



**Plan and Zoning Commission**  
**6:00 p.m. Tuesday May 5, 2026**  
**Village of Mahomet - Administrative Office**

**AGENDA**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. PUBLIC COMMENT:** The Commission welcomes your input on any matter not on the agenda during the public comment portion of the meeting. If you wish to participate in the public comment portion of the meeting, you must attend in person at the Village Administration Building, sign the attendance/oath sheet, and state your legal name for the public record. Public comment is accepted for a maximum of 30 minutes at each meeting. There is a five (5) minute time limit for your remarks. The Chairperson reserves the right to shorten the five-minute limit for any reason to progress through the agenda, or if there are several individuals wishing to speak. Please be aware that the Public Body is not required to respond to your remarks during their meeting.

**4. MINUTES:**        December 2, 2025 (to be provided at meeting)  
                              March 3, 2026 (to be provided at meeting)

**5. PUBLIC HEARING(s)**

LSRD2026-01: TIN CUP VILLAGE LLC

A RESOLUTION CONCERNING ESTABLISHMENT OF A LARGE-SCALE RESIDENTIAL DEVELOPMENT ON 7± ACRES OF LAND LOCATED ON THE SOUTH SIDE OF TIN CUP ROAD APPROXIMATELY 1,300 FEET EAST OF THE TIN CUP ROAD AND LAKE OF THE WOODS ROAD INTERSECTION, ADJACENT TO TIN CUP CAMPGROUND

**6. RESOLUTION(S) and MOTION(S) (TO BE ACTED UPON):**

LSRD2026-01: TIN CUP VILLAGE LLC

A RESOLUTION CONCERNING ESTABLISHMENT OF A LARGE-SCALE RESIDENTIAL DEVELOPMENT ON 7± ACRES OF LAND LOCATED ON THE SOUTH SIDE OF TIN CUP ROAD APPROXIMATELY 1,300 FEET EAST OF THE TIN CUP ROAD AND LAKE OF THE WOODS ROAD INTERSECTION, ADJACENT TO TIN CUP CAMPGROUND

**7. COMMISSIONER / STAFF COMMENTS:**

NEXT PZC MEETING – Tuesday June 2, 2026

**8. ADJOURN**



**Plan and Zoning Commission  
Staff Report  
Meeting May 5, 2026**

**FROM:** Abby Heckman, Village Planner  
**PROJECT:** LSRD2026-01: TIN CUP VILLAGE  
**PETITIONER:** TIN CUP VILLAGE LLC  
**ENGINEER:** BKB ENGINEERING  
**RE:** LARGE SCALE RESIDENTIAL DEVELOPMENT

**PUBLIC HEARING:** The Plan and Zoning Commission (PZC) may hold one or more public hearings upon request for approval of a Large Scale Residential Development (LSRD). A public hearing is not required for LSRD requests, though as a courtesy, a public hearing is scheduled for May 5, 2026 at 6:00pm. Public hearings can be closed or continued to another meeting without any action on the case. Public notice was published in the News-Gazette on April 18, 2026. The PZC acts in an advisory role to the Board of Trustees (BOT) regarding LSRD requests. The PZC is asked to make a recommendation to the BOT concerning LSRD requests. The BOT will approve or deny the proposed LSRD.

**REQUESTED ACTION:** PUBLIC HEARING - LARGE SCALE RESIDENTIAL DEVELOPMENT  
RECOMMENDATION TO BOT - LARGE SCALE RESIDENTIAL DEVELOPMENT

The property owner is seeking an LSRD designation for the subject property to establish a senior housing development with no more than 28 dwelling units. With the exception of public sidewalk along Tin Cup Road, there is no Village public infrastructure proposed with this project and there is no additional subdivision expected with the request as presented.

**PROCEDURAL ISSUES:** The Developer requests consideration of the proposed LSRD in accordance with the Village Zoning Ordinance. A draft resolution is attached for consideration by the PZC. The PZC may recommend conditions regarding the layout, circulation and performance of the proposed LSRD.

**SITE DESCRIPTION / LOCATION:** The site is located approximately 1,300 feet east of the Tin Cup Road and Lake of the Wood Road intersection. The site is directly east of the Tin Cup Campground and west of Fox Run Subdivision. The subject development consists of 7± acres.

**CONFORMANCE WITH COMPREHENSIVE PLAN:** The Village of Mahomet Comprehensive Plan currently designates this site as part of the Northeast Mahomet functional framework area and the land use plan shows Single-Family Residential uses and park open space uses in this area. The Comprehensive Plan includes policies that urge compact, orderly, and contiguous development in areas where public facilities and infrastructure can be extended to serve the site. The Comprehensive Plan encourages development of a range of housing products of different types and promotes the development of senior housing to expand housing options that allow Mahomet residents to age in place. The Comprehensive Plan promotes infill development and completion of previously platted subdivisions with development that reflects the scale and character of surrounding neighborhoods. This LSRD request is consistent with the

recommendations in the Comprehensive Plan. Language copied below from Comprehensive Plan, Goals and Objectives, Residential Development (page 30):

1. Encourage development of a range of housing products of different types and tenures, in accordance with the Land Use Plan.
2. Promote the development of senior housing to expand housing options and encourage Mahomet residents to age in place.
3. Promote the development of senior housing to expand housing options and encourage Mahomet residents to age in place.
4. Promote infill development, redevelopment, and the completion of previously platted subdivisions over new greenfield development and outward expansion.
5. Promote and enable through zoning and subdivision regulations context-sensitive infill development that reflects the scale and character of surrounding neighborhoods.
6. Protect residential areas from encroachment by incompatible land uses and the adverse impacts of adjacent non-residential activities through implementation of the Land Use Plan and the strict enforcement of buffering, landscaping, screening, and lighting requirements of adjacent non-residential properties.
7. Promote the development of senior housing to expand housing options and encourage Mahomet residents to age in place.
8. Protect residential areas from encroachment by incompatible land uses and the adverse impacts of adjacent non-residential activities through implementation of the Land Use Plan and the strict enforcement of buffering, landscaping, screening, and lighting requirements of adjacent non-residential properties.

**CURRENT LAND USE AND ZONING:**



| <u>Direction</u> | <u>Land Use</u>                                                                    | <u>Current Zoning</u>                                     |
|------------------|------------------------------------------------------------------------------------|-----------------------------------------------------------|
| On-Site          | Undeveloped                                                                        | R-1B and R-1C Single- Family Residential                  |
| North            | Two-Family Residential - Lake Ridge Subdivision                                    | R-2 Two-Family Residential                                |
| South            | Commercial - Tin Cup Campground<br>Single-Family Residential – Fox Run Subdivision | C-2 General Commercial<br>R-1B Single- Family Residential |
| East             | Single-Family Residential – Fox Run Subdivision                                    | R-1B Single- Family Residential                           |
| West             | Commercial - Tin Cup Campground                                                    | C-1 Neighborhood Commercial and<br>C-2 General Commercial |

**CONFORMANCE WITH ZONING ORDINANCE:** The lands included in this LSRD request are currently zoned R-1B and R-1C Single-Family Residential. LSRDs are a permitted use within the existing zoning districts. The proposed senior housing development appears to be compliant with the LSRD requirements set forth in the zoning ordinance (ZO 152.045). Current zoning and LSRD requirements would allow 28 dwelling units on the site. The LSRD regulations allow for a mix of single, two and multiple family dwellings. The developer would like the ability to construct 28 units. No rezoning is required to meet LSRD requirements. See calculations below.

- Gross development R-1B zoning area = 3.987± AC  
R-1C zoning area = 3.366± AC
- Net development area = R-1B area – 173,673.72 SF – (20%) 34,734.744 SF = 138,938.976 SF  
R-1C area – 146,622.96 SF – (20%) 29,324.592 SF
- Total allowed dwelling units = 28 units  
R1B - 138,938.976 SF / 10,000 SF minimum per family in R-1B = 13.8938976 dwelling units  
R1C - 117,298.368 SF / 8,000 SF minimum per family in R-1C = 14.662296 dwelling units
- Proposed dwelling units = 28 units

**POLICE / FIRE PROTECTION:** The Village of Mahomet Police Department currently provides police protection to this site and is approximately 1.9 miles from the police station. This property is within the Cornbelt Fire Protection District and is approximately 2.2 miles from the Main Street fire station.

**PUBLIC WATER AND SANITARY SEWER FACILITIES:** Public sanitary sewer and water services in this area are provided by Sangamon Valley Public Water District. A preliminary plat for a multi lot subdivision was approved (now expired) for this site in Aug 2022. Water and sanitary sewer expansion was addressed with the documentation presented for the preliminary plat and at the time SVPWD approved the preliminary plat at its July 18, 2022 meeting indicating its intent to serve the land. The developer will be responsible for coordinating with SVPWD for necessary approval to move forward with development.

**AVAILABILITY OF PUBLIC UTILITIES:** This site is in the general vicinity of standard public utilities. Extension of public utilities to serve the subdivision is feasible.

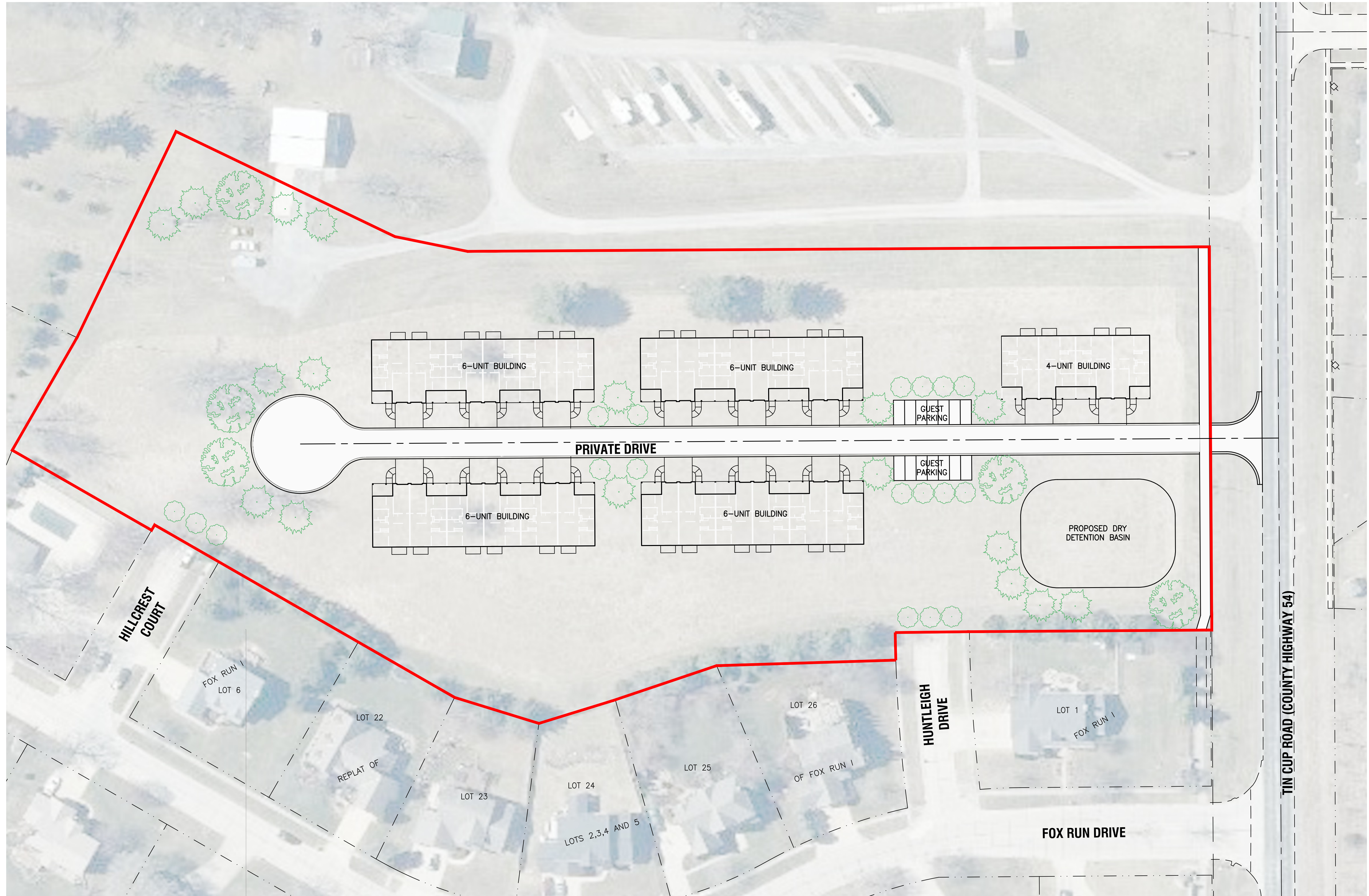
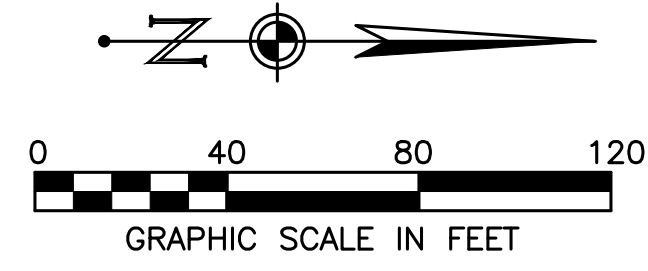
**STORMWATER MANAGEMENT:** A basin for stormwater is shown at the northeast corner of the property along Tin Cup Road. Compliance with Village stormwater requirements will be required. Stormwater review will occur with submission of engineered site development plans. Site development plat reviews are reviewed and approved by Village Staff.

**STREET ACCESS / SIDEWALKS:** Installation of public sidewalks are required along the frontage of Tin Cup Road as part of development of the site. A private entrance for this development is proposed from Tin Cup Road. Public roadway connections for adjacent stub streets within Fox Run Subdivision (Huntleigh Drive and Hillcrest Court) are not included in this LSRD request. The developer would like to isolate the development to mitigate concerns expressed from Fox Run residents during previous rezoning/subdivision meetings. The Huntleigh Drive and Hillcrest Court roadway connections were part of an area general plan from the late 1990s that showed residential development extending into the land where the Tin Cup Campground exists. The Campground owner intends to keep and maintain the campground but there is always a chance that a conversion could happen in the future. The Katelyn Lane stub street (that is not adjacent to this development) meets the minimum requirement of providing roadway connections to adjacent lands every quarter (¼) mile or 1320 feet. The distance from Tin Cup Road to Katelyn Lane on Fox Run Drive is approximately 1300 feet therefore still within the minimum requirements for stubbing to adjacent lands. Staff has added a condition that would require an off-site dedication of right-of-way that would allow the undeveloped portion of Fox Run Subdivision to provide a circulation connection with Katelyn Lane. The land identified for right-of-way dedication is located on the campground property and is generally shown below. The developer is responsible for obtaining an entrance permit from Champaign County as Tin Cup Road is not under Village jurisdiction.

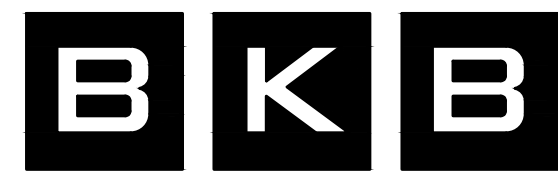
**STAFF RECOMMENDATION:** Staff recommends the Large-Scale Residential Development be forwarded to the BOT with a recommendation for approval subject to conditions to ensure the development is built as presented. Staff suggested conditions are shown on the attached draft resolution. The PZC can direct staff to make changes to suggested conditions as appropriate.

#### **ATTACHMENTS**

1. Exhibit A – Tin Cup Village Senior Living Concept - dated April 30, 2026
2. Exhibit B – Right-of-way dedication for Fox Run circulation
3. Fox Run AGP (expired) from 1995
4. Draft Resolution



| REVISIONS |      |             |
|-----------|------|-------------|
| NO.       | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |



**B K B**  
ENGINEERING  
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820  
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

SENIOR LIVING CONCEPT

LOT 102 OF TIN CUP EAST FIRST SUBDIVISION  
MAHOMET, ILLINOIS

PROJECT: 224-2201

DESIGN BY: BKB

DRAWN BY: BKB

DATE: 4/30/26

SHEET:

1

# Future Right-of-Way dedication

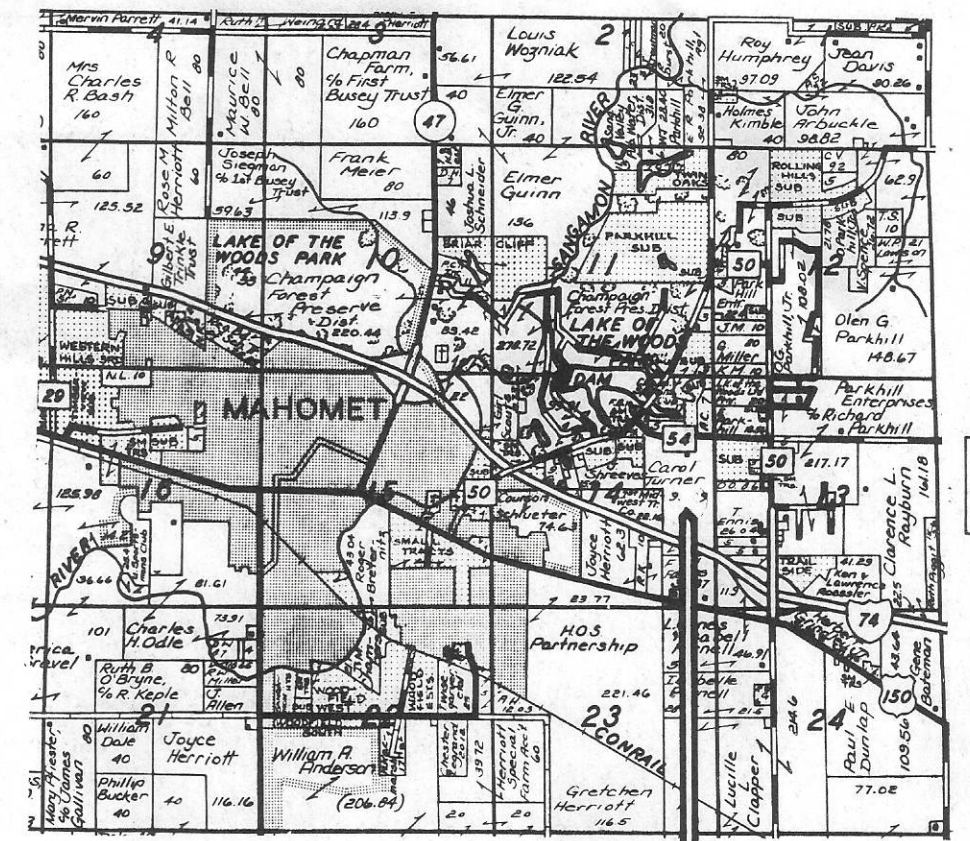
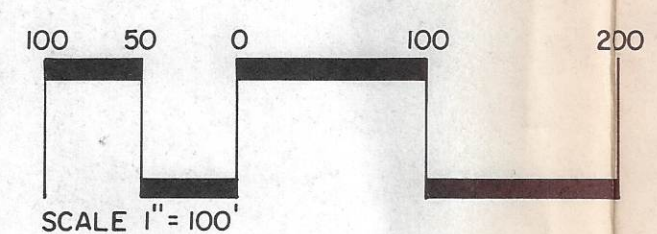
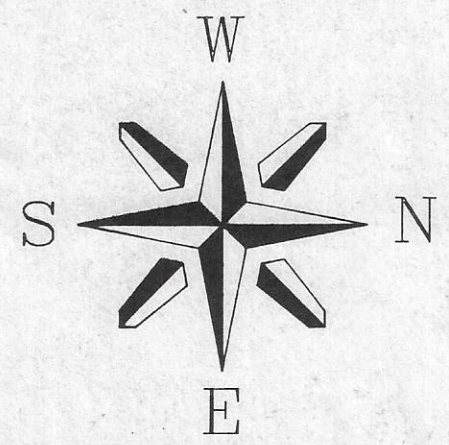


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# PRELIMINARY PLAT OF FOX RUN

AN ADDITION TO THE VILLAGE OF MAHOMET, ILLINOIS, BEING PART OF SECTION 14, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS

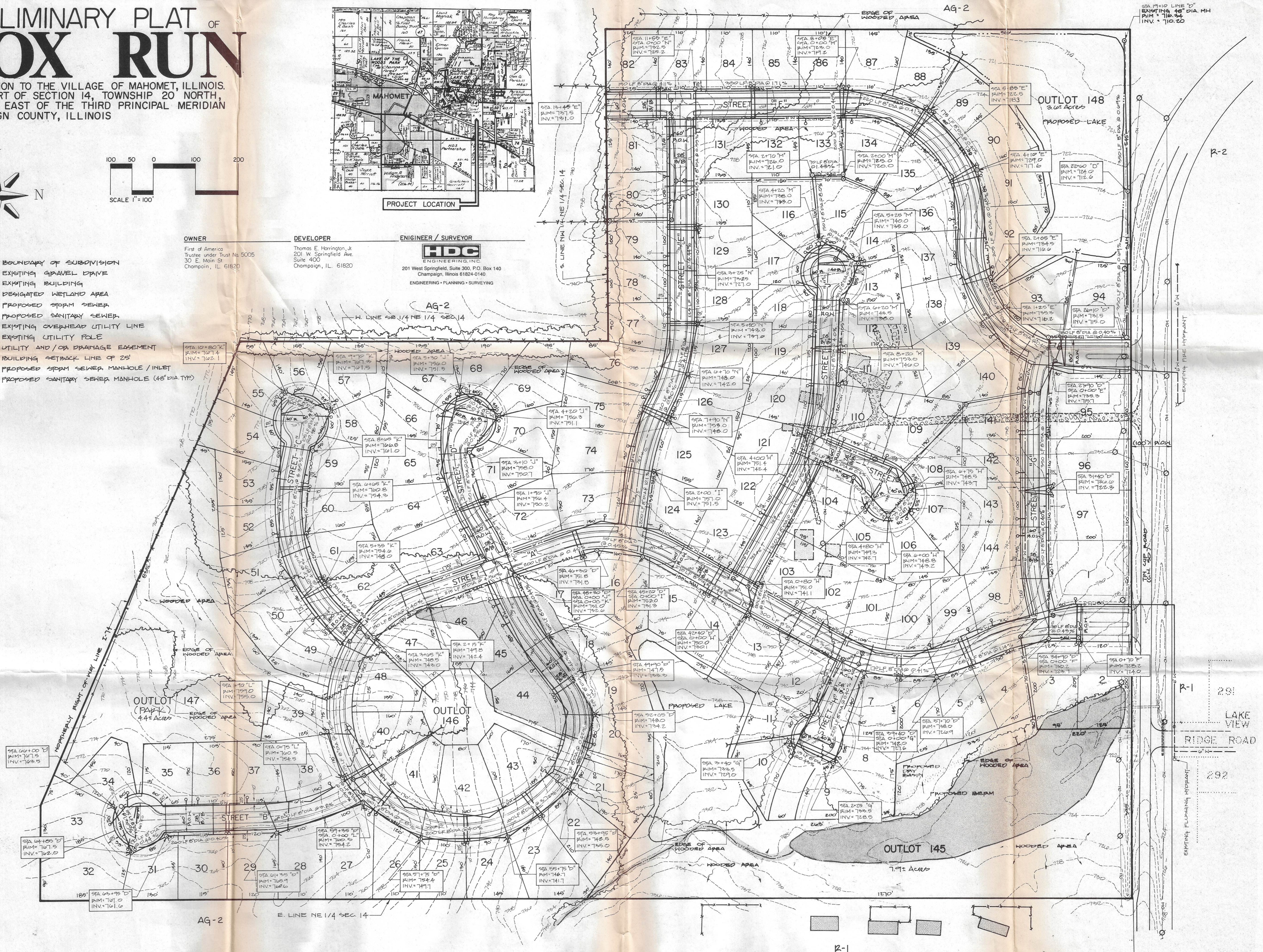


- BOUNDARY OF SUBDIVISION
- EXISTING GRAVEL DRIVE
- EXISTING BUILDING
- DESIGNATED WETLAND AREA
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- EXISTING OVERHEAD UTILITY LINE
- EXISTING UTILITY POLE
- UTILITY AND/OR DRAINAGE EASEMENT
- BUILDING SETBACK LINE OF 25'
- PROPOSED STORM SEWER MANHOLE / INLET
- PROPOSED SANITARY SEWER MANHOLE (48" DIA. TYP.)

**OWNER**  
First of America  
Trustee under Trust No. 5005  
30 E. Main St.  
Champaign, IL 61820

**DEVELOPER**  
Thomas E. Harrington, Jr.  
201 W. Springfield Ave.  
Suite 400  
Champaign, IL 61820

**ENGINEER / SURVEYOR**  
**HDC**  
ENGINEERING, INC.  
201 West Springfield, Suite 300, P.O. Box 140  
Champaign, Illinois 61824-0140  
ENGINEERING • PLANNING • SURVEYING



**HDC**  
ENGINEERING, INC.  
HUNTINGTON DEVELOPMENT CORPORATION, ALTECH CONSULTANTS  
201 West Springfield, Suite 300, P.O. Box 140, Champaign, Illinois 61824-0140  
217-552-6878 FAX 217-552-5513

## FOX RUN MAHOMET, ILLINOIS PRELIMINARY PLAT

|             |         |    |         |
|-------------|---------|----|---------|
| PROJECT NO. | 914.111 |    |         |
| DATE        | 2-17-95 |    |         |
| DRAWN BY    | CREATED |    |         |
| REVISIONS   |         |    |         |
| NO.         | DATE    | BY | REMARKS |
|             |         |    |         |

RECEIVED FEB 24 1995

**RESOLUTION FOR PLAN AND ZONING COMMISSION -  
A RESOLUTION CONCERNING A DEVELOPMENT PLAN FOR A LARGE SCALE RESIDENTIAL DEVELOPMENT  
TIN CUP VILLAGE LSRD**

**WHEREAS**, the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures for review and approval of Large Scale Residential Developments within the Corporate Limits of the Village of Mahomet, Illinois; and,

**WHEREAS**, Tin Cup Village LLC as property owner of land described herein has requested that approval be granted under the terms of the Village of Mahomet Zoning Ordinance to allow the establishment of **Tin Cup Village LSRD**; a Large Scale Residential Development on land located on the south side of Tin Cup Road approximately 1,300 feet east of the Tin Cup Road and Lake of the Wood Road intersection; and

**WHEREAS**, the property is described legally as follows:

BEGINNING AT THE NORTHEAST CORNER OF LOT 102 OF TIN CUP SUBDIVISION PER PLAT RECORDED AS DOCUMENT NUMBER 2022R19946 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°22'57" EAST ALONG THE EASTERLY LINE OF SAID LOT 102 FOR A DISTANCE OF 194.99 FEET; THENCE SOUTH 0°40'20" EAST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 60.00 FEET; THENCE CONTINUING ALONG SAID EASTERLY LINE OF LOT 102, ALONG A NON-TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 1230.00 FEET, A CHORD LENGTH OF 22.31 FEET, A CHORD BEARING OF NORTH 88°45'04" EAST FOR AN ARC LENGTH OF 22.31 FEET; THENCE SOUTH 1°46'06" EAST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 145.00 FEET; THENCE SOUTH 18°36'26" EAST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 88.84 FEET; THENCE SOUTH 17°07'08" EAST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 62.36 FEET; THENCE SOUTH 17°07'53" WEST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 71.32 FEET; THENCE SOUTH 29°54'30" WEST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 279.89 FEET; THENCE SOUTH 60°07'00" EAST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 5.00 FEET; THENCE SOUTH 29°54'07" WEST CONTINUING ALONG SAID EASTERLY LINE OF LOT 102 FOR A DISTANCE OF 130.01 FEET TO THE SOUTHEAST CORNER OF SAID LOT 102 OF TIN CUP SUBDIVISION; THENCE NORTH 60°04'32" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 102 FOR A DISTANCE OF 105.05 FEET; THENCE NORTH 64°19'53" WEST CONTINUING ALONG SAID SOUTHERLY LINE OF LOT 102 FOR A DISTANCE OF 30.00 FEET; THENCE NORTH 25°40'07" EAST FOR A DISTANCE OF 167.75 FEET; THENCE ALONG A TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 400.00 FEET, A CHORD LENGTH OF 180.07 FEET, A CHORD BEARING OF NORTH 12°39'38" EAST FOR AN ARC LENGTH OF 181.63 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 577.00 FEET TO THE NORTH LINE OF SAID LOT 102; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 55.00 FEET TO THE CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°38'29" EAST ALONG SAID CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 138.04 FEET; THENCE NORTH 0°21'31" WEST FOR A DISTANCE OF 45.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°38'29" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 16.91 FEET; THENCE SOUTH 0°22'57" EAST FOR A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 3.987 ACRES, MORE OR LESS. AND

BEGINNING AT THE NORTHWEST CORNER OF LOT 102 OF TIN CUP SUBDIVISION PER PLAT RECORDED AS DOCUMENT NUMBER 2022R19946 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 55.00 FEET TO THE CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°38'29" EAST ALONG SAID CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 155.00 FEET; THENCE SOUTH 0°20'50" EAST FOR A DISTANCE OF 55.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE SOUTH 0°20'50" EAST FOR A DISTANCE OF 577.00 FEET; THENCE ALONG A TANGENTIAL CURVE TO THE RIGHT, HAVING A RADIUS OF 400.00 FEET, A CHORD LENGTH OF 180.07 FEET, A CHORD BEARING OF SOUTH 12°39'38" WEST FOR AN ARC LENGTH OF 181.63 FEET; THENCE SOUTH 25°40'07" WEST FOR A DISTANCE OF 167.75 FEET TO THE SOUTHERLY LINE OF SAID LOT 102; THENCE NORTH 64°19'53" WEST CONTINUING ALONG SAID SOUTHERLY LINE OF SAID LOT 102 FOR A DISTANCE OF 155.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 102; THENCE NORTH 25°40'07" EAST ALONG THE WESTERLY LINE OF SAID LOT 102 FOR A DISTANCE OF 196.23 FEET; THENCE NORTH 11°32'00" EAST CONTINUING ALONG SAID WESTERLY LINE OF LOT 102 FOR A DISTANCE OF 59.90 FEET; THENCE NORTH 0°20'50" WEST CONTINUING ALONG SAID WESTERLY LINE OF LOT 102 FOR A DISTANCE OF 600.22 FEET TO THE POINT OF BEGINNING, CONTAINING 3.366 ACRES, MORE OR LESS.

**WHEREAS**, the developer of the proposed **Tin Cup Village LSRD**, a Large Scale Residential Development has submitted certain documents, including a Development Plan, for review and approval by the Village of Mahomet; and,

**WHEREAS**, the Village Engineer and Village Planner reviewed the various documents submitted and made recommendations concerning approval of said Development Plan subject to certain conditions; and,

**WHEREAS**, a Public Hearing concerning the requested Large Scale Residential Development was held on May 5, 2026, and comment from the public was solicited; and,

**WHEREAS**, the Plan and Zoning Commission has met and reviewed the Development Plan and has found that it is, with minor modifications, generally satisfactory and in the prescribed form; and,

**BE IT THEREFORE RESOLVED** this 5<sup>th</sup> day of May, 2026, by the Plan and Zoning Commission of the Village of Mahomet, that:

- A. The Plan and Zoning Commission does hereby recommend that the Village of Mahomet Board of Trustees **APPROVE / NOT APPROVE** the establishment of a Large Scale Residential Development to be known as **Tin Cup Village LSRD**.
- B. The Plan and Zoning Commission does hereby recommend that the Village of Mahomet Board of Trustees **APPROVE / NOT APPROVE** the Development Plan (Exhibit A - Senior Living Concept – 1 page dated April 30, 2026) for the **Tin Cup Village LSRD** upon completion of minor modifications identified by the Village staff and does hereby authorize the Chairman to sign the Certificate of Approval of said Plan upon completion of said minor modifications.

- C. The Plan and Zoning Commission does further recommend the following actions concerning the **Tin Cup Village LSRD**:
1. Site development must be substantially compliant with the attached Senior Living Concept Plan dated 04/30/2026 (Site Plan - exhibit A).
  2. The owner must provide an ingress-egress easement in southwest corner of the property to accommodate campground access to existing maintenance building. The plantings in that area shall be moved to screen the established access easement area from the senior living development. Easement must be prepared by owner for review and approval by Village staff. The approved easement must be recorded prior to the start of site construction.
  3. Maximum of 28 residential dwelling units can be established on the site. The placement and size of units must be substantially compliant with what is shown on Exhibit A.
  4. All exterior lighting fixtures must be Dark Sky Certified or an equivalent and must be fully-shielded.
  5. The existing tree line (see exhibit A) along the east property line must be maintained by the property owner where the tree is located and any tree that is dead, damaged or removed on the development property must be replaced with an equivalent tree type and must be a minimum of 2 inch caliper in size at the time of planting. Replacement must happen within 6 months of removal.
  6. A privately maintained drive is shown, and no on-street parking of vehicles is permitted. Guest parking must be provided. The owner must enforce the parking restrictions with the residents of the development. The owner is responsible for maintaining the private drive to a safe standard.
  7. A landscaping plan must be submitted with the site development plan review and must substantially comply with the number and location of new plantings shown. The approved landscaping plan must be maintained by the owner and any plantings that are dead or damaged must be replaced within 6 months.
  8. No roadway/drive connections to Huntleigh Drive or Hillcrest Court are required with this development. See Exhibit A for site layout and connections.
  9. To preserve future roadway circulation for the undeveloped portion of Fox Run Subdivision the owner of the development site must dedicate right-of-way for a future connection to Katelyn Lane through the adjacent campground property. A 60ft wide right-of-way slightly west and directly south of the current end of Katelyn Lane must be dedicated prior to the start of site construction. An alternative option would be the owner of the campground property must record a commitment that runs with the campground property that stated the owner will dedicate the right-of-way within 3 months of a request from the Village of Mahomet to dedicate the right-of-way for the roadway connection. The owner is not responsible for building the infrastructure within the dedication unless they are connecting to or accessing from the dedicated right-of-way. Whoever needs the roadway connection for circulation of the undeveloped portion of Fox Run Subdivision will be responsible for construction of required public infrastructure. See Exhibit B – Future Right-of-Way Dedication.
  10. This is a senior living development and therefore those people residing on the property must be aged 55 or older. The owner must enforce the age restriction.
  11. No private / individual exterior accessory buildings or structures shall be permitted with exception of a rear deck or patio of no more than 150 SF that is attached to the main structure.

12. Trash containers must be kept inside of garages or if kept outside must be screened from view by either plantings or fence enclosure.
13. Buildings are limited to 1 story and maximum ground coverage of each unit shall be substantially compliant with what is shown on Exhibit A.
14. A site development plan review is required Final Plat(s) covering the site shall be prepared, reviewed, approved, and recorded, consistent with the standards and procedures of the Subdivision Ordinance.
15. Submission of all supporting documentation in proper form.
16. Compliance with the Building Permit requirements of the Village.
17. In the event that site construction has not started within 3 years of the date of approval by the Village Board of Trustees the approval shall be null and void.
18. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- D. Approval of the Development Plan shall be further granted with the understanding that future minor modifications to the Development Plan shall be allowable, so long as those changes comply with applicable Village Ordinance requirements, do not change the use and character of the site, do not change the intent of the Development Plan, and are reviewed and approved by Village Staff.
- E. In the event that any minor modifications to the Development Plan are not completed and all supporting documents are not submitted in final form within 60 days from the date of approval by the Board of Trustees, the approvals recommended herein shall be null and void.
- F. The approval recommended above shall be subject to the fulfillment of the conditions set forth in Item D above. In the event that these conditions are not fulfilled, the Development Plan may become void.

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Chair, Plan and Zoning Commission  
Village of Mahomet