONUMENT BEING THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN WARRANTY DEED RECORDED AS DOCUMENT NO. 2021R01026 IN THE CHAMPAIGN COUNTY RECORDER'S OFFICE; THENCE SOUTH 00 DEGREES 06 MINUTES 33 SECONDS EAST, ALONG THE WEST LINE OF SAID TRACT OF LAND, A DISTANCE OF 232.24 FEET TO AN IRON ROD SURVEY MONUMENT BEING THE SOUTHWEST CORNER OF SAID TRACT OF LAND, ALSO BEING A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF CLARK STREET AND SAID SOUTH LINE OF THE NORTH 20 ACRES OF THE SOUTH 30 ACRES OF THE NORTHWEST QUARTER OF SOUTHWEST QUARTER; THENCE NORTH 89 DEGREES 51 MINUTES 56 SECONDS WEST, ALONG SAID NORTH RIGHT-OF-WAY LINE OF CLARK STREET AND SAID SOUTH LINE OF THE NORTH 20 ACRES OF THE SOUTH 30 ACRES OF THE NORTHWEST QUARTER OF SOUTHWEST QUARTER, A DISTANCE OF 688.00 FEET TO THE POINT OF BEGINNING, ENCOMPASSING 4.692 ACRES, MORE OR LESS, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

Curve #	Length	Radius	Chord Direction	Chord Length
C1	28.53'	20.00'	N.49° 00' 04"W.	26.17'
C2	93.15'	45.00'	N.67° 26' 27"W.	77.39'
C3	41.83'	45.00'	S.26° 37' 39"W.	40.34'

- LEGEND**
- BOUNDARY OF PLAT
 - - - PROPOSED LOT LINE
 - - - EXISTING LOT LINE
 - - - EXISTING SECTION LINE
 - - - EXISTING CENTERLINE
 - - - PROPOSED UTILITY EASEMENT LINE (UNLESS NOTED)
 - 5/8" IRON ROD SET W/CAP 3738
 - 5/8" IRON ROD SET W/CAP 3738 IN CONCRETE
 - IRON ROD / PIPE FOUND
 - (100') RECORDED DIMENSION

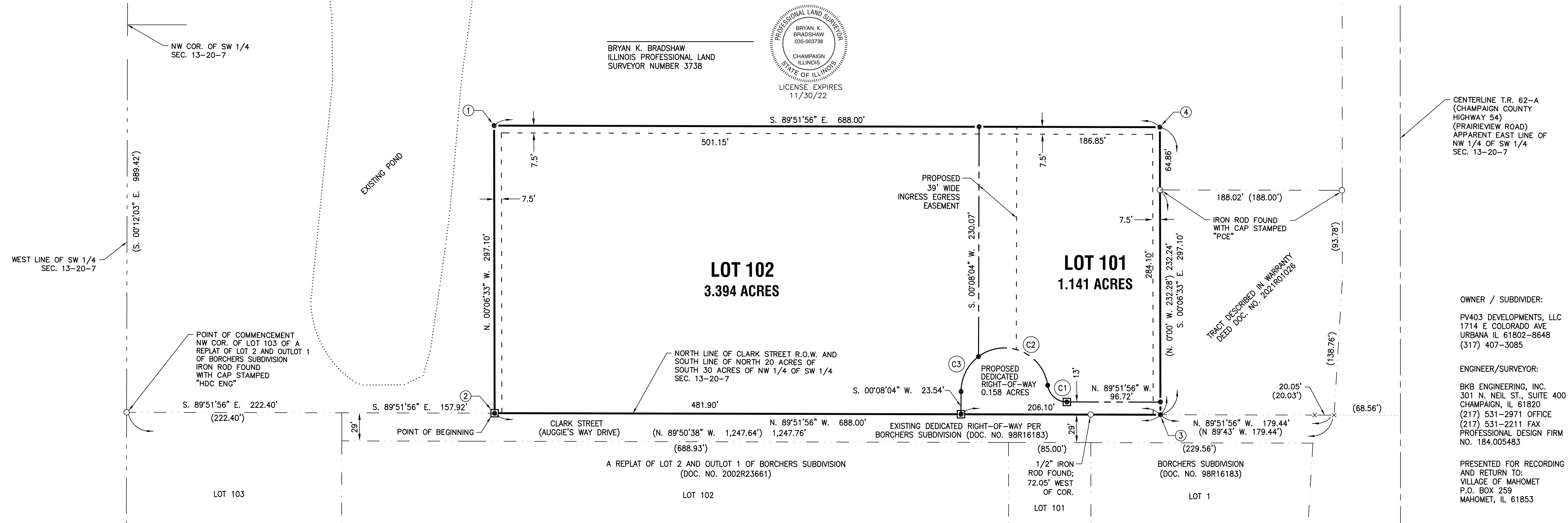
STATE PLANE COORDINATE TABLE

HORIZONTAL DATUM IS BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM NAD 83 (EAST ZONE).

POINT	NORTHING	EASTING
①	1283580.35	974385.24
②	1283283.25	974385.81
③	1283281.64	975073.80
④	1283578.74	975073.24

SIGNED AND SEALED THIS _____ DAY OF _____, 2021

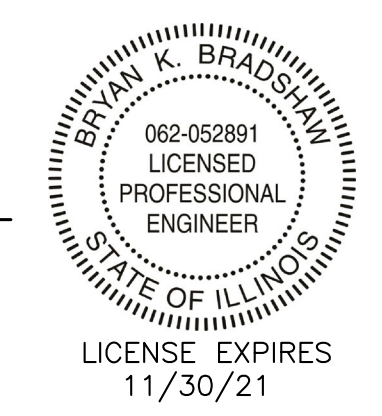
BRYAN K. BRADSHAW
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3738



DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATE: _____
BRYAN K. BRADSHAW
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 52891



OWNER: _____ PV403 DEVELOPMENTS, LLC

CENTERLINE T.R. 62-A
(CHAMPAIGN COUNTY HIGHWAY 54)
(PRAIRIEVIEW ROAD)
APPARENT EAST LINE OF NW 1/4 OF SW 1/4 SEC. 13-20-7

OWNER / SUBDIVIDER:
PV403 DEVELOPMENTS, LLC
1714 E COLORADO AVE
URBANA IL 61802-8648
(317) 407-3085

ENGINEER/SURVEYOR:
BKB ENGINEERING, INC.
301 N. NEIL ST., SUITE 400
CHAMPAIGN, IL 61820
(217) 531-2971 OFFICE
(217) 531-2211 FAX
PROFESSIONAL DESIGN FIRM NO. 184.005483

PRESENTED FOR RECORDING AND RETURN TO:
VILLAGE OF MAHOMET
P.O. BOX 259
MAHOMET, IL 61853

A RESOLUTION FOR THE PLAN AND ZONING COMMISSION

**CONCERNING THE FINAL PLAT FOR
KIMBALL SUBDIVISION
VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS**

WHEREAS, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures for review and approval of subdivisions within the Corporate Limits of the Village of Mahomet, Illinois and within one and one-half miles thereof; and,

WHEREAS, the Board of Trustees granted a waiver of the full requirements of the subdivision ordinance to allow a final plat of subdivision of only 4.962 acres from a 26.04 acre parcel commonly known by PIN 15-13-13-300-001; and,

WHEREAS, the developer of the proposed **Kimball Subdivision** submitted certain documents, including a Final Plat, for review and approval by the Village of Mahomet; and,

WHEREAS, the developer submitted all required documents per Ordinance; and,

WHEREAS, the developer requested the following waivers to support the subdivision:

1. Waiver to increase the maximum overland flow distance such that all right of way and lot development of the entirety of the subdivision will be able to surface flow to the offsite detention basin.
2. Waive the preliminary plat filing requirement.
3. Waiver to allow for the dedication of right of way for Clark Street to the minimum necessary to facilitate a 25' B-B curb street pavement from the existing islands in the straightaway and an 80' diameter cul-de-sac east of the current termination of street pavement with 5 feet of grass boulevard.
4. Waiver of the requirement to dedicate right of way, construct sidewalks or street pavement for the extension of Clark Street west of the existing pavement along the southern property line
5. Waiver to allow SVPWD standards for water and sanitary sewer.
6. Waiver to defer the application and submission of construction plans for Clark Street until such time as site development plans are submitted for either lot.
7. Waiver to allow for a 7.5' wide utility easement in lieu of the required 10' along the eastern property line.
8. Waiver of the requirement to plat any utility easement along the southern property line since 29' of unobstructed right of way was dedicated by the adjacent subdivision.
9. Waiver to allow for storm water detention in a facility not within the subdivision.
10. Waiver of the construction of sidewalks along the new and widened Clark Street frontage.

WHEREAS, Village staff, Village Engineer and Village Attorney reviewed the Final Plat and supporting technical documents for **Kimball Subdivision** and found that subject to minor modifications, the documents are satisfactory and in a form that complies with the Village of Mahomet Subdivision Ordinance requirements, and made recommendations concerning approval of said Final Plat; and,

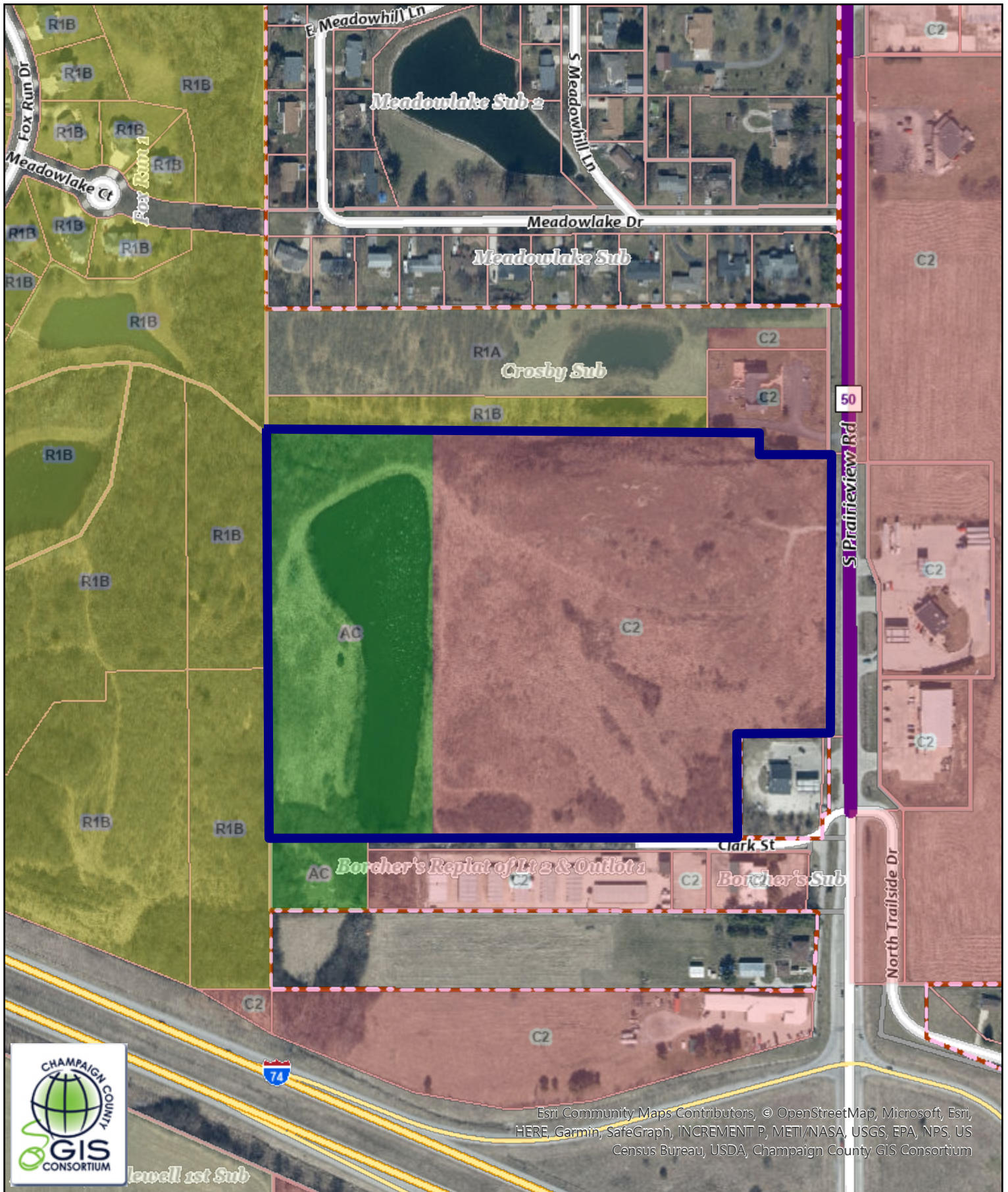
WHEREAS, the Plan and Zoning Commission met and reviewed the Final Plat, and the various subsidiary documents submitted, and found that it is, with minor modifications, generally satisfactory and in the prescribed form.

BE IT THEREFORE RESOLVED this 4th day of January, 2022, by the Plan and Zoning Commission of the Village of Mahomet, that:

- A. The Plan and Zoning Commission does hereby recommend **APPROVAL / DENIAL** of the Final Plat for the **Kimball Subdivision** upon completion of modifications identified by the Village staff and does hereby authorize the Chairman to sign the said Final Plat upon completion of said modifications.
- B. The approval of the Final Plat recommended above is further subject to the following conditions:
 - 1. Submission of all supporting documentation in proper form
 - 2. The approval of the Final Plat recommended above is further subject to the review and approval of the Final Plat and supporting documents as applicable by other relevant agencies and utility service providers.
 - 3. The approval of the Final Plat recommended above is further subject to the submittal of a drainage and share maintenance agreement for offsite stormwater routing and detention in a form satisfactory to the Village Attorney.
 - 4. In the event that the modifications to the Final Plat are not completed, the outside agency reviews are not completed, all supporting documents are not submitted in final form, or the conditions set forth above are not met within sixty (60) days from the date of approval by the Board of Trustees, the approvals recommended herein shall be null and void.

Chair, Plan and Zoning Commission
Village of Mahomet

PIN 15-13-13- 300-001 "Parent Parcel"



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RESOLUTION 21-12- 06

**RESOLUTION FOR VILLAGE OF MAHOMET BOARD OF TRUSTEES -
PV 403 LLC - SUBDIVISION ORDINANCE WAIVER**

- WHEREAS,** the PV403 Developments LLC (“Owner”) owns approximately 26.04 acres of undeveloped land with a man- made lake adjacent to Prairieview Road, a County Highway (“Property”) and there is a potential buyer (“Developer”) for the southern 4.692 acres of the Property directly west of the existing BP gas station (“Subdivided Land”), which would leave approximately 21.348 acres remaining (“Remaining Property”); and,
- WHEREAS,** the Property is annexed into the corporate limits of the Village and is currently split zoned with the developable portion zoned C-2 General Commercial and the lake and surrounding area zoned AC for conservation and future use a stormwater detention for the entirety of the Property; and,
- WHEREAS,** the Developer is pursuing a conditional use permit for mini storage and flex office/warehousing space on the site and has prepared a plat (“Kimball Subdivision”) for a two-lot subdivision over the southern 4.692 acres of the Property (“Subdivided Land”); and,
- WHEREAS,** the Owner is prepared to record instruments or deed restrictions that would secure stormwater and detention compliance of the Kimball Subdivision by the use of the lake on the Remaining Property for its required volume; and,
- WHEREAS,** the Owner does not desire to undertake land planning or subdivision of the whole property at this time; and,
- WHEREAS,** the full application of the Subdivision Ordinance to this transaction would require the boundary of any plat of subdivision to include the entirety of the “parent parcel” which is the 26.04 acres or the existence of an approved Area General Plan; and,
- WHEREAS,** the application of the Subdivision Ordinance to this transaction, in the absence of a substantial number of waivers and deferrals, would be costly to the Owner and the Village, while providing minimal current benefit to the public; and,
- WHEREAS,** the Owner has requested that the strict application of the Subdivision Ordinance to this transaction be waived; and,
- WHEREAS,** Village staff have recommended that the request of Owner be approved, with certain conditions; and,
- WHEREAS,** the Plan and Zoning Commission reviewed the request on December 7, 2021 and adopted a resolution recommending approval of the requested waiver, with certain conditions.

BE IT THEREFORE RESOLVED this 21st day of December, 2021, by the Board of Trustees of the Village of Mahomet, that:

1. The waiver from the full requirements of the Subdivision Ordinance is hereby **GRANTED** to PV403 Developments LLC (“Owner”) to allow for the subdivision of a portion of the property located within the northeast quarter of the southwest quarter of Section 13, Township 20 North, Range 7 East of the Third Principal Meridian, Champaign County, Illinois (identified by the Champaign County Assessor as a part of the PIN 15-13-13-300-001) (“Subdivided Land”)
2. The following waivers, conditions and contingencies are imposed as a part of the implementation of this waiver, but for this transaction only:

**Resolution for Board of Trustees
PV 403 LLC Subdivision Ordinance Waiver**

December 21, 2021

Page 2 of 2

- a. Waive the area general plan phase, preliminary plat phase, construction plan phase and final plat phase for major subdivision and any and all requirement for a minor plat of subdivision for the Remaining Property.
 - b. Allow a metes and bounds legal description to transfer the Subdivided Land from the Property, thereby the remaining portion of the larger parcel will be approximately 21.348 acres ("Remaining Property").
 - c. Allow for the platting and development of the Subdivided Land by Developer after closing between Owner and Developer.
 - d. That the Remaining Property will not be considered in violation of the Subdivision Ordinances.
 - e. Owner shall have the right and ability to present any and all future final subdivision requests including such platting as may be desired by Owner for the Remaining Property. Any minimum time period before future minor or other subdivision requests is waived.
 - f. Developer shall have the right to apply for a subdivision and development of only the Subdivided Land without any requirement or inclusion of the Remaining Property.
 - g. The Remaining Property may not be developed until Owner further plats the Remaining Property in accordance with then current Village subdivision ordinance. Owner shall have the right to apply for a subdivision and development of only the Remaining Property without any requirement or inclusion of the Subdivision Land.
 - h. That any subdivision or development of the Subdivided Land shall include an access easement of at least 39 feet in width over the Subdivided Land from Clark Street to such new property line on the north, but no public right of way shall be required to be dedicated adject to the Remaining Property.
 - i. There shall be shared detention via recorded document which runs with the Subdivided Land and the Remaining Property which such shared detention basin is located on the existing pond within the Remaining Property.
 - j. Kimball subdivision, a one or two lot subdivision, of 4.692 acres is recorded within 1 year of today's date. If the final plat of the Subdivided Land is not recorded within 1 year of today's date, all waivers (for benefit of Remaining Property or Subdivided Land) contained herein are revoked and void, retroactively.
 - k. All improvements required for Clark Street will be the responsibility of Kimball Subdivision to construct or obtain waivers or deferrals.
3. Village staff is directed to take those steps reasonably necessary to implement this Resolution.

AS APPROVED BY BOT 12/21/2021

President, Board of Trustees

Village Clerk



Village of Mahomet

503 E. Main Street - P.O. Box 259 - Mahomet, IL 61853-0259
phone (217) 586-4456 fax (217) 586-5696

REPORT TO PLAN AND ZONING COMMISSION Meeting Date – January 4, 2022

FROM: Kelly Pfeifer, Community Development Director and Village Planner

PETITIONER: Quentin McNew

REQUESTED ACTION: Preliminary Discussion to prepare for a new Area General Plan and/or subdivision of land currently known as Tin Cup Campground and Fox Run undeveloped land.

LOCATION and SITE DESCRIPTION:

See attached exhibits

HISTORY AND BACKGROUND:

Fox Run phase 1 and phase 2 were completed. No area general plan, preliminary plat or development agreement exists to enable further expansion. A new developer is considering acquisition and development of not only the remainder of Fox Run but reconfiguring of Tin Cup Campground to allow for extensions of terminated Fox Run streets. Developer also would like to discuss tolerances for multi-family development on the west portion of the C-1 area.

None of the land area is subdivided and parcel lines and PINs are a result of annexations or owner transfers. Site is serviceable by SVPWD and they report expansion of lines along Tin Cup to assist with development of the area.

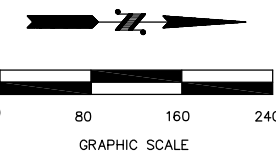
Existing entrance pavement at Fox Run needs repairs. Maximum block length of 800 feet is already exceeded. Length of effective cul-de-sac is a concern with further expansion southerly without another connection to Tin Cup Road. Waivers would be required. Density proposed of lots much larger than the minimum in the existing zoning are intended to mitigate the negative safety effects of long cul-de-sac length but cannot address operational and maintenance effects of the "cul-de-sac". Meadowlake Ct platted right of way would enable a second egress but into land and streets not within the Village of Mahomet. Construction would also be expensive.

SUMMARY:

A discussion of the factors and issues relevant to the requested concept plan is requested in anticipation of the development of an Area General Plan and a phased development. Waivers of block length and cul-de-sac length would be required with nearly any addition to Fox Run Drive. Connectivity options and density/lot size and layout should be discussed with the developer.

ATTACHMENTS:

1. Fox Run Expansion Development Concept
2. Area of Interest with Zoning
3. Annexations
4. Area of Interest with Contours



FOX RUN SUBDIVISION

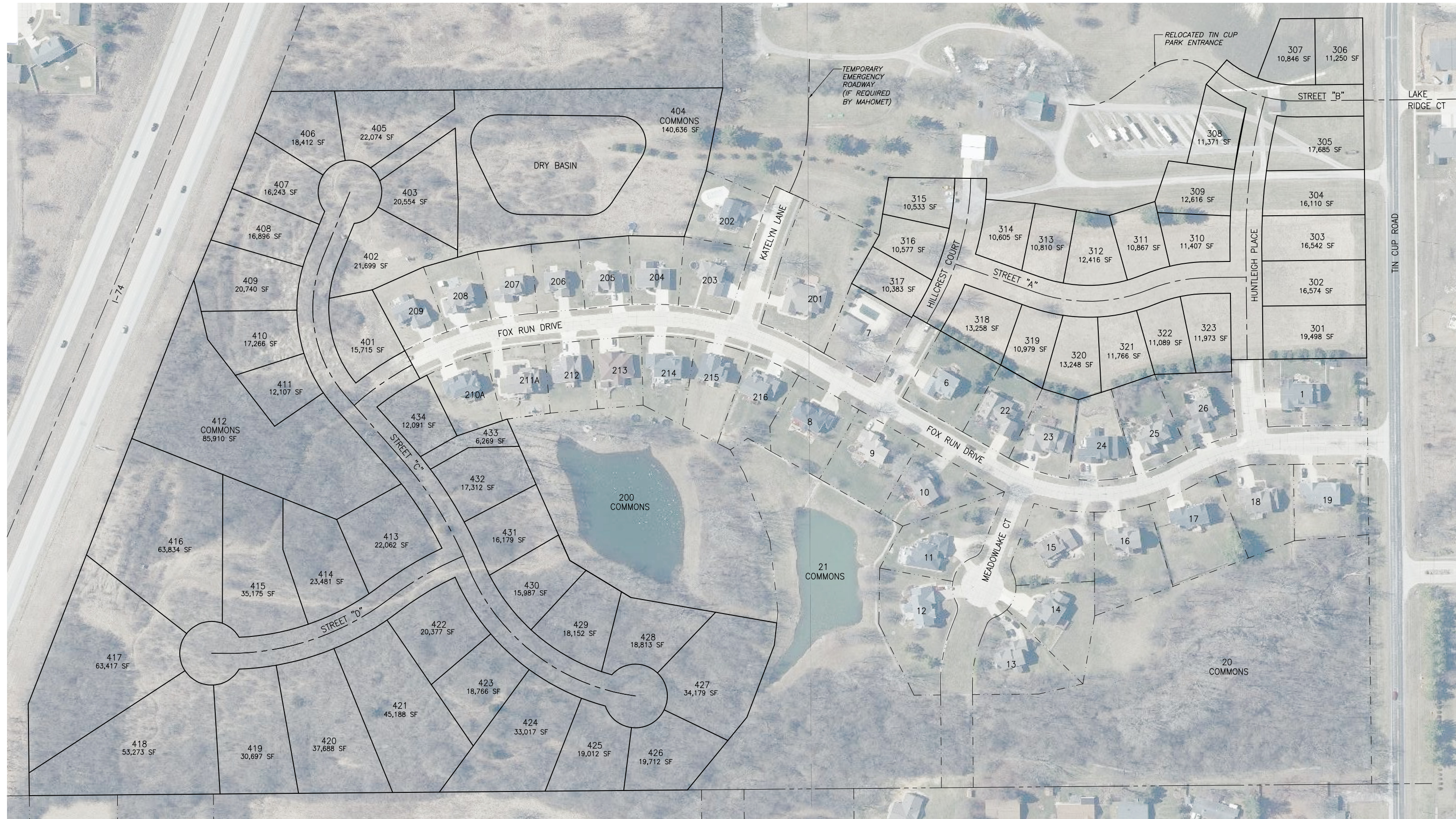
MAHOMET, ILLINOIS

PREPARED BY:

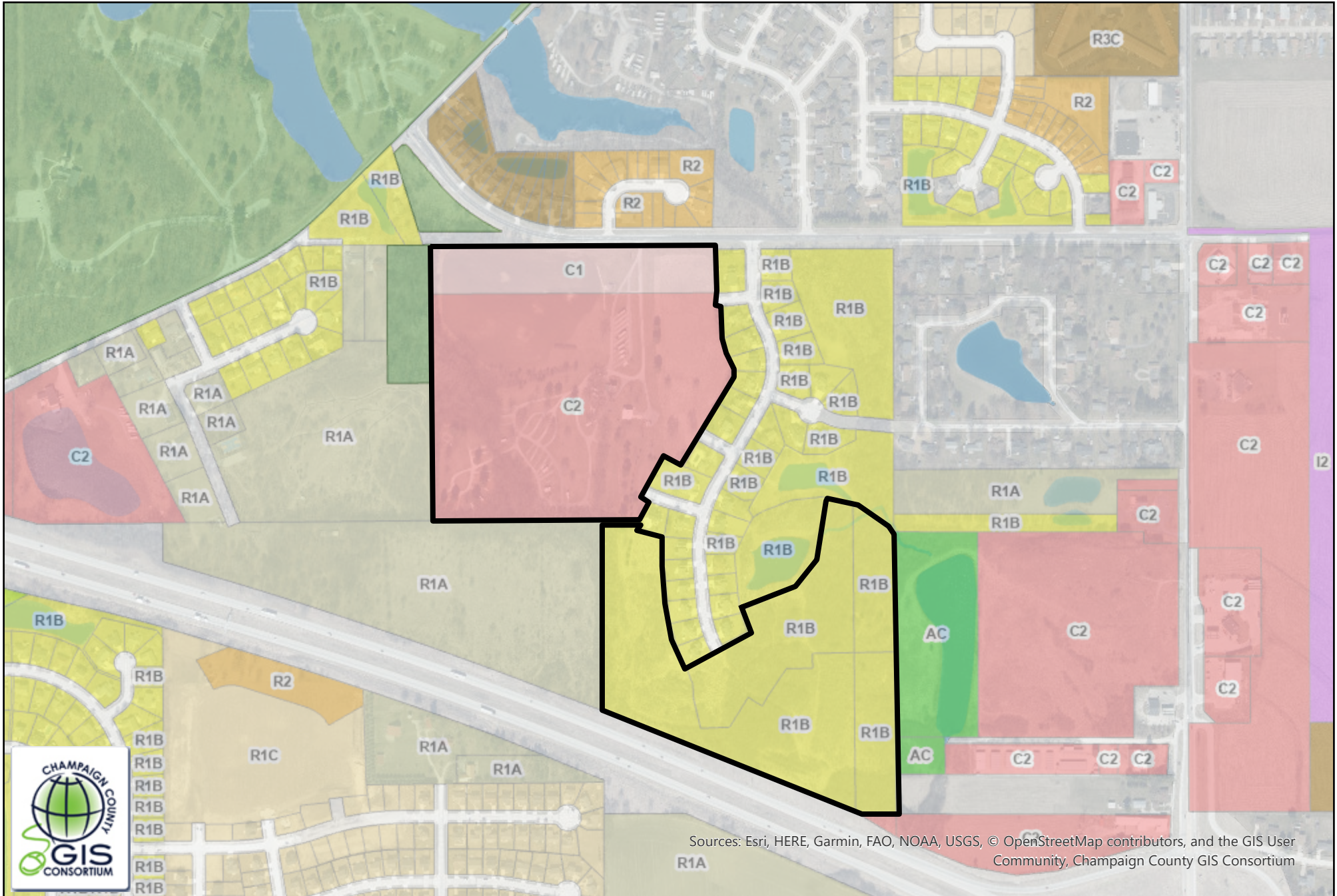


ENGINEERING

301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211



Area of Interest - Tin Cup / Fox Run



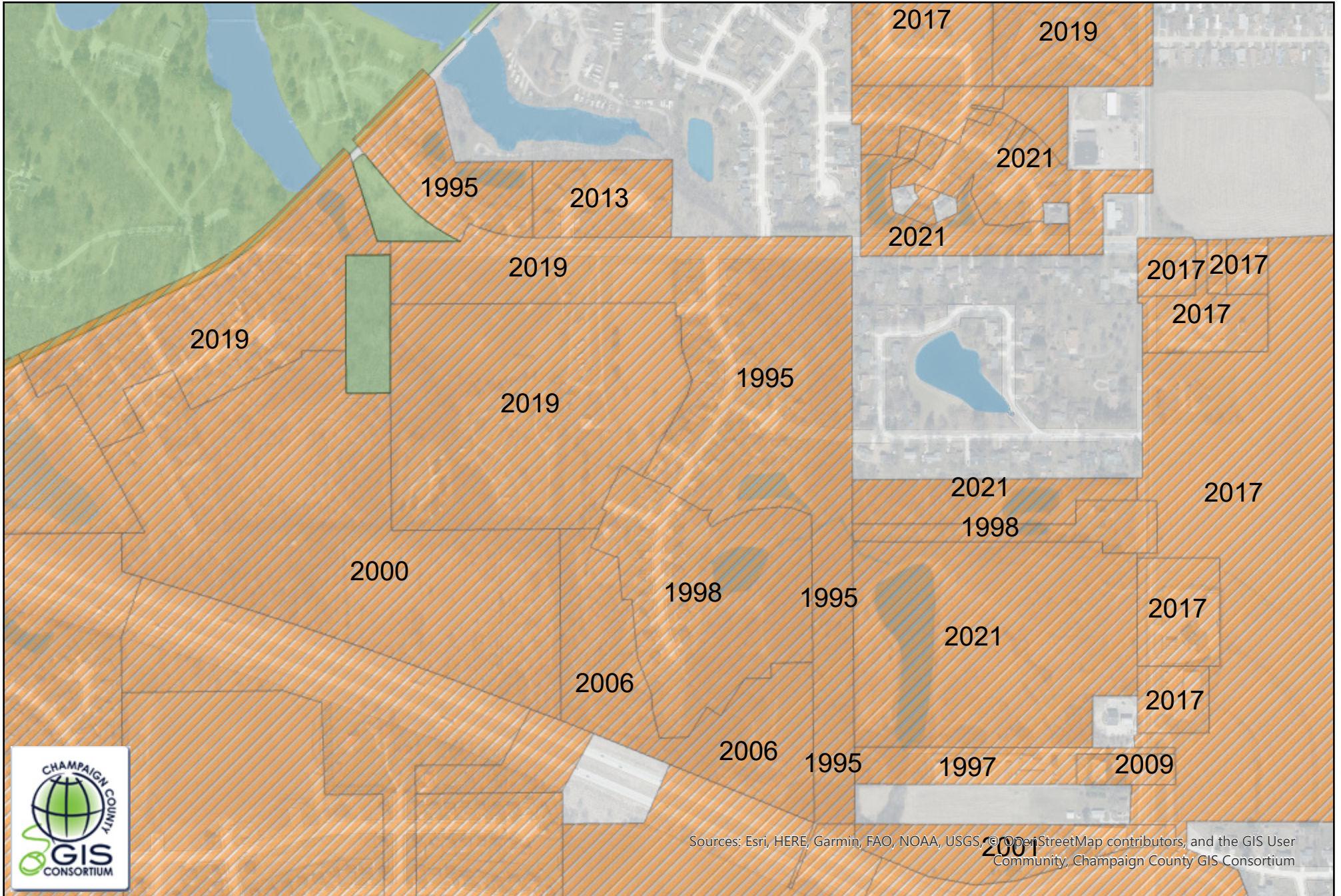
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Annexations



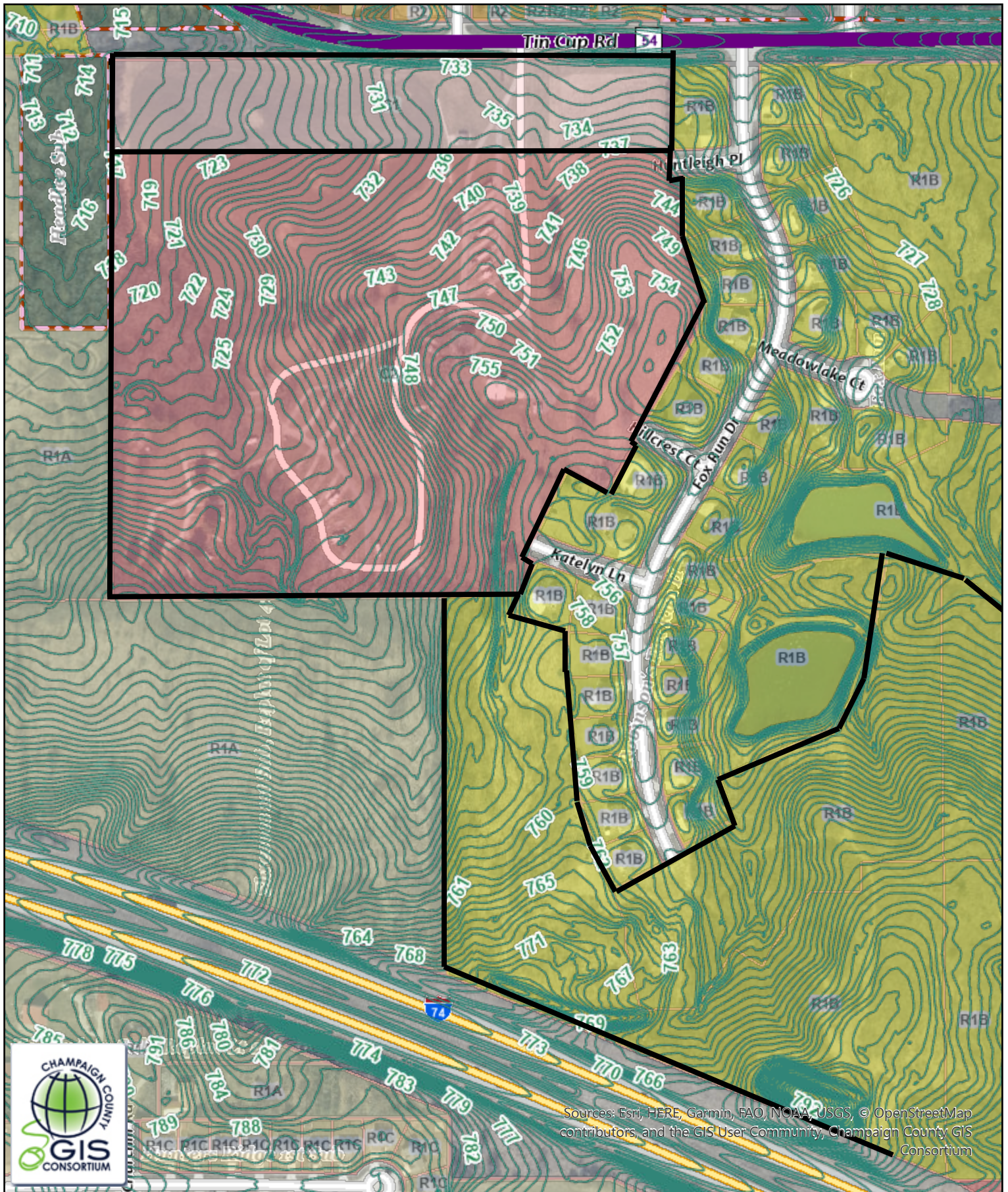
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McNew Prelim Discussion Area of Interest



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