



# Village of Mahomet

503 E. Main Street • P.O. Box 259 • Mahomet, Illinois 61853-0259

Phone: (217) 586-4456 • Fax: (217) 586-5696

[www.mahomet-il.gov](http://www.mahomet-il.gov) [www.ChooseMahomet.com](http://www.ChooseMahomet.com)

**STUDY SESSION**

**AUGUST 16, 2022**

**6:00 P.M.**

**VILLAGE OF MAHOMET ADMINISTRATION BUILDING**

**503 E. MAIN STREET**

**MAHOMET, IL 61853**

**Join Zoom Meeting**

<https://us02web.zoom.us/j/86781282383?pwd=ZG5BNHhmaDRNek5yOTg1WWw4TEI5UT09>

**We invite the public to view the meeting (viewing only, no public comment via Zoom) as it is livestreamed on Zoom at 6:00PM**

## **AGENDA**

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. PUBLIC COMMENT:** The Board welcomes your input on any matter during the public forum portion of the meeting. If you would like to participate in the public comment portion of the meeting, please attend in person at Village Administration Building or email your comments or questions to us at [villageofmahomet@mahomet-il.gov](mailto:villageofmahomet@mahomet-il.gov), no later than 4:30 p.m. on August 16th. Any comments and questions received will be read during the public comment portion of the meeting. Public comment is accepted for a maximum of 30 minutes at each meeting. There is a five (5) minute time limit for your remarks. The Board reserves the right to shorten the five-minute time limit if there are many commenters. Please be aware that the Public Body is not required to respond to your remarks during their meeting. **PUBLIC COMMENT NOT PERMITTED VIA VIDEO OR AUDIO.**
- 5. ORDINANCES, RESOLUTIONS AND OTHER ACTIONS:**
  - A. COMMUNITY DEVELOPMENT**
    - 1. A RESOLUTION CONCERNING A CONDITIONAL USE PERMIT TO ALLOW AN INDOOR / OUTDOOR SELF-STORAGE FACILITY WITH SUPPLEMENTAL ACCESSORY COMMERCIAL USES ON 0.97± ACRES OF LAND ZONED C-2 GENERAL COMMERCIAL LOCATED ON THE SOUTH SIDE OF CLARK STREET AT THE INTERSECTION WITH PRAIRIEVIEW ROAD, COMMONLY KNOWN AS 809 S PRAIRIEVIEW ROAD, FORMERLY THE HIDEAWAY RESTAURANT.**
    - 2. AN ORDINANCE CONCERNING A REZONING FOR 7.35± ACRES OF LAND FROM C-1 NEIGHBORHOOD COMMERCIAL AND C-2 GENERAL COMMERCIAL DISTRICTS TO R-1B SINGLE-FAMILY RESIDENTIAL AND R-1C SINGLE-FAMILY RESIDENTIAL DISTRICTS LOCATED ON THE SOUTH SIDE OF TIN CUP ROAD APPROXIMATELY 1,300 FEET EAST OF THE TIN CUP ROAD AND LAKE OF THE WOODS ROAD INTERSECTION, COMMONLY KNOWN AS 1715 TIN CUP ROAD.**

3. A RESOLUTION CONCERNING A PRELIMINARY PLAT ON 6.94± ACRES OF LAND LOCATED ON THE SOUTH SIDE OF TIN CUP ROAD APPROXIMATELY 1,300 FEET EAST OF THE TIN CUP ROAD AND LAKE OF THE WOODS ROAD INTERSECTION, COMMONLY KNOWN AS 1715 TIN CUP ROAD.

**B. FINANCE**

1. BILL LIST

**C. ADMINISTRATION**

1. A RESOLUTION NAMING CERTAIN PROPERTY OWNED BY THE VILLAGE AND DESIGNATING THIS OPEN SPACE A PARK.

**6. ADMINISTRATOR'S REPORT:**

**A. DEPARTMENTAL REPORTS**

1. PARKS AND REC
2. TRANSPORTATION
3. POLICE
4. ENGINEERING
5. COMMUNITY DEVELOPMENT
6. WATER/WASTEWATER

**7. MAYOR'S REPORT:**

**A. AUGUST 2022 BOARD MEETING CALENDAR**

1. BOARD OF TRUSTEES MEETING-AUGUST 23, 2022 – 6:00 P.M.

- 8. NEW BUSINESS:** (Discussion of any items that the Trustees may have for new business not listed on the agenda. No formal action will be taken on these items during this proceeding)

**9. ADJOURNMENT**



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Conditional Use Permit – Kimball – Hideaway Storage 809 S Prairieview / 2013 Clark Street - CU2022-03</b>	<b>DEPARTMENT: Community Development</b>
<b>AGENDA SECTION: Community Development</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> (X) Property Aerial / Zoning Map (X) Plan – Borchers Subdivision (1997) (X) Plan – Borchers Replat Subdivision (2002-2003) (X) Plan – Kimball Subdivision (presented to PZC Dec 2021) (X) Resolution	<b>DATE:</b> <b>for Study Session August 16, 2022</b>

**INTRODUCTION / SITE LOCATION:** The Board is asked to consider a conditional use permit to allow indoor self-storage, outdoor self-storage, and supplemental accessory commercial uses. The site is located on the west side of Prairieview Road between Clark St and the westbound ramp of I-74 and is made up of two (2) existing buildable lots totaling 0.97± acres of land zoned C-2 General Commercial District.

**CONDITIONAL USE REQUEST DETAILS:** The proposed indoor self-storage, outdoor self-storage, and supplemental accessory commercial uses require a conditional use permit in the C-2 zoning district (152.031(B)(12) and (13)). The land area includes two (2) lots known as Borchers Subdivision lot 1 and Borchers Subdivision Replat lot 101. Borchers Subdivision lot 1 contains the existing commercial building and associated parking. Borchers Subdivision Replat lot 101 contains an existing parking lot (western three (3) rows of parking) which formerly supported overflow parking for the commercial use on Borchers Subdivision lot 1.

Three (3) vehicular access approaches exist to this site from Clark Street. An unnamed interstate frontage road exists along the east side of the site. The site has no direct access to the unnamed frontage road or Prairieview Road. The petitioner intends to utilize the existing entrances on Clark Street. Recently, concrete was poured along the southern façade of the building to connect the western and eastern parking lots. A neighbor complaint made staff aware of the changes to the concrete and site circulation. The petitioner desires truck unloading at the southern façade to remove the need to back up trucks into the parking lot. No site construction plans have been submitted or reviewed by staff related to pavement changes.

The site is fully developed with concrete parking lots and a commercial building that was once used as a restaurant. The existing building has been gutted including the kitchen. New partial walls have been installed in anticipation of the use. Currently, the rear parking lot has large vehicles, RVs and boats parked. No building permit has been submitted or reviewed by staff related to the interior changes to the building.

**PRIOR BOARD ACTION:** None.

**COMMUNITY INPUT:** Public Hearing was held and closed by the PZC on August 2, 2022. The residential neighbor directly south of the site appeared and provided testimony to the PZC. Concerns expressed were related to trespassing of clients of the storage facility onto the neighboring property to south and installation of privacy fencing along the shared property line. The PZC resolution reflects conditions that address the voiced concerns.

**BUDGET IMPACT:** None.

**STAFF IMPACT:** If approved, Staff would process associated building permits and oversee site improvements for compliance with Village ordinance requirements and any additional conditions placed on the property by this process.

**PERMIT CONDITIONS:** Village staff recommended to the PZC conditions be imposed on the requested conditional use permit. The PZC adopted their resolution with the conditions as follows:

1. Storage must be limited to the inside of the existing building and exterior storage limited to licensed/registered vehicles or licensed/registered towable vehicles located on the west lot land area (Borchers Subdivision Replat lot 101).
2. No storage of semi-truck or trailers over 47 feet long.
3. No water/electric connections permitted to any stored RV units.
4. Rear/west parking lot (Borchers Subdivision Replat lot 101) must be fully publicly accessible from Clark Street with no entry gates or barriers to assure Clark street remains unencumbered by stalled, entering and exiting traffic unless the fence system is configured so there is an on-site holding lane of at least 60 feet from the right of way line. Any fencing/gate installation must obtain a building permit prior to installation.
5. Building must have appropriate ADA access and routing from parking lots. Plans must be sealed by an architect and/or engineer and submitted for review with the building permit application for the interior building changes.
6. The outside of the facility cannot be painted with false storage doors. Exterior walls and trim work will remain in neutral and earthy colors. Each wall/facade must be one color and trim the same or a second color. The four facades do not need to be the same.
7. Wall signs must comply with Village ordinances, but no signage is permitted on the southern side of the building facing the existing residentially used property.
8. The existing freestanding, ground mounted sign structure must be removed/moved from the site visibility triangle.
9. One freestanding sign is permitted along the east side frontage provided it complies with the standard freestanding sign requirements and no interstate-oriented sign is permitted. No structure other than a support post is permitted within the visibility triangle.
10. Lighting must be fully shielded or dark sky compliant and comply with any other related Village ordinances.
11. One way arrows must be painted on the southern access route with a supplemental "one way" or "do not enter" sign. A site circulation plan must be submitted for review and approval by Village staff. Parking lot marking and signage must be installed prior to a building Occupancy permit being issued for the interior fit out.
12. A privacy fence of at least six (6) feet in height must be installed along the southern property line of lot 1 of Borchers Subdivision from the southeast corner of the front/east parking lot to the southwest corner of the

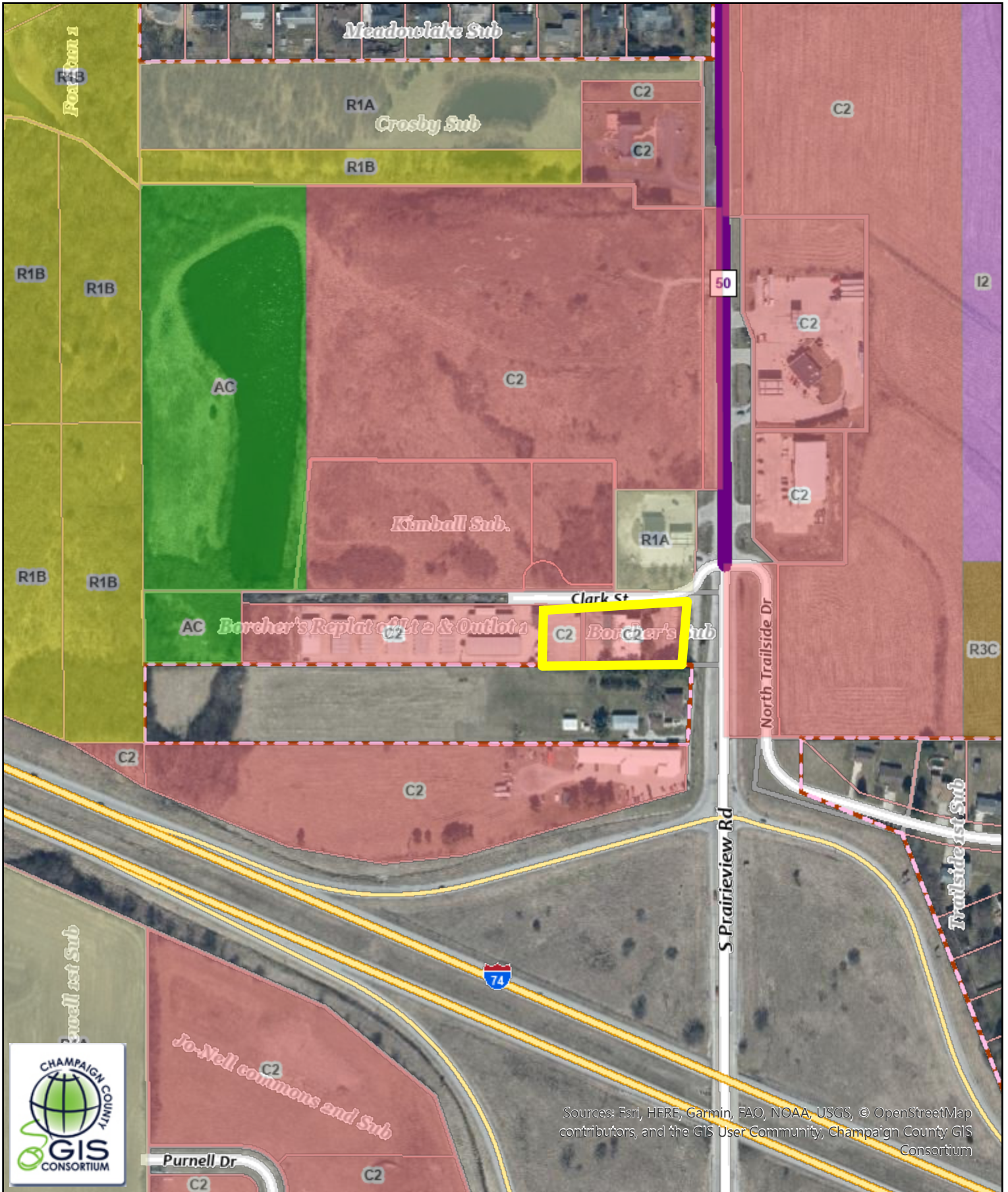
property, a distance of approximately 307 feet. A building permit must be obtained prior to installation of fencing. The fence must be maintained as long as the property to the south remains in residential use.

- 13. All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
- 14. The site must comply with all applicable provisions of the Zoning Ordinance.

**RECOMMENDATION:** The PZC voted unanimously to pass a resolution to recommend approval of the conditional use permit request with certain conditions. A resolution is attached which reflects the PZC findings of fact and conditions.

<b>DEPARTMENT HEAD APPROVAL:</b> <i>/s/ Kelly Pfeifer, Village Planner</i>	<b>VILLAGE ADMINISTRATOR:</b> <i>/s/ Patrick Brown</i>
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# CU2022-03 Hideaway Storage



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium

This map application was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this application is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this application and information contained herein. The use of this application constitutes acknowledgement of this disclaimer.



GENERAL NOTES FOR SEEDING & MULCHING

- This work shall consist of furnishing all labor, material, equipment, tools, and supervision for soil and sediment control as shown on the plans and as specified in the notes. All work shall be done in accordance with the Illinois Environmental Protection Agency Standards and Specifications for Soil Erosion and Sediment Control, 1987 Edition, as amended in the plans and general notes.
- All excavation, fine grading, embankment work, seeding, necessary watering and mulching shall be a part of this work and shall be considered in the unit price of seeding.
- Mulching of disturbed areas, lots, and detention areas shall be punched and anchored into the top 2 inches of soil whenever slopes are flatter than 3:1. Straw shall be applied at the rate of 1 1/2 to 2 tons per acre or 80 pounds per 1,000 S.F. and relatively free from all kinds of weeds.
- Mulch nettings or an approved method by the Engineer shall be used at any time the ground is sloped 3:1 or more. All nettings shall be biodegradable paper, plastic or cotton netting over the mulch according to the manufacturer's specifications.
- At any time the Contractor desires alternate methods of mulching and seeding, it must be submitted to and approved by the Engineer. No extra compensation shall be allowed for alternative method.
- Seeding mixtures and application rates shall be as follows:

Type	Mixture
A. Permanent seeding (R.O.W.s & Detention basins)	Perennial Rye (Manhattan, Pennline) (70 lbs./Ac.) Bluegrass (100 lbs./Ac.)
B. Temporary (open disturbed lot areas)	Perennial Rye (40 lbs./Ac.) Spring oats (80 lbs./Ac.)

- The entire unpaved portion of the subdivision, or such portions as directed by the Engineer, shall be temporarily seeded to provide erosion control as soon as possible after completion of construction activities, no later than 60 days.
- Fertilizer shall be applied at the rate of 1000 lbs. per acre or equivalent. Soils which are highly acid should be limed. Apply fertilizer prior to seedbed preparation and disc into the soil to a depth of 3 inches.
- All manholes or inlets located in unpaved or paved areas shall be protected from siltation prior to paving by means of seeding the opening or placement of straw bales.

GENERAL NOTES FOR ALLEY AND SIDEWALK CONSTRUCTION

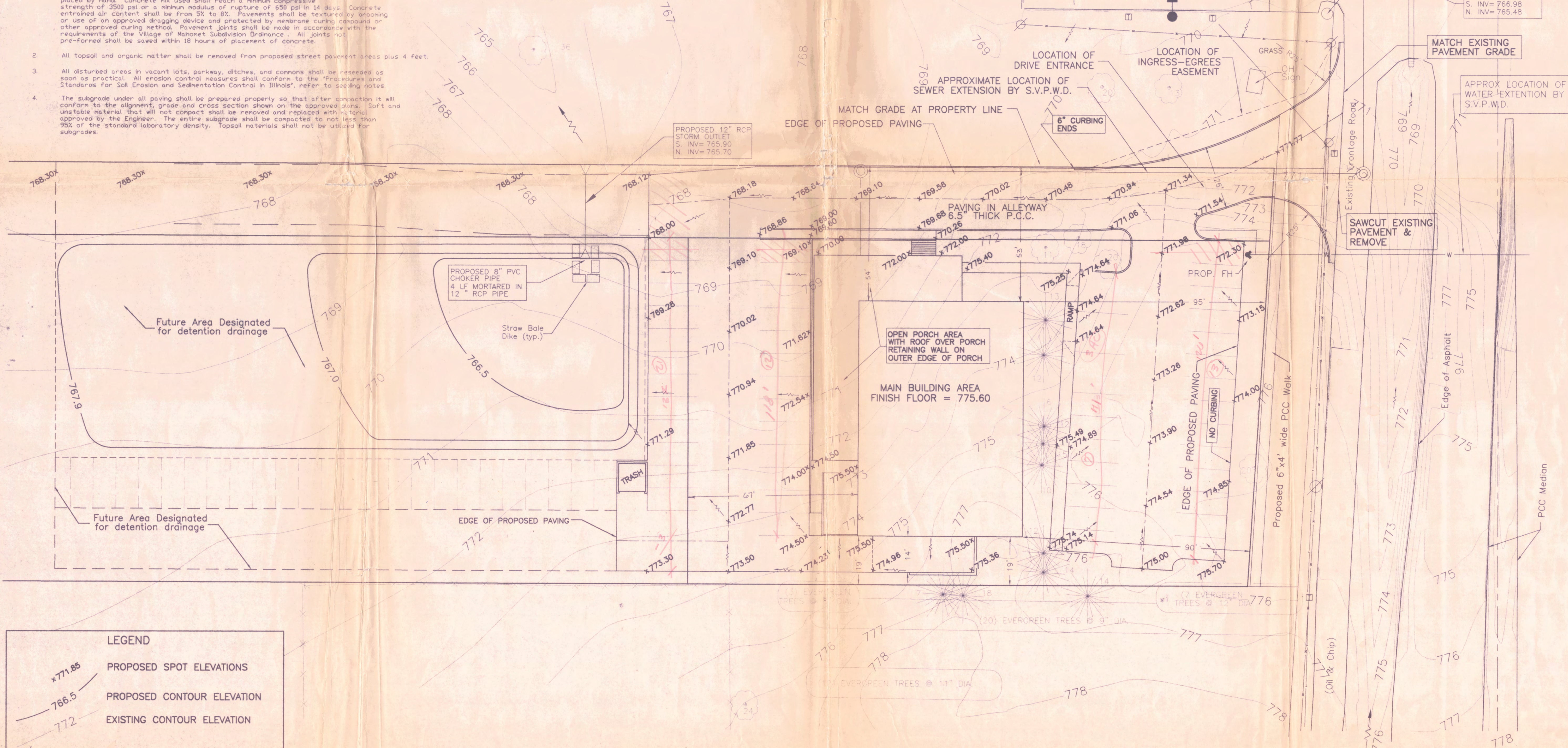
- All street and sidewalk construction shall be done in accordance with the 'Standard Specifications for Road and Bridge Construction' adopted July 1, 1994 by the Illinois Department of Transportation and the Village of Mahomet Subdivision Ordinance. With all non-reinforced PCC street pavement, concrete slump shall not exceed 3 inches for pavement placed by paving machines and shall not exceed 4 inches for small areas placed by hand. Concrete mix used shall reach a minimum compressive strength of 3500 psi or a minimum modulus of rupture of 650 psi in 14 days. Concrete entrained air content shall be from 5% to 8%. Pavements shall be textured by brooming or use of an approved dragging device and protected by membrane curing compound or other approved curing method. Pavement joints shall be made in accordance with the requirements of the Village of Mahomet Subdivision Ordinance. All joints not pre-formed shall be sawed within 18 hours of placement of concrete.
- All topsoil and organic matter shall be removed from proposed street pavement areas plus 4 feet.
- All disturbed areas in vacant lots, parkway, ditches, and commons shall be reseeded as soon as practical. All erosion control measures shall conform to the 'Procedures and Standards for Soil Erosion and Sedimentation Control in Illinois', refer to seeding notes.
- The subgrade under all paving shall be prepared properly so that after construction it will conform to the alignment, grade and cross section shown on the approved plans. Soft and unstable material that will not compact shall be removed and replaced with material approved by the Engineer. The entire subgrade shall be compacted to not less than 95% of the standard laboratory density. Topsoil materials shall not be utilized for subgrades.

GENERAL NOTES FOR STORM SEWER CONSTRUCTION

- All storm sewer construction shall be done in accordance with the current edition 'Standard Specifications for Road and Bridge Construction', as adopted July 1, 1994 by the Illinois Department of Transportation. The Standard Specifications for Water and Sewer Main Construction in Illinois, current edition, and the Village of Mahomet Subdivision Ordinance.
- Pipe materials shall comply with all applicable requirements of the Illinois Department of Transportation Standard Specifications for Road and Bridge Construction and all applicable AASHTO and ASTM requirements. Storm sewer pipe shall be joined and sealed with tightly drawn, approved connectors and joints with gaskets or mastic as needed, to provide a tightly sealed joint.
- Trench backfill in accordance with Sections 208 of the Standard Specifications shall be used in all trenches under areas to be paved and shall be compacted in 6' lifts with a pneumatic tamping machine immediately after installation by the storm sewer contractor. Payment for trench backfill shall be included in price of pipe quantity.
- All public storm sewer materials shall be reinforced concrete culvert pipe RCP Type I, class IV. All RCP pipe for storm sewers shall be in accordance with Section 550 of 'Standard Specifications for Road and Bridge Construction' unless otherwise specified.

GENERAL NOTES FOR SITE GRADING

- All construction work, methods, and materials, where applicable, shall conform to the State of Illinois 'Standard Specifications for Road and Bridge Construction' as adopted July 1, 1994, and all subsequent revisions thereto. Hereafter these Specifications shall be referred to as the 'Standard Specifications'.
- All elevations reference by National Geodetic Vertical Datum of 1929.
- Dispose of excess excavated material on site at the direction of the Engineer.
- All encountered and/or broken (crushed) field tile shall be reconstructed or rerouted at the direction of the Engineer and at no additional compensation.
- Limits of site earth grading shall be the subdivision boundaries and public right-of-way except as noted.
- All earth excavation work shall conform to Section 202 of the 'Standard Specifications' Earth quantities to be paid for as in original state (i.e., compacted condition).
- All stripped top soil shall be placed over disturbed or filled areas and graded (bladed) smooth. No earthen clods larger than 4' diameter shall be accepted (i.e., additional grading required).
- Erosion of newly graded earth shall be abated with seeding and/or the application of straw bales/silt fences where ever necessary and as shown on these plans when weather.
- All manholes or inlets located in paved areas shall be protected from siltation prior to paving by means of seeding the opening or the placement of straw bales.
- Call JULIE prior to starting any excavation work. (1-800-892-0123)



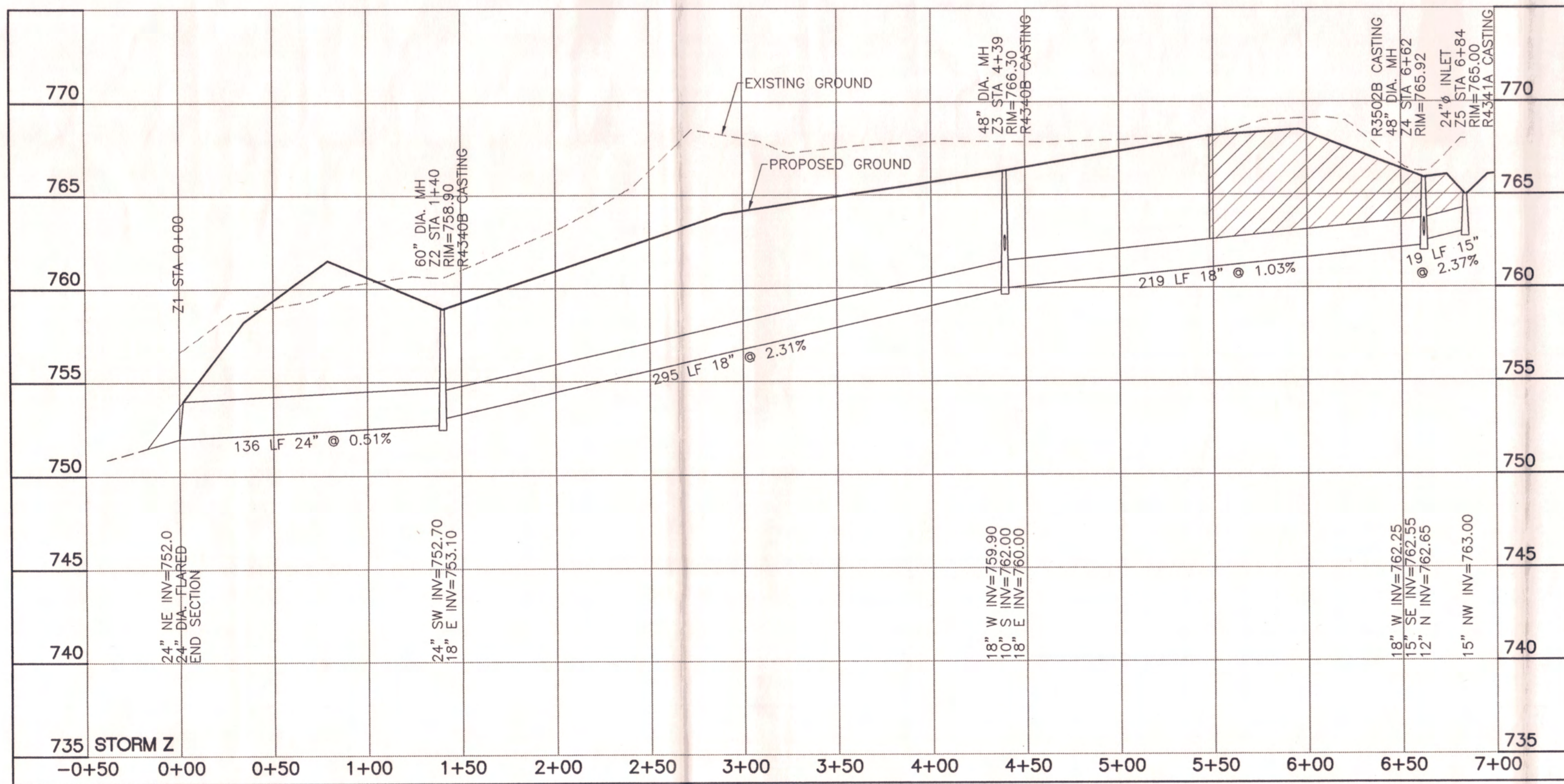
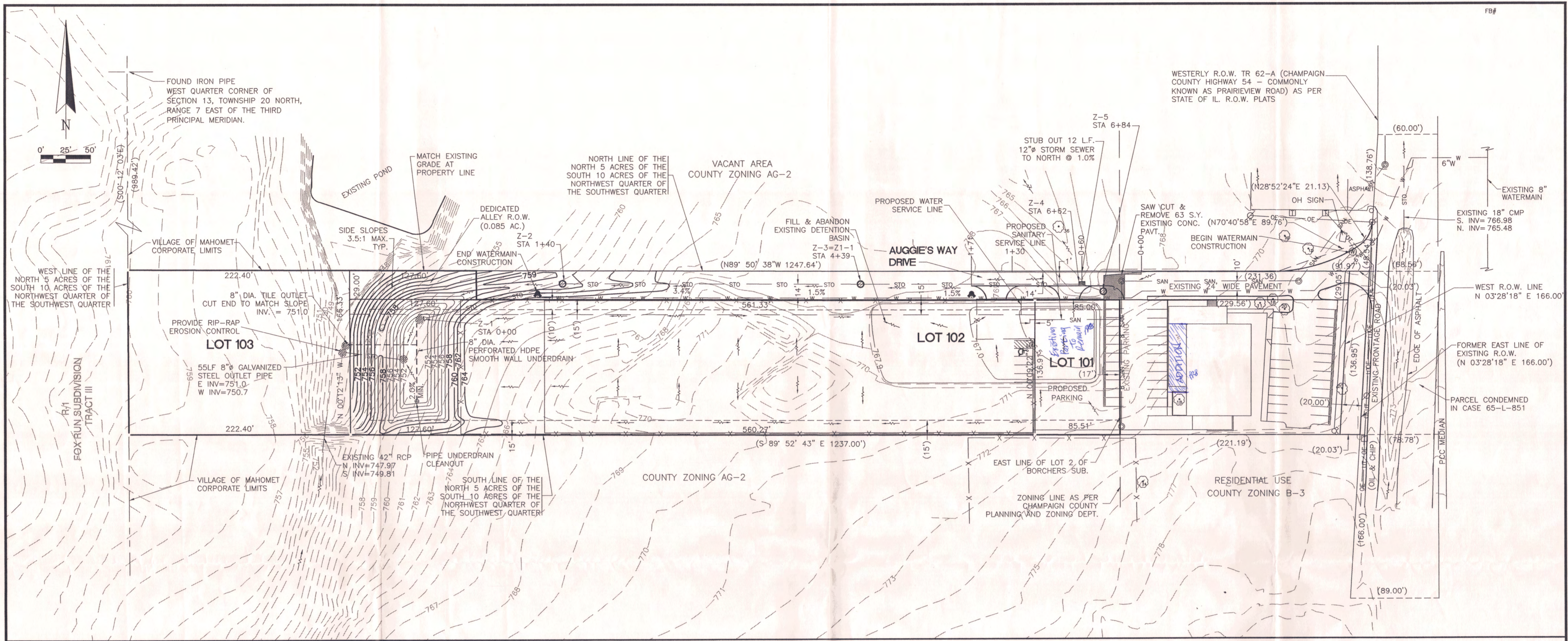
LEGEND

	PROPOSED SPOT ELEVATIONS
	PROPOSED CONTOUR ELEVATION
	EXISTING CONTOUR ELEVATION

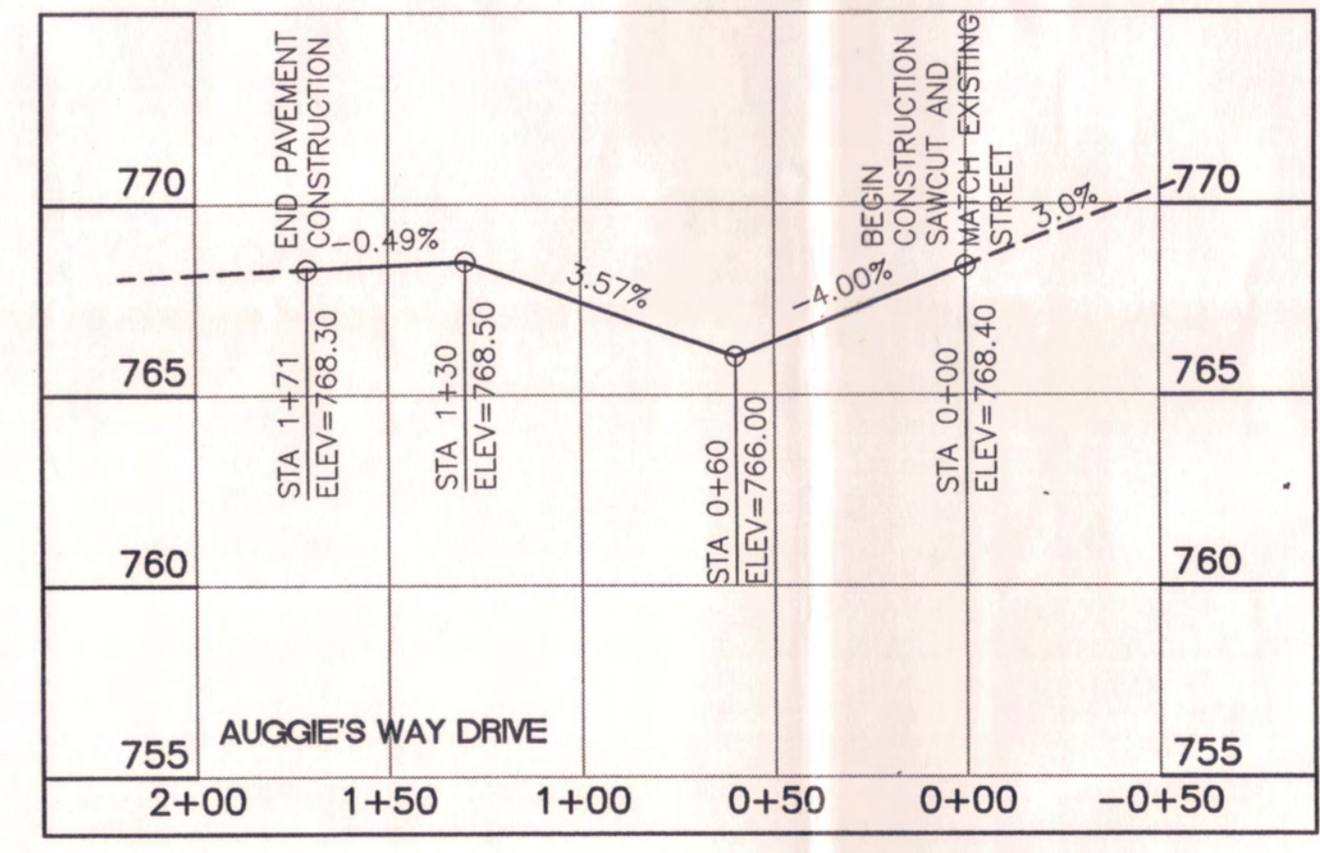
**HDO**  
ENGINEERING, INC.  
201 West Springfield, Suite 300, P.O. Box 140, Champaign, Illinois 61824-0140  
217-352-6976 / 217-352-6650 FAX / 217-352-4513

**PRELIMINARY/SUBSIDIARY DRAINAGE  
BORCHERS SUBDIVISION**

PROJECT NO.	96-286
DATE:	1/25/97
DRAWN BY:	MEI
CHECKED BY:	WES
REVISIONS:	
NO.	1
DATE:	1/30/97
BY:	MEI
REMARKS:	SPECS. DRIVE OPTIONS WALK PER BILLBOARD REVIEW



SCALE:  
HORIZ. 1"=50'  
VERT. 1"=5'



RECEIVED

OCT 3 2003

CHAMPAIGN CO. P & Z DEPARTMENT

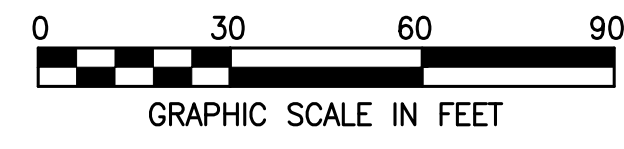
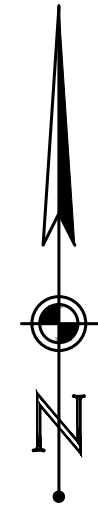
UTILITY PLAN  
AND STORM PROFILES  
BORCHERS REPLAT SUBDIVISION

PROJECT NO.	02065		
DATE	3/13/02		
DRAWN BY	ALP		
CHECKED	WES		
REVISIONS			
NO.	DATE	BY	REMARKS
1	7/11/02	ALP	VILLAGE REVIEW
2	7/11/02	ENC	VILLAGE REVIEW COMMENTS

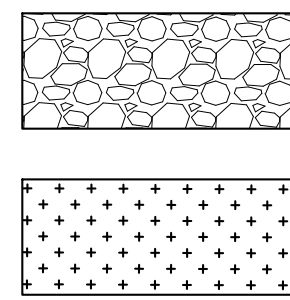
**HPC**  
ENGINEERING

Professional Engineering Corp. License No. 184-03223 Expires: 04/30/2003  
201 West Springfield, Suite 300, P.O. Box 140, Champaign, Illinois 61824-0140  
217-352-6976 217-352-0663 FAX 217-352-0570

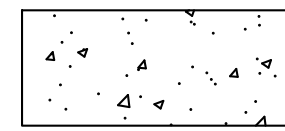
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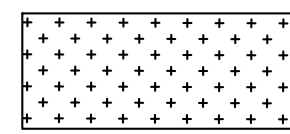
SHEET LEGEND



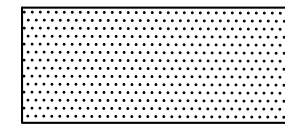
RECYCLED ASPHALT AGGREGATE SURFACE COURSE



CONCRETE PAVEMENT, 7" (PUBLIC)



CONCRETE PAVEMENT, 6" (DRIVEWAY)



CONCRETE SIDEWALK, 6"

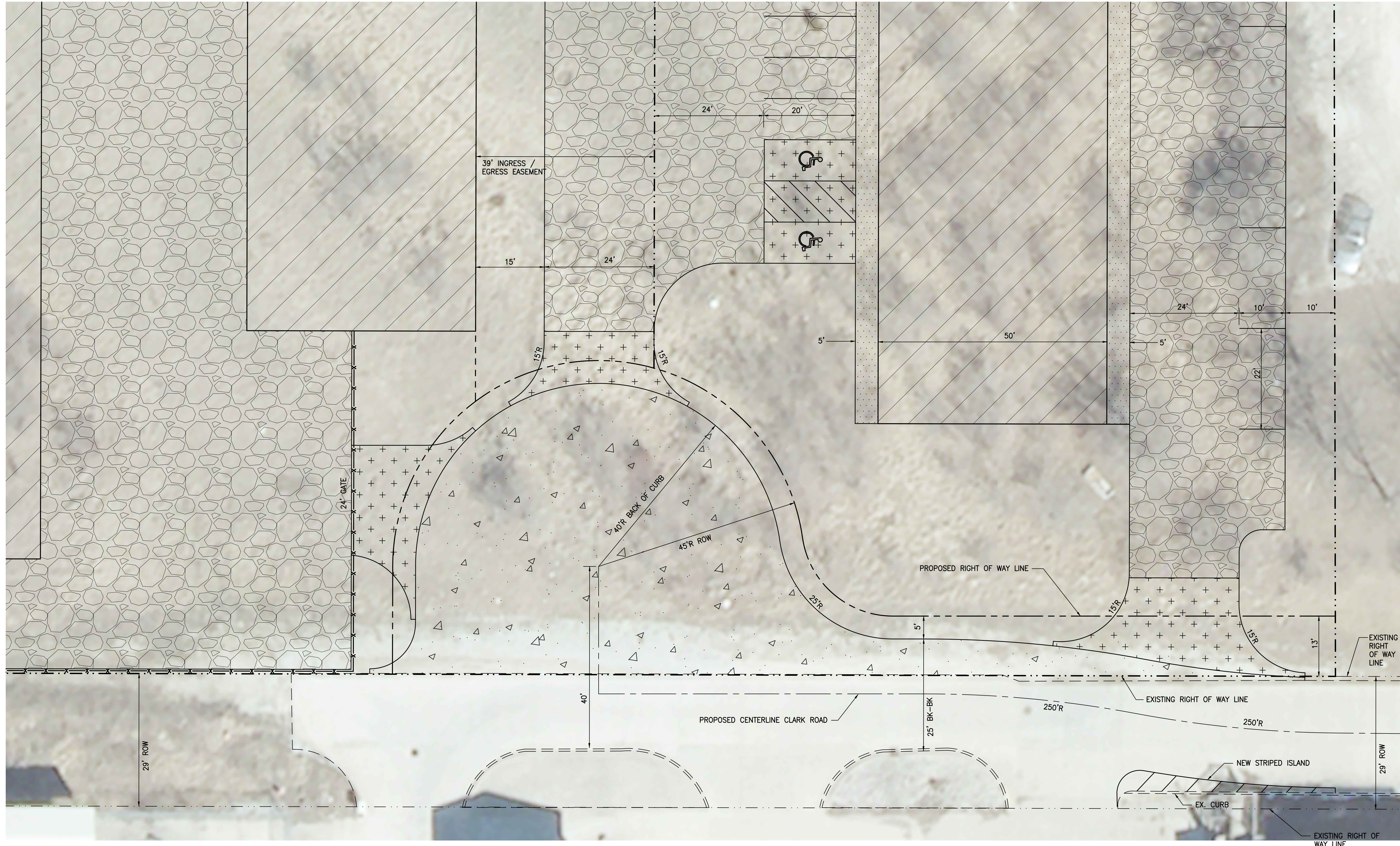
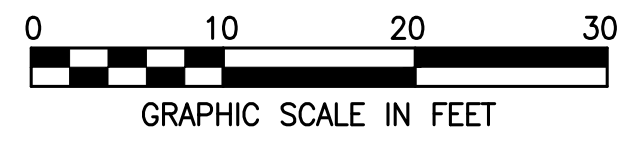
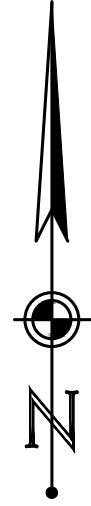


REVISIONS	
NO.	DESCRIPTION

**BKB**  
ENGINEERING  
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820  
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

PRELIMINARY PLAN  
KIMBALL DEVELOPMENT  
MAHOMET, ILLINOIS

PROJECT: 222-2101
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 10/19/21
SHEET: 1 OF 2



REVISIONS	
NO.	DESCRIPTION

**B K B**  
 ENGINEERING  
 301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820  
 CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

PRELIMINARY PLAN  
 KIMBALL DEVELOPMENT  
 MAHOMET, ILLINOIS

PROJECT: 222-2101  
 DESIGN BY: BKB  
 DRAWN BY: BKB  
 DATE: 10/19/21  
 SHEET:  
 2 OF 2



**A Resolution Concerning a Conditional Use Permit for indoor self-storage, outdoor self-storage, and supplemental accessory commercial uses in the C-2 General Commercial District located south of Clark Street, west of Prairieview Road, commonly known as 809 S Prairieview Road (future 2013 Clark Street)**

- WHEREAS,** the Board of Trustees of the Village of Mahomet, pursuant to authority conferred by the statutes of the State of Illinois, has established certain standards and procedures for zoning establishment and amendment within the Corporate Limits of the Village of Mahomet; and,
- WHEREAS,** the Petitioner, Adam and Jodi Kimball, requested a conditional use permit be granted under the terms of the Village Zoning Ordinance to allow for indoor self-storage, outdoor self-storage, and supplemental accessory commercial uses on land located within the C-2 General Commercial District; and,
- WHEREAS,** the subject project is located south of Clark Street, west of Prairieview Road and less than 300 feet from the I-74 westbound Prairieview Road exit ramp and the legal description for the proposed Conditional Use Permit is as follows:
- LOT 1 IN BORCHERS SUBDIVISION, AS PER PLAT RECORDED AS DOCUMENT NUMBER 98R16183, IN CHAMPAIGN COUNTY, ILLINOIS; AND,
- LOT 101 OF A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION, AS PER PLAT RECORDED AS DOCUMENT NUMBER 2002R23661, IN CHAMPAIGN COUNTY, ILLINOIS.
- WHEREAS,** the Village Planner, Village Administrator, Village Engineer, and Village Attorney have provided technical background information, review, and analysis regarding the requested conditional use amendment; and,
- WHEREAS,** a Public Hearing concerning the proposed Conditional Use Permit amendment was held on August 2, 2022 by the Plan and Zoning Commission to solicit evidence and testimony from the public; and,
- WHEREAS,** the Plan and Zoning Commission reviewed the evidence and testimony submitted, considered the factual evidence regarding the subject request, and adopted a resolution indicating a recommendation to grant the conditional use subject to certain conditions; and,
- WHEREAS,** the Board of Trustees reviewed the evidence and testimony submitted and considered the factual evidence regarding the subject request.

**BE IT THEREFORE RESOLVED** this 23<sup>rd</sup> day of August, 2022, by the Board of Trustees of the Village of Mahomet, that:

1. The Board of Trustees does hereby **GRANT** the requested Conditional Use Permit for establishment of indoor self-storage, outdoor self-storage, and supplemental accessory commercial uses at the above-described property.
2. The Board of Trustees does further hereby confirm that the conditional use be subject to the following conditions:
  - a. Storage must be limited to the inside of the existing building and exterior storage limited to licensed/registered vehicles or licensed/registered towable vehicles located on the west lot land area (Borchers Subdivision Replat lot 101).
  - b. No storage of semi-truck or trailers over 47 feet long.
  - c. No water/electric connections permitted to any stored RV units.
  - d. Rear/west parking lot (Borchers Subdivision Replat lot 101) must be fully publicly accessible from Clark Street with no entry gates or barriers to assure Clark street remains unencumbered by stalled, entering and exiting

traffic unless the fence system is configured so there is an on-site holding lane of at least 60 feet from the right of way line. Any fencing/gate installation must obtain a building permit prior to installation.

- e. Building must have appropriate ADA access and routing from parking lots. Plans must be sealed by an architect and/or engineer and submitted for review with the building permit application for the interior building changes.
  - f. The outside of the facility cannot be painted with false storage doors. Exterior walls and trim work will remain in neutral and earthy colors. Each wall/facade must be one color and trim the same or a second color. The four facades do not need to be the same.
  - g. Wall signs must comply with Village ordinances, but no signage is permitted on the southern side of the building facing the existing residentially used property.
  - h. The existing freestanding, ground mounted sign structure must be removed/moved from the site visibility triangle.
  - i. One freestanding sign is permitted along the east side frontage provided it complies with the standard freestanding sign requirements and no interstate-oriented sign is permitted. No structure other than a support post is permitted within the visibility triangle.
  - j. Lighting must be fully shielded or dark sky compliant and comply with any other related Village ordinances.
  - k. One way arrows must be painted on the southern access route with a supplemental “one way” or “do not enter” sign. A site circulation plan must be submitted for review and approval by Village staff. Parking lot marking and signage must be installed prior to a building Occupancy permit being issued for the interior fit out.
  - l. A privacy fence of at least six (6) feet in height must be installed along the southern property line of lot 1 of Borchers Subdivision from the southeast corner of the front/east parking lot to the southwest corner of the property, a distance of approximately 307 feet. A building permit must be obtained prior to installation of fencing. The fence must be maintained as long as the property to the south remains in residential use.
  - m. All activities must be carried out in accordance with the appropriate Village, State, and Federal permits and rules and regulations. Any conflicts between the permit applications and the Site Plan must be resolved with the appropriate agencies.
  - n. The site must comply with all applicable provisions of the Zoning Ordinance.
3. The Board of Trustees does hereby confirm the following findings of fact regarding the requested Conditional Use Permit amendment:
- a. The establishment, maintenance, or operation of the Conditional Use **WILL NOT** be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
  - b. The conditional use **WILL NOT** be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted nor substantially diminish and impair property values within the neighborhood;
  - c. The establishment of the conditional use **WILL NOT** impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

- d. Adequate utilities, access roads, drainage, and/or other necessary facilities **WILL** be provided;
  - e. The conditional use **DOES** in all other respects conform to the applicable regulations of the district in which it is located;
  - f. There **IS** a public necessity for the conditional use at this site;
  - g. The proposed conditional use **DOES** conform with the intent of the Village Comprehensive Plan.
  - h. The proposed conditional use **WILL** be compatible with the established land use pattern in the vicinity.
  - i. The site **IS** suitable for the proposed conditional use.
  - j. The proposed conditional use **WILL NOT** significantly adversely impact existing traffic patterns.
  - k. Adequate facilities for municipal water supply and wastewater disposal **ARE** available for the site from Sangamon Valley Public Water District.
  - l. Adequate provisions for stormwater drainage **ARE** available for the site.
  - m. The proposed conditional use **WILL NOT** adversely impact police protection, fire protection, schools, or public facilities.
  - n. The proposed conditional use **WILL NOT** conflict with existing public commitments for planned public improvements.
  - o. The proposed conditional use **WILL** preserve the essential character of the neighborhood in which it is located.
  - p. The proposed conditional use **WILL NOT** alter the population density pattern and **WILL NOT** adversely impact public facilities.
  - q. The proposed conditional use **WILL** result in private investment that will be beneficial to the proper development of the community.
4. The approval recommended above shall be subject to the fulfillment of the conditions set forth in Item 2 above. In the event that these conditions are not fulfilled, the Conditional Use Permit shall become void and no occupancy permit for the project may be issued, or the occupancy permit previously issued may be revoked.

---

Sean Widener, President  
Board of Trustees  
Village of Mahomet

Attest:

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Village Clerk



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES

<b>ITEM: ZA2022-04: Tin Cup Management LLC - Rezoning from C-1 and C-2 to R-1B and R-1C</b>	<b>DEPARTMENT: Community Development</b>
<b>AGENDA SECTION: Planning and Development</b>	<b>AMOUNT: \$0</b>
<b>ATTACHMENTS:</b> ( X ) Aerial Location / Zoning Map ( X ) Zoning Exhibit ( X ) Ordinance	<b>DATE:</b> <b>Study Session August 16, 2022</b>

**INTRODUCTION AND BACKGROUND:** The rezoning request presented to the PZC on August 2, 2022 consists of 7.35± acres of land which is part of the 35± acre parcel where the Tin Cup Campground currently operates. Current zoning on the subject property is C-1 Neighborhood Commercial (6.25AC) and C-2 General Commercial (29.07AC) districts. The proposed zoning is R-1B Single-Family Residential (3.98AC) and R-1C Single-Family Residential (3.36AC) districts.

The subject property is part of the property where the existing Tin Cup Campground operates at 1715 Tin Cup Road, located on the south side of Tin Cup Road approximately 1,300 feet east of the Tin Cup Road and Lake of the Wood Road intersection. The property owner would like to rezone the subject property to allow for residential development along the west boundary of Fox Run Subdivision between the existing campground use and the single-family residential subdivision.

A related preliminary plat which includes all of the land area under consideration for rezoning has also been requested by the property owner.

**CONFORMANCE TO COMPREHENSIVE PLAN / ZONING ORDINANCE:** The Village of Mahomet Comprehensive Plan currently designates this site as part of the Northeast Mahomet functional framework area which encourages aesthetic and physical links to existing neighborhoods. The Comprehensive Plan Land Use Plan shows Single-Family Residential uses and park open space uses in this area. The Comprehensive Plan includes policies that urge compact, orderly, and contiguous development in areas where public facilities and infrastructure can be extended to serve the site. The Comprehensive Plan also urges development which completes previously platted subdivisions, provide proper zoning buffering and is compatible with adjacent existing and future land uses. The rezoning request is consistent with these principles.

The Village Zoning Ordinance states the intent of the R-1B zoning district as a customary single-family residential district is to provide for detached single-family dwellings with related uses on standard sized lots. The intent of the R-1C zoning district is to provide for detached single-family dwellings on medium sized lots and may serve as a transitional area between more intensive residential uses and less intensive single-family residential uses. The request is consistent with the intent of the proposed R-1B and R-1C residential zoning classifications.

**PRIOR RELATED BOARD ACTION:**

- Annexation – part in June 1995 (C-1) and part in April 2019 (C-2)

**COMMUNITY INPUT:** The Plan and Zoning Commission held a public hearing regarding this rezoning request on August 2, 2022. Four (4) people provided comments related to the rezoning request: one (1) person asked clarifying questions but voiced no concerns, two (2) Fox Run Subdivision property owners spoke in favor of the how the developer worked with them to make changes to the project which alleviated their previously state concerns (during public hearing for case ZA2022-03) and one (1) person spoke in favor of the project.

**STAFF IMPACT:** None.

**ALTERNATIVES:**

- Approve – PZC recommendation and consideration of the preliminary plat is warranted.
- Deny – Property will continue to be zoned C-2 General Commercial with its related permitted and conditional uses. The land can be used as Tin Cup Campground but any additional use would require subdivision or a conditional use. Even if the preliminary plat is approved, the draft resolution for that case is structured so rezoning is a contingency.

**RECOMMENDED ACTION:** The PZC unanimously recommended approval for the requested rezoning from C-1 and C-2 to R-1B and R-1C. The rezoning provides an opportunity to provide transitional zoning between existing residential lots and the adjacent commercial property / campground use. The proposed rezoning is consistent with existing and intended uses in the area. The request is consistent with recommendations in the Comprehensive Plan and the intent of the proposed zoning districts. A draft Ordinance is attached which includes the findings of fact as determined by the PZC. The BOT can direct staff to make any modifications.

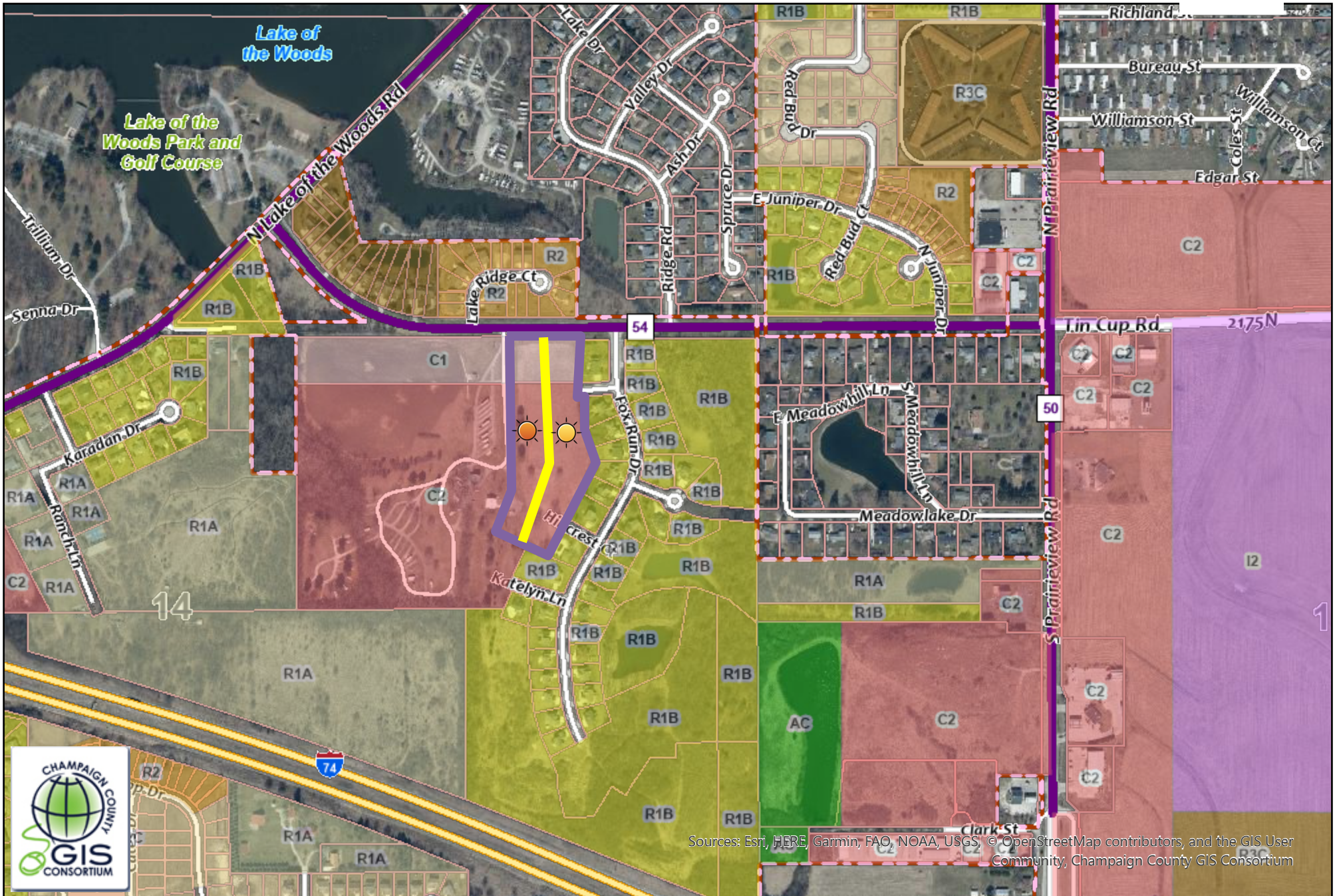
**DEPARTMENT HEAD APPROVAL:**

/s/ Kelly Pfeifer

**VILLAGE ADMINISTRATOR:**

/s/ Patrick Brown

# ZA2022-04: Tin Cup C1/C2 to R1B/R1C



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Champaign County GIS Consortium

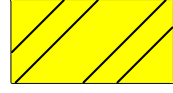



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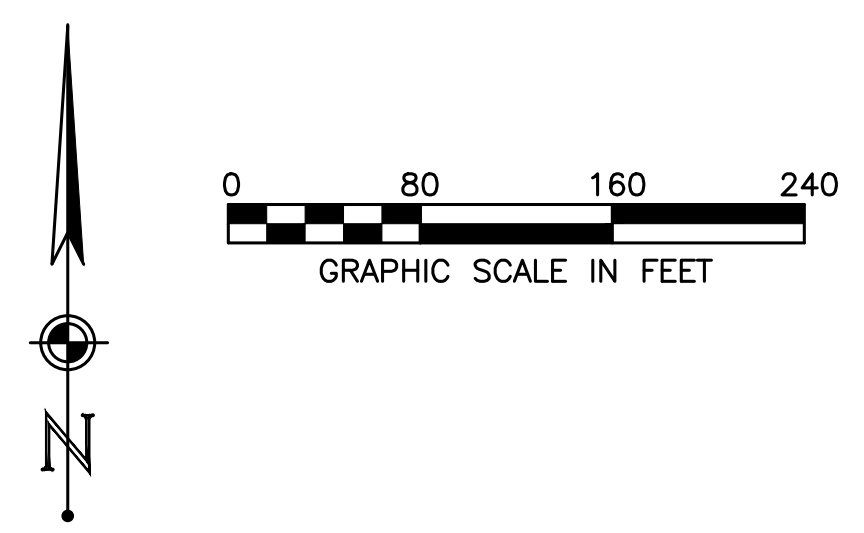
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# REZONING EXHIBIT TIN CUP SUBDIVISION

MAHOMET, CHAMPAIGN COUNTY, ILLINOIS  
PART OF NE 1/4, SEC. 14, T. 20 N., R. 7 E., 3rd. P.M.

-  REZONE AREA FROM C-1: GENERAL COMMERCIAL DISTRICT TO R-1B: SINGLE-FAMILY RESIDENTIAL DISTRICT
-  REZONE AREA FROM C-2: GENERAL COMMERCIAL DISTRICT TO R-1B: SINGLE-FAMILY RESIDENTIAL DISTRICT
-  REZONE AREA FROM C-1: NEIGHBORHOOD COMMERCIAL DISTRICT TO R-1C: SINGLE-FAMILY RESIDENTIAL DISTRICT
-  REZONE AREA FROM C-2: GENERAL COMMERCIAL DISTRICT TO R-1C: SINGLE-FAMILY RESIDENTIAL DISTRICT



WILLOWBROOK TOWNHOMES FIRST SUBDIVISION DOC. 98R26971  
R-3C MULTIPLE-FAMILY RESIDENTIAL DISTRICT

R-2 TWO-FAMILY RESIDENTIAL DISTRICT

R-1: SINGLE FAMILY (COUNTY)

LAKE VIEW FOURTH SUBDIVISION DOC. 92R26910  
COMMONS OUTLOT 1

TIN CUP ROAD (COUNTY HIGHWAY 54)

C-1: NEIGHBORHOOD COMMERCIAL DISTRICT

R-1B: SINGLE-FAMILY RESIDENTIAL DISTRICT

C-2: GENERAL COMMERCIAL DISTRICT

R-1B: SINGLE-FAMILY RESIDENTIAL DISTRICT

R-1A: SINGLE-FAMILY RESIDENTIAL DISTRICT

R-1B: SINGLE-FAMILY RESIDENTIAL DISTRICT

LIMITS OF REZONING REQUEST

K.D. HEADLEE SUBDIVISION

LOT Z

LOT 4A

REPLAT OF LOT 4 OF SHREEVES FIRST SUBDIVISION

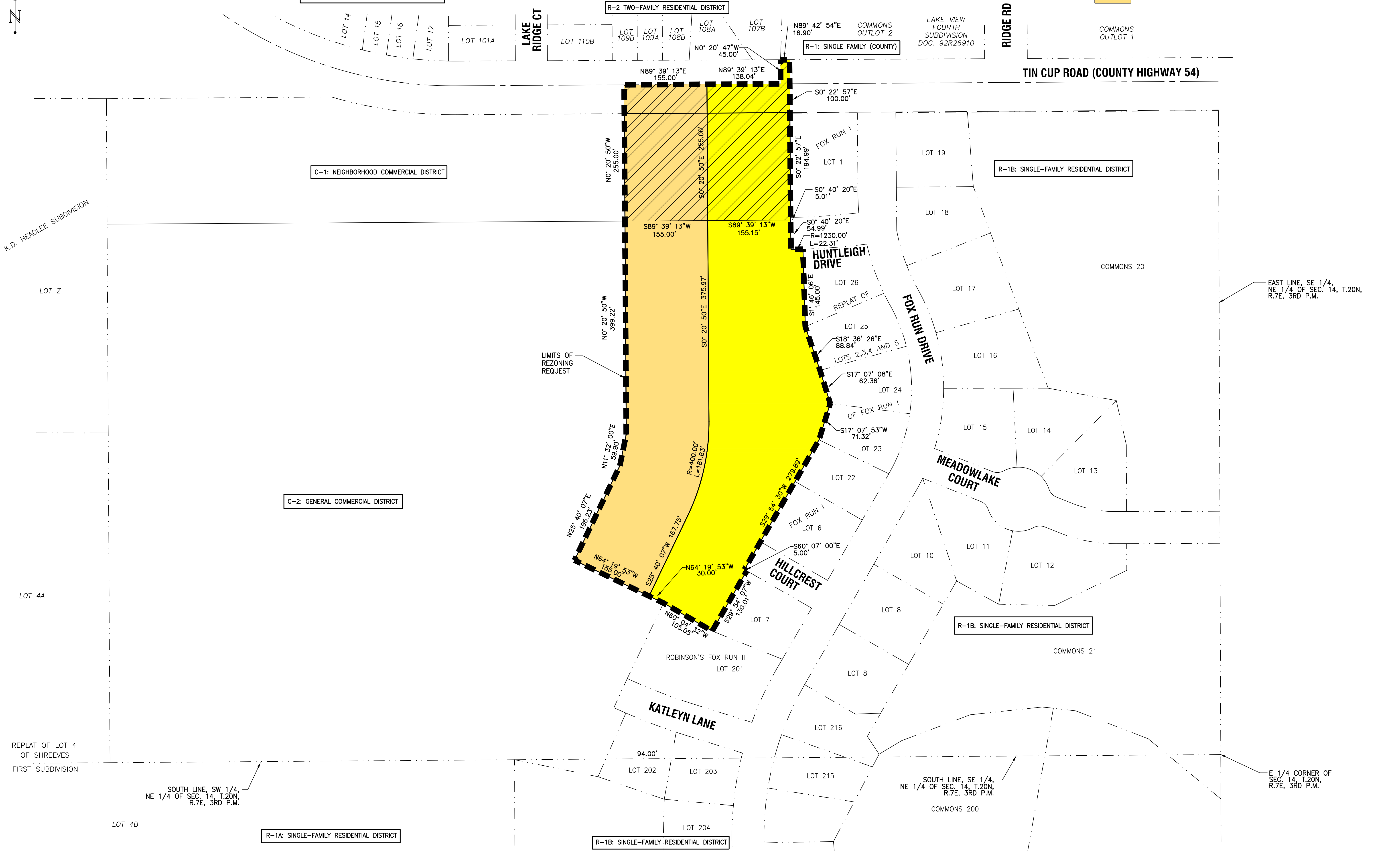
LOT 4B

SOUTH LINE, SW 1/4, NE 1/4 OF SEC. 14, T.20N, R.7E, 3RD P.M.

SOUTH LINE, SE 1/4, NE 1/4 OF SEC. 14, T.20N, R.7E, 3RD P.M.

E 1/4 CORNER OF SEC. 14, T.20N, R.7E, 3RD P.M.

EAST LINE, SE 1/4, NE 1/4 OF SEC. 14, T.20N, R.7E, 3RD P.M.





**ORDINANCE 22-08-**

**Concerning Amending the Zoning Classification for 7.35± acres of land located at 1715 Tin Cup Road from C-1 Neighborhood Commercial and C-2 General Commercial districts to R-1B Single-Family Residential and R-1C Single-Family Residential districts, Village of Mahomet, Champaign County, Illinois**

**WHEREAS,** the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures, including Comprehensive Plan designations and policies for the use of land and for zoning establishment and amendment within the corporate Limits of the Village of Mahomet, Illinois; and,

**WHEREAS,** the Petitioner, Tin Cup Management LLC, has requested a zoning map amendment for the subject property from C-1 Neighborhood Commercial and C-2 General Commercial districts to R-1B Single-Family Residential and R-1C Single-Family Residential districts; and,

**WHEREAS,** the subject property is located on the south side of Tin Cup Road approximately 1,300 feet east of the Tin Cup Road and Lake of the Wood Road intersection, commonly known as 1715 Tin Cup Road; and,

**WHEREAS,** the legal description for the properties to be rezoned are as follows:

C-1: Neighborhood Commercial to R-1B: Single-Family Residential

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 95R21627 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°40'20" EAST, ALONG THE WESTERLY LINE OF SAID FOX RUN I, FOR A DISTANCE OF 5.01 FEET; THENCE SOUTH 89°39'13" WEST FOR A DISTANCE OF 155.15 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 255.00 FEET TO THE CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°39'13" EAST ALONG SAID CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 138.04 FEET; THENCE NORTH 0°20'47" WEST FOR A DISTANCE OF 45.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°42'54" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 16.90 FEET; THENCE SOUTH 0°22'57" EAST FOR A DISTANCE OF 100.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1 OF FOX RUN I; THENCE SOUTH 0°22'57" EAST ALONG THE WEST LINE OF SAID LOT 1 FOR A DISTANCE OF 194.99 FEET TO THE POINT OF BEGINNING, CONTAINING 0.925 ACRES, MORE OR LESS.

C-1: Neighborhood Commercial to R-1C: Single-Family Residential

COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 95R21627 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°40'20" EAST, ALONG THE WESTERLY LINE OF SAID FOX RUN I, FOR A DISTANCE OF 5.01 FEET; THENCE SOUTH 89°39'13" WEST FOR A DISTANCE OF 155.15 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°39'13" WEST FOR A DISTANCE OF 155.00 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 255.00 FEET TO THE CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°39'13" EAST ALONG SAID CENTERLINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 155.00 FEET; THENCE SOUTH 0°20'50" EAST FOR A DISTANCE OF 255.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.907 ACRES, MORE OR LESS.

C-2: General Commercial to R-1B: Single-Family Residential

COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 95R21627 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°40'20" EAST, ALONG THE WESTERLY LINE OF SAID FOX RUN I, FOR A DISTANCE OF 5.01 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 0°40'20" EAST CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I, FOR A DISTANCE OF 54.99 FEET; THENCE CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I, ALONG A NON-TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 1230.00 FEET, A CHORD LENGTH OF 22.31 FEET, A CHORD BEARING OF NORTH 88°45'04" EAST FOR AN ARC LENGTH OF 22.31 FEET TO THE WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 98R03563 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 1°46'06" EAST ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 145.00 FEET; THENCE SOUTH 18°36'26" EAST CONTINUING ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 88.84 FEET; THENCE SOUTH 17°07'08" EAST ALONG CONTINUING SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 62.36 FEET; THENCE SOUTH 17°07'53" WEST CONTINUING ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 71.32 FEET TO THE NORTHWEST CORNER OF LOT 22 OF SAID FOX RUN I; THENCE SOUTH 29°54'30" WEST ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 279.89 FEET; THENCE SOUTH 60°07'00" EAST CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 5.00 FEET; THENCE SOUTH 29°54'07" WEST CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 130.01 FEET TO A POINT ON THE NORTH LINE OF LOT 201 OF ROBINSON'S FOX RUN II SUBDIVISION AS RECORDED AS DOCUMENT NUMBER 2007R26049 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE NORTH 60°04'32" WEST ALONG SAID NORTH LINE OF LOT 201 OF ROBINSON'S FOX RUN II SUBDIVISION FOR A DISTANCE OF 105.05 FEET TO THE NORTHWEST CORNER OF LOT 201; THENCE NORTH 64°19'53" WEST FOR A DISTANCE OF 30.00 FEET; THENCE NORTH 25°40'07" EAST FOR A DISTANCE OF 167.75 FEET; THENCE ALONG A TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 400.00 FEET, A CHORD LENGTH OF 180.07 FEET, A CHORD BEARING OF NORTH 12°39'38" EAST FOR AN ARC LENGTH OF 181.63 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 375.97 FEET; THENCE NORTH 89°39'13" EAST FOR A DISTANCE OF 155.15 FEET TO THE POINT OF BEGINNING, CONTAINING 3.058 ACRES, MORE OR LESS.

C-2: General Commercial to R-1C: Single-Family Residential

COMMENCING AT THE SOUTHWEST CORNER OF LOT 1 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 95R21627 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°40'20" EAST, ALONG THE WESTERLY LINE OF SAID FOX RUN I, FOR A DISTANCE OF 5.01 FEET; THENCE SOUTH 89°39'13" WEST FOR A DISTANCE OF 155.15 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 0°20'50" EAST FOR A DISTANCE OF 375.97 FEET; THENCE ALONG A TANGENTIAL CURVE TO THE RIGHT, HAVING A RADIUS OF 400.00 FEET, A CHORD LENGTH OF 180.07 FEET, A CHORD BEARING OF SOUTH 12°39'38" WEST FOR AN ARC LENGTH OF 181.63 FEET; THENCE SOUTH 25°40'07" WEST FOR A DISTANCE OF 167.75 FEET; THENCE NORTH 64°19'53" WEST FOR A DISTANCE OF 155.00 FEET; THENCE NORTH 25°40'07"

EAST FOR A DISTANCE OF 196.23 FEET; THENCE NORTH 11°32'00" EAST FOR A DISTANCE OF 59.90 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 399.22 FEET; THENCE NORTH 89°39'13" EAST FOR A DISTANCE OF 155.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2.455 ACRES, MORE OR LESS.

**WHEREAS,** a Public Hearing concerning the proposed rezoning was held on August 2, 2022 by the Plan and Zoning Commission to solicit evidence and testimony from the public; and,

**WHEREAS,** the Village Planner and Village Attorney provided the Village with technical and background information regarding the proposed rezoning; and,

**WHEREAS,** the Plan and Zoning Commission adopted a resolution recommending the Board of Trustees grant the requested zoning map amendment; and,

**WHEREAS,** the Board of Trustees met and reviewed the evidence and testimony submitted and considered all of the available factual evidence concerning the requested action.

**BE IT THEREFORE ORDAINED** this 23<sup>rd</sup> day of August 2022 by the Board of Trustees of the Village of Mahomet that:

- A. The Board of Trustees of the Village of Mahomet does hereby **GRANT** the requested zoning map amendment for the subject property from C-1 Neighborhood Commercial and C-2 General Commercial districts to R-1B Single-Family Residential and R-1C Single-Family Residential districts.
- B. The Board of Trustees does hereby further set forth the following findings of fact concerning the requested zoning amendment:
  - 1. The procedural requirements for zoning establishment or amendment **HAVE** been met.
  - 2. The proposed zoning **DOES** conform with the intent of the Village Comprehensive Plan.
  - 3. The proposed zoning **IS** consistent with the proposed use of the site.
  - 4. The proposed zoning **WILL** be compatible with the established land use pattern in the vicinity.
  - 5. The proposed zoning **DOES NOT** create an isolated, unrelated zoning district.
  - 6. The site **IS** suitable for the uses allowed in the proposed zoning district.
  - 7. The proposed zoning **WILL** be consistent with the health, safety and general welfare of the public.
  - 8. Major land uses in the neighborhood **HAVE NOT** changed since zoning was applied to this site.
  - 9. The proposed zoning **IS** consistent with the existing zoning designations in the surrounding area.

10. The proposed zoning **WILL NOT** be contrary to the original purpose and intent of the Zoning Ordinance.
11. The proposed zoning **WILL NOT** be injurious to the use and enjoyment of adjacent properties.
12. The proposed zoning **WILL** promote the orderly development of the site and surrounding properties.
13. The proposed zoning **WILL NOT** significantly adversely impact existing traffic patterns.
14. Adequate facilities for municipal sanitary sewage disposal and water supply **ARE** available for the site from Sangamon Valley Public Water District, subject to its construction standards.
15. Adequate provisions for stormwater drainage **ARE** available for this site.
16. The proposed zoning **WILL NOT** adversely impact police protection or fire protection.
17. The proposed zoning **WILL NOT** significantly adversely impact schools or other public facilities.
18. The proposed zoning **WILL NOT** conflict with existing public commitments for planned public improvements.
19. The proposed zoning **WILL NOT** adversely influence living conditions in the immediate vicinity.
20. The proposed zoning **WILL** preserve the essential character of the neighborhood in which it is located.
21. The proposed change **WILL NOT** significantly alter the population density pattern.
22. The value of adjacent property **WILL NOT** be diminished by the proposed zoning.
23. The proposed zoning **WILL** enhance the value of the petitioner's property.
24. The proposed zoning **WILL NOT** constitute an entering wedge affecting the use or development of adjacent property.
25. If denied, the petitioner **WILL** suffer deterioration to his or her property value.
26. The proposed zoning **DOES NOT** correct an error in the original zoning of this site.
27. If the property is currently vacant, the length of time the property has remained vacant as zoned **HAS** been considered in the context of land development in the area and in the vicinity of the subject property.

- 28. The proposed change in zoning **WILL** result in private investment that would be beneficial to the development or redevelopment of a vacant property or deteriorated neighborhood.
- 29. There **IS** a need in the community for additional land within the requested zoning district.
- 30. The proposed zoning **WILL NOT** adversely impact agricultural farming operations in the vicinity of this site.
- 31. The proposed rezoning **IS** consistent with Village Comprehensive Plan policies concerning the protection of prime farmland when appropriate.
- 32. The proposed rezoning **WILL NOT** result in long term adverse environmental consequences to natural areas and wildlife habitat.
- 33. The LaSalle Factors for evaluation of zoning decisions **HAVE** been considered during the review of this proposed rezoning request.

PASSED this 23<sup>rd</sup> day of August, 2022 by the Board of Trustees of the Village of Mahomet, Illinois.

APPROVED: \_\_\_\_\_  
**President, Board of Trustees** **Date**

ATTESTED: \_\_\_\_\_  
**Village Clerk** **Date**



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES

<b>ITEM:</b> Tin Cup East First Subdivision - Preliminary Plat MAP2022-02	<b>DEPARTMENT:</b> Community Development
<b>AGENDA SECTION:</b> Community Development	<b>AMOUNT:</b> None
<b>ATTACHMENTS:</b> (X) Preliminary Plat – dated July 22, 2022 (X) Resolution	<b>DATE:</b> For Study Session August 16, 2022

**INTRODUCTION:** The Board of Trustees (BOT) is asked to consider approval of the Tin Cup East First Subdivision Preliminary Plat and related waivers.

**BACKGROUND:** The area of land to be subdivided is part of the property where the existing Tin Cup Campground operates at 1715 Tin Cup Road, located on the south side of Tin Cup Road approximately 1,300 feet east of the Tin Cup Road and Lake of the Wood Road intersection. The proposed preliminary plat includes 7.4± acres, to create 22 single-family lots and three (3) outlots.

Based on this preliminary plat, a concurrent rezoning request has been submitted by the applicant (ZA2022-04) to rezone the property to R-1B and R-1C Single-Family Residential zoning classifications. Village Staff is also currently reviewing a two (2) lot minor subdivision. One (1) lot will be a development lot which will include all of the property subject to the requested rezoning and this preliminary plat, and one (1) lot for the remaining campground land area. This preliminary plat is the first step in resubdivision of the development lot. Construction plan and final plat approval is required prior to creation of buildable lots for establishment of residential homes.

This preliminary plat includes a street connection with Huntleigh Place stub street within Fox Run Subdivision. Sidewalks are existing adjacent to the frontage of this subject property. Tin Cup Road is not a village street. The County Highway Commissioner received the plat as a part of the preliminary plat notification of other agencies process and spoke to the Village Engineer, Ellen Hedrick. An intersection of a new roadway with Tin Cup Road is possible to serve this subdivision, but no private driveways will be permitted onto Tin Cup Road.

**CONFORMANCE WITH ZONING ORDINANCE:** A concurrent rezoning request has been submitted by the applicant (ZA2022-04) to rezone the property subject to this preliminary plat to R-1B and R-1C Single-Family Residential zoning classifications. The intent of the R-1B zoning district as a customary single-family residential district is to provide for detached single-family dwellings with related uses on standard sized lots. The intent of the R-1C zoning district is to provide for detached single-family dwellings on medium sized lots and may serve as a transitional area between more intensive residential uses and less intensive single-family residential uses. The request is consistent with the intent of the proposed R-1B and R-1C residential zoning classifications. Staff has not evaluated this preliminary plat based on the current commercial zoning. Further evaluation would be needed if the rezoning request is not approved.

**PRIOR BOARD / STAFF ACTION:**

- Annexation – part in June 1995 (C-1) and part in April 2019 (C-2)
- Sangamon Valley Public Water District board granted necessary waivers at its meeting on July 18 to support the development.

**WAIVER REQUESTS:** The following subdivision ordinance waivers have been requested by the developer and/or identified by staff as necessary to support the proposed preliminary plat:

1. Waiver of requirement to continue/extend the existing right of way and street pavement of Hillcrest Court and allow Hillcrest to remain and end as a stub street.
2. Waiver of the requirement for a permanent cul-de-sac right of way width dedication and associated pavement construction standards at the southern end of the subdivision and allow the construction of a concrete cul-de-sac pavement via an off-site recorded easement.
3. Waiver of half street roadway improvements for Tin Cup Rd because the road is a County Highway.
4. Waiver for the west extension (west of Dream Drive) of right of way and street pavement for Huntleigh Place and allow a future right-of-way reservation in a commons area.
5. Waiver to allow the construction of a four-leg at the Dream Drive and Huntleigh Place intersection in lieu of a three-leg to facilitate easier future street extension westerly.
6. Waiver to allow water and sanitary sewer service to be provided by Sangamon Valley Public Water District, along with use of the SVPWD construction standards.
7. Waiver to allow overland flow length to exceed 600ft along the rear of lots 111 to 119.
8. Waiver to allow the delayed submission of an Area General Plan until a second phase of the subdivision is submitted.

**STAFF IMPACT:** The Preliminary Plat assumes one (1) phase so one final plat will be added to the inventory of staff workload.

**DISCUSSION OF ALTERNATIVES:**

- APPROVE – PZC recommendation. Resolution indicates rezoning is a contingency of the approval.
- DENY

**RECOMMENDED ACTION:**

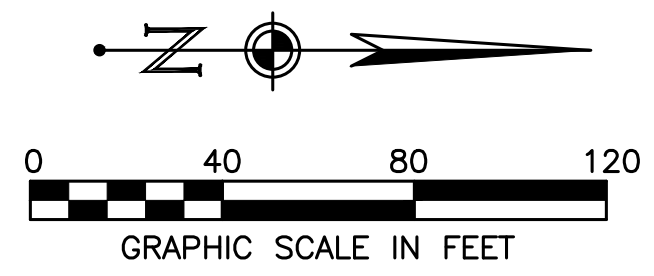
The Plan and Zoning Commission (PZC) considered the Plat at the August 2, 2022 meeting and adopted a resolution with findings of fact indicating a recommendation to the BOT to approve the Plat and grant the requested waivers. A draft resolution is attached for BOT consideration which includes the findings of fact as determined by the PZC. The BOT can direct staff to make modifications if desired.

**DEPARTMENT HEAD APPROVAL:**

Kelly Pfeifer, Village Planner

**VILLAGE ADMINISTRATOR:**

Patrick Brown



# PRELIMINARY PLAT

## TIN CUP EAST FIRST SUBDIVISION

### MAHOMET, CHAMPAIGN COUNTY, ILLINOIS

#### PART OF NE 1/4, SEC. 14, T. 20 N., R. 7 E., 3rd. P.M.

**LEGAL DESCRIPTION:**  
 A PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 95R21627 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 0°40'20" EAST ALONG THE WESTERLY LINE OF SAID FOX RUN I, FOR A DISTANCE OF 60.00 FEET; THENCE CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I, ALONG A NON-TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 1230.00 FEET, A CHORD LENGTH OF 22.31 FEET, A CHORD BEARING OF NORTH 88°45'04" EAST FOR AN ARC LENGTH OF 22.31 FEET TO THE WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I PER PLAT RECORDED AS DOCUMENT NUMBER 98R03563 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 1°46'06" EAST ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 145.00 FEET; THENCE SOUTH 18°36'26" EAST CONTINUING ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 88.84 FEET; THENCE SOUTH 17°07'08" EAST ALONG CONTINUING SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 62.36 FEET; THENCE SOUTH 17°07'53" WEST CONTINUING ALONG SAID WESTERLY LINE OF REPLAT OF LOTS 2, 3, 4 AND 5 OF FOX RUN I FOR A DISTANCE OF 71.32 FEET TO THE NORTHWEST CORNER OF LOT 22 OF SAID FOX RUN I; THENCE SOUTH 29°54'30" WEST ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 279.89 FEET; THENCE SOUTH 60°07'00" EAST CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 5.00 FEET; THENCE SOUTH 29°54'07" WEST CONTINUING ALONG SAID WESTERLY LINE OF FOX RUN I FOR A DISTANCE OF 130.01 FEET TO A POINT ON THE NORTH LINE OF LOT 201 OF ROBINSON'S FOX RUN II SUBDIVISION AS RECORDED AS DOCUMENT NUMBER 2007R26049 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE NORTH 60°04'32" WEST ALONG SAID NORTH LINE OF LOT 201 OF ROBINSON'S FOX RUN II SUBDIVISION FOR A DISTANCE OF 105.05 FEET TO THE NORTHWEST CORNER OF LOT 201; THENCE NORTH 64°19'53" WEST FOR A DISTANCE OF 185.00 FEET; THENCE NORTH 25°40'07" EAST FOR A DISTANCE OF 196.23 FEET; THENCE NORTH 11°32'00" EAST FOR A DISTANCE OF 59.90 FEET; THENCE NORTH 0°20'50" WEST FOR A DISTANCE OF 600.22 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD); THENCE NORTH 89°38'29" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE OF CHAMPAIGN COUNTY HIGHWAY 54 (TIN CUP ROAD) FOR A DISTANCE OF 310.00 FEET; THENCE SOUTH 0°22'57" EAST FOR A DISTANCE OF 1.07 FEET TO THE NORTHWEST CORNER OF SAID LOT 1 OF FOX RUN I; THENCE SOUTH 0°22'57" EAST ALONG THE WEST LINE OF SAID LOT 1 FOR A DISTANCE OF 194.99 FEET TO THE POINT OF BEGINNING, CONTAINING 6.944 ACRES, MORE OR LESS.

- NOTES:**
1. THE SITE IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF MAHOMET.
  2. ALL CONSTRUCTION WORK AND MATERIALS INCLUDING PROPOSED EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE VILLAGE OF MAHOMET, ILLINOIS SUBDIVISION REGULATIONS AND APPLICABLE ORDINANCES.
  3. STORM WATER FACILITIES AND EROSION CONTROL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE VILLAGE OF MAHOMET, ILLINOIS SUBDIVISION AND STORMWATER MANAGEMENT ORDINANCES.
  4. ALL PROPOSED WATER MAINS AND SANITARY SEWERS SHALL BE IN ACCORDANCE WITH SANGAMON VALLEY PUBLIC WATER DISTRICT REQUIREMENTS.
  5. SETBACKS SHALL BE IN ACCORDANCE WITH VILLAGE OF MAHOMET ZONING ORDINANCE.
  6. LOT 120 IS SUBJECT TO UTILITY AND DRAINAGE EASEMENT COVERING ALL OF SAID LOT.
  7. A STREET LIGHT AT THE DREAM DRIVE / TIN CUP ROAD INTERSECTION SHALL BE PROVIDED IN ACCORDANCE WITH VILLAGE OF MAHOMET AND CHAMPAIGN COUNTY STANDARDS.

- LEGEND**
- AC — VEHICLE ACCESS CONTROL
  - BOUNDARY OF PLAT
  - - - PROPOSED LOT LINE
  - - - EXISTING LOT LINE
  - - - BUILDING SETBACK LINE
  - - - EXISTING PUBLIC UTILITY AND DRAINAGE EASEMENT LINE
  - - - PROPOSED DRAINAGE & PUBLIC UTILITY EASEMENT (UNLESS NOTED OTHERWISE)
  - - - CENTERLINE
  - PC POINT OF CURVATURE
  - PT POINT OF TANGENCY
- (N 00°00'00" E 100.00') RECORD BEARING / DIMENSION

**OWNER / SUBDIVIDER:**  
 TIN CUP MANAGEMENT, LLC  
 QUENTIN D. MCNEW  
 1715 TIN CUP ROAD  
 MAHOMET, IL 61853  
 (217) 552-4062

**ENGINEER/SURVEYOR:**  
 BKB ENGINEERING, INC.  
 301 N. NEIL ST., SUITE 400  
 CHAMPAIGN, IL 61820  
 (217) 531-2971 OFFICE  
 (217) 531-2211 FAX

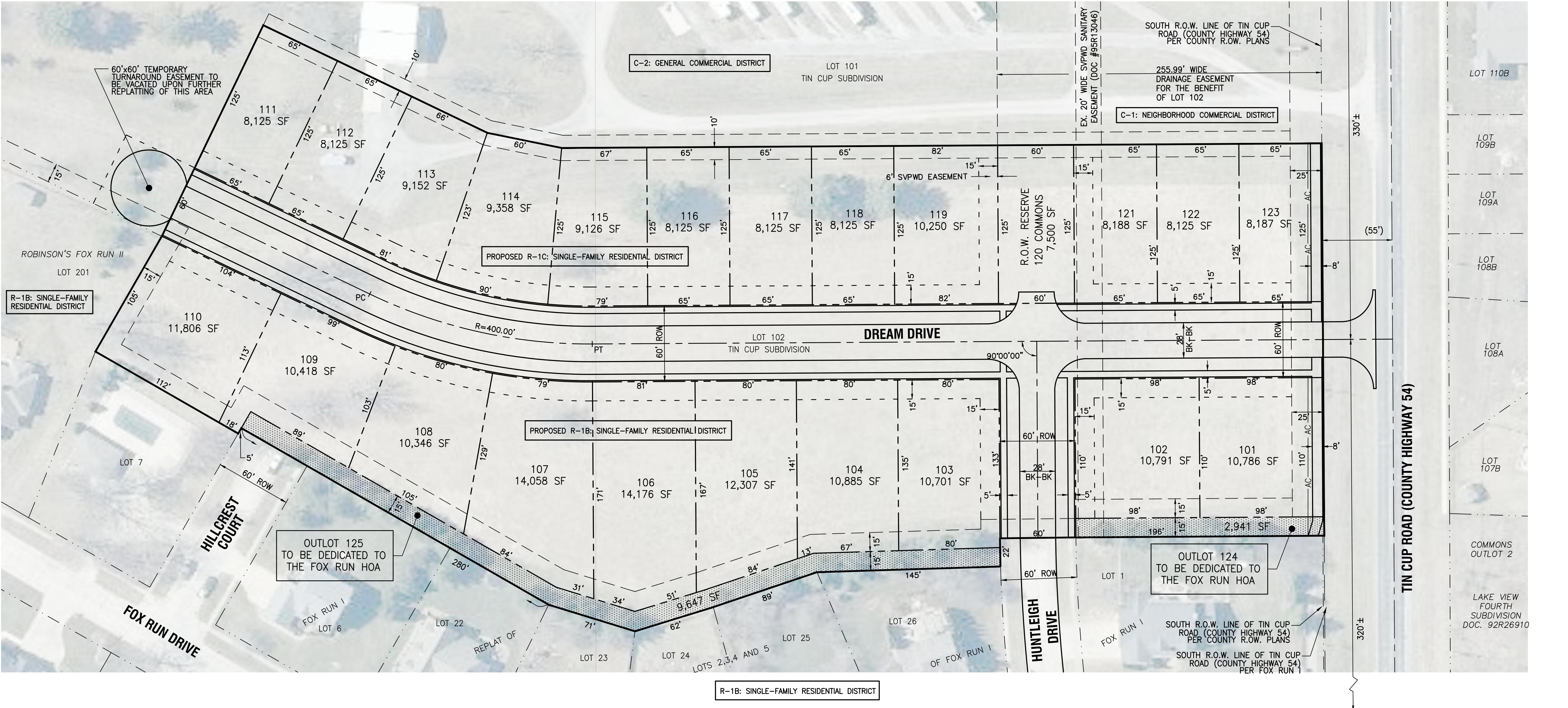
**PRELIMINARY PLAT APPROVAL**

THE PRELIMINARY PLAT ENTITLED "TIN CUP EAST FIRST SUBDIVISION" HAS RECEIVED APPROVAL BY THE PLAN & ZONING COMMISSION OF THE VILLAGE OF MAHOMET, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

CHAIRPERSON \_\_\_\_\_

THE PRELIMINARY PLAT ENTITLED "TIN CUP EAST FIRST SUBDIVISION" HAS RECEIVED APPROVAL BY THE PLAN & ZONING COMMISSION OF THE VILLAGE OF MAHOMET, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

PRESIDENT, BOARD OF TRUSTEES \_\_\_\_\_ VILLAGE CLERK \_\_\_\_\_



**LAKE RIDGE COURT**

**TIN CUP ROAD (COUNTY HIGHWAY 54)**

**FOX RUN DRIVE**

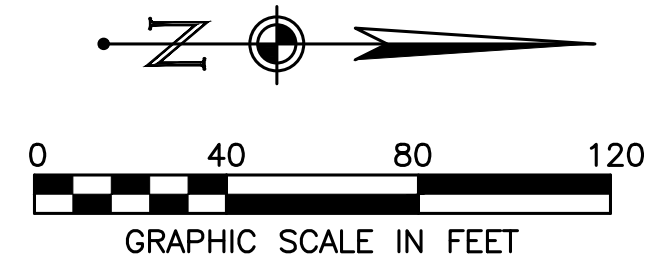
# GRADING PLAN PRELIMINARY PLAT TIN CUP EAST FIRST SUBDIVISION MAHOMET, CHAMPAIGN COUNTY, ILLINOIS PART OF NE 1/4, SEC. 14, T. 20 N., R. 7 E., 3rd. P.M.

BENCHMARK NO. 1: BOLT IN "MUELLER" OF FIRE HYDRANT ALONG THE NORTH SIDE ON TIN CUP RD., 105' EAST OF LAKE RIDGE CT. ELEV. = 729.80 (NAVD 88)

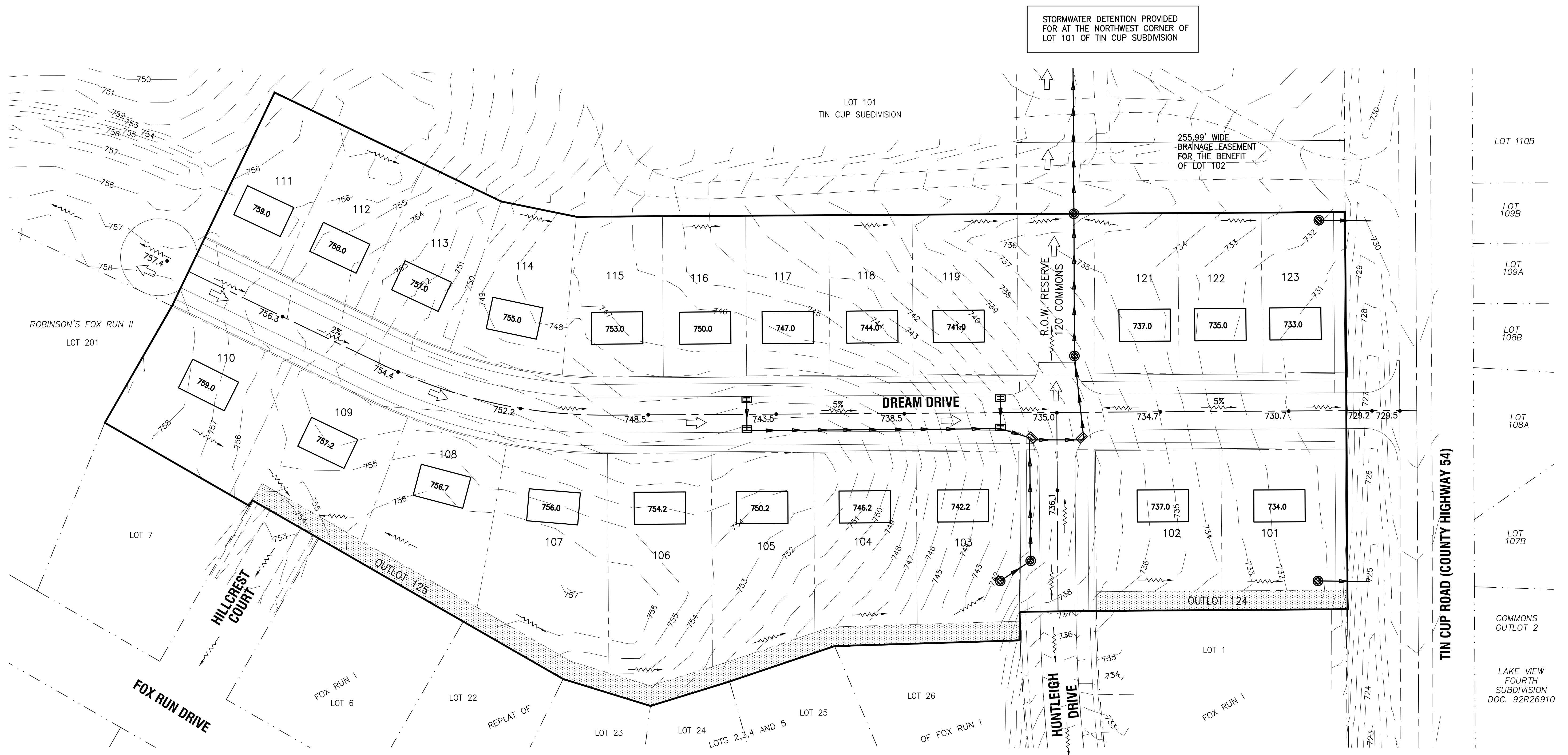
BENCHMARK NO. 2: BOLT IN "MUELLER" OF FIRE HYDRANT AT THE SOUTHWEST CORNER OF THE HUNTLEIGH DRIVE / FOX RUN DRIVE INTERSECTION. ELEV. = 733.95 (NAVD 88)

**SHEET LEGEND**

- 100 — EX. CONTOUR
- ⇒ 100 YR FLOW DIRECTION
- ~ LOCAL FLOW DIRECTION
- 700.00 PROP. SPOT ELEVATION
- ◻ 700.00 PROP. PAD ELEVATION (40' x 40')



STORMWATER DETENTION PROVIDED FOR AT THE NORTHWEST CORNER OF LOT 101 OF TIN CUP SUBDIVISION



- LOT 110B
- LOT 109B
- LOT 109A
- LOT 108B
- LOT 108A
- LOT 107B
- COMMONS OUTLOT 2
- LAKE VIEW FOURTH SUBDIVISION DOC. 92R26910





22-08-\_\_

**A RESOLUTION CONCERNING THE PRELIMINARY PLAT  
FOR TIN CUP EAST FIRST SUBDIVISION**

**WHEREAS,** the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, established certain standards and procedures for review and approval of subdivisions within the Corporate Limits of the Village of Mahomet, Illinois and within one and one-half miles thereof; and

**WHEREAS,** **Tin Cup Management LLC**, the Developer of the proposed **Tin Cup East First Subdivision** submitted certain documents, including a Preliminary Plat, for review and approval by the Village of Mahomet; and

**WHEREAS,** the Village Planner, Village Consulting Engineer and the Village Administrator reviewed the various documents submitted and made recommendations concerning approval of said Preliminary Plat subject to certain conditions; and,

**WHEREAS,** the following waivers from the standards and procedures set forth in the Subdivision Ordinance has been requested by the Developer:

1. Waiver of requirement to continue/extend the existing right of way and street pavement of Hillcrest Court and allow Hillcrest to remain and end as a stub street.
2. Waiver of the requirement for a permanent cul-de-sac right of way width dedication and associated pavement construction standards at the southern end of the subdivision and allow the construction of a concrete cul-de-sac pavement via an off-site recorded easement.
3. Waiver of half street roadway improvements for Tin Cup Rd because the road is a County Highway.
4. Waiver for the west extension (west of Dream Drive) of right of way and street pavement for Huntleigh Place and allow a future right-of-way reservation in a commons area.
5. Waiver to allow the construction of a four-leg at the Dream Drive and Huntleigh Place intersection in lieu of a three-leg to facilitate easier future street extension westerly.
6. Waiver to allow water and sanitary sewer service to be provided by Sangamon Valley Public Water District.
7. Waiver to allow overland flow length to exceed 600ft along the rear of lots 111 to 119.
8. Waiver to allow the delayed submission of an Area General Plan until a second phase of the subdivision is submitted.

**WHEREAS,** the Village Planner and Staff reviewed the requested waivers and made recommendations concerning the approval of said waivers subject to certain conditions; and,

**WHEREAS,** the Plan and Zoning Commission met and passed a resolution recommending the Board of Trustees approve the Preliminary Plat and all requested waivers; and,

**WHEREAS,** the Board of Trustees met and reviewed the Preliminary Plat and has found that it is, with minor modifications, generally satisfactory and in the prescribed form.

**BE IT THEREFORE RESOLVED** this 23<sup>rd</sup> day of August, 2022 by the Board of Trustees of the Village of Mahomet, Illinois, that:

- A. The Board of Trustees does hereby **APPROVE** the Preliminary Plat of **Tin Cup East First Subdivision**, and hereby authorizes the Village President to sign the Certificate of said Plat indicating said action upon completion of modifications identified by Village staff.
- B. The Board of Trustees does hereby further **APPROVE** the following action concerning the waivers from the standards and procedures of the Subdivision Ordinance requested for the Preliminary Plat of **Tin Cup East First Subdivision**:
  1. **GRANT** Waiver of requirement to continue/extend the existing right of way and street pavement of Hillcrest Court and allow Hillcrest to remain and end as a stub street.
  2. **GRANT** Waiver of the requirement for a permanent cul-de-sac right of way width dedication and associated pavement construction standards at the southern end of the subdivision and allow the construction of a concrete cul-de-sac pavement via an off-site recorded easement.
  3. **GRANT** Waiver of half street roadway improvements for Tin Cup Rd because the road is a County Highway.
  4. **GRANT** Waiver for the west extension (west of Dream Drive) of right of way and street pavement for Huntleigh Place and allow a future right-of-way reservation in a commons area.
  5. **GRANT** Waiver to allow the construction of a four-leg at the Dream Drive and Huntleigh Place intersection in lieu of a three-leg to facilitate easier future street extension westerly.
  6. **GRANT** Waiver to allow water and sanitary sewer service to be provided by Sangamon Valley Public Water District.
  7. **GRANT** Waiver to allow overland flow length to exceed 600ft along the rear of lots 111 to 119.
  8. **GRANT** Waiver to allow the delayed submission of an Area General Plan until a second phase of the subdivision is submitted.
- C. The approval of the Preliminary Plat recommended above is further subject to the following conditions:
  1. Submission of all supporting documentation in proper form.
  2. Revision of the Preliminary Plat to incorporate the Village staff technical review comments.
  3. The related rezoning request (ZA2022-04) is approved to assure all presented lots are compliant.

- D. In the event that the modifications to the Preliminary Plat are not completed, the outside agency review is not completed, all required supporting documents are not submitted in final form, or the conditions set forth above are not met within 60 days from the date of approval by the Village Board of Trustees, the approvals recommended herein shall be null and void.

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Village President, Sean Widener  
Village of Mahomet

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Village Clerk, Amanda Andersen  
Village of Mahomet



# Village of Mahomet

503 E. Main Street • P.O. Box 259 • Mahomet, Illinois 61853

Phone: (217) 586-4456 • Fax: (217) 586-5696

[www.mahomet-il.gov](http://www.mahomet-il.gov)   [www.ChooseMahomet.com](http://www.ChooseMahomet.com)

## **BILLS NOT YET RECEIVED**

Mahomet Ace Hardware 7/2022	\$600.00
Frontier	\$1,100.00
Illini PS	\$4,000.00

## **Automatic Debit**

Commerce Bank	\$6,505.82
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## **BILLS ALREADY PAID IN AUGUST**

United States Post Office	\$2,000.00
Project 47	\$200.00

## **\*BILLS/PURCHASES**

### **BETWEEN \$10-25,000**

A&R MECHANICAL	\$17,787.12
CAHOY PUMP	\$11,942.00

**TOTAL AMOUNT OF WARRANTS AS OF 8.11.2022**

**TOTAL \$985,465.89**

<http://mahomet.govoffice.com>

## CHART OF ACCOUNTS

#01-00	GENERAL CORPORATE
#01-10	POLICE
#01-20	STREETS & ALLEY
#01-30	ADMINISTRATION
#01-40	COMMUNITY DEVELOPMENT
#01-45	ENGINEERING
#01-60	ESDA
#02-00	WATER OPERATIONS
#03-00	WASTEWATER OPERATIONS
#04-00	WASTEWATER CAPITAL IMPROVEMENT
#05-00	WATER CAPITAL IMPROVEMENT
#06-00	WATER/SEWER BOND FUND
#10-00	ECONOMIC DEVELOPMENT
#11-00	RECREATION
#12-00	PARKS
#16-00	MOTOR FUEL TAX
#17-00	IMRF
#18-00	POLICE PENSION
#19-00	SOCIAL SECURITY
#22-00	INSURANCE
#25-00	FORFEITED FUND/FEDERAL
#26-00	FORFEITURE FUND
#27-00	BOND ISSUE
#28-00	UTILITY TAX
#32-00	2012A & 2012B DEBT SERVICE-TIF
#33-00	TIF
#34-00	CRF/VRF
#35-00	TRANSPORTATION SYSTEM/CAPITAL IMPROVEMENT
#37-00	WWTP EXPANSION
#39-00	BOND ISSUE 2003-B
#40-00	E-PAY
#46-00	TRANSPORTATION/CONSTRUCTION
#47-00	TRANSPORTATION BOND
#48-00	FIBER

Report Criteria:

- Detail report
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>217, Inc</b>							
231712	WATER HEATER INSTALL	07/20/2022	01-10-7075 BUILDING MAINT	2,010.00	.00		
231713	SINK DRAINS	07/21/2022	01-10-7075 BUILDING MAINT	400.00	.00		
Total 217, Inc:				2,410.00	.00		
<b>ACTION INFLATABLES MEGA EVENTS, INC.</b>							
352	SLIDE/OBSTACLE	07/25/2022	11-10-7245 SPECIAL EVENTS	375.00	.00		
Total ACTION INFLATABLES MEGA EVENTS, INC.:				375.00	.00		
<b>ALTORFER, INC.</b>							
PC060001678	BROOM BRUSHES	08/08/2022	01-20-7211 EQUIPMENT & VEHICLE M	644.86	.00		
PC060001679	BROOM BUSHES	08/08/2022	01-20-7211 EQUIPMENT & VEHICLE M	489.46	.00		
Total ALTORFER, INC.:				1,134.32	.00		
<b>AMEREN ILLINOIS</b>							
8.2022	WATER	08/10/2022	02-00-7391 UTILITIES	8,437.72	.00		
8.2022	SEWER	08/10/2022	03-00-7391 UTILITIES	7,722.39	.00		
8.2022	EDSA	08/10/2022	01-60-7391 UTILITIES	105.93	.00		
8.2022	POLICE	08/10/2022	01-10-7391 UTILITIES	767.06	.00		
8.2022	RECREATION	08/10/2022	11-00-7391 UTILITIES	339.04	.00		
8.2022	STR/ALLEY	08/10/2022	01-20-7391 UTILITIES	619.30	.00		
8.2022	STRINIGHT LIGHTS	08/10/2022	01-20-7379 STREET LIGHTING	1,686.04	.00		
8.2022	PARKS	08/10/2022	12-00-7391 UTILITIES	288.43	.00		
8.2022	TRAFF SIG	08/10/2022	16-00-7564 MAINTENANCE- TRAFFIC	524.69	.00		
8.2022	ENG	08/10/2022	01-45-7391 UTILITIES	167.65	.00		
8.2022	ADMIN	08/10/2022	01-30-7391 UTILITIES	468.72	.00		
Total AMEREN ILLINOIS:				21,126.97	.00		
<b>AQUAFIX</b>							
IN003572	AQUABAC	08/04/2022	03-00-7100 CHEMICALS	751.64	.00		
Total AQUAFIX:				751.84	.00		
<b>AREA GARBAGE SERVICE</b>							
8.2022 -Admin	ADMIN	08/05/2022	01-30-7075 BUILDING MAINT	25.43	.00		
8.2022 -Admin	SIA	08/05/2022	01-20-7075 BUILDING MAINT	85.00	.00		
8.2022 -Admin	PD	08/05/2022	01-10-7075 BUILDING MAINT	39.08	.00		
8.2022 -Admin	WATER	08/05/2022	02-00-7080 BUILDING MAINT/GROUN	46.66	.00		
8.2022 -Admin	SEWER	08/05/2022	03-00-7080 BUILDING MAINT/GROUN	237.40	.00		
8.2022 -Parks	PARKS	08/02/2022	12-00-7391 UTILITIES	69.00	.00		
Total AREA GARBAGE SERVICE:				502.57	.00		
<b>BO BOYKIN ENTERPRISES, LLC</b>							
3427	DRYCLEANING	07/28/2022	01-10-7401 UNIFORMS	112.50	.00		
Total BD BOYKIN ENTERPRISES, LLC:				112.50	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>BERNS, CLANCY AND ASS.</b>							
July 29, 2022	JOB #302	08/08/2022	01-40-7142 ENGINEERING	688.00	.0D		
July 29, 2022	JOB #302-640	08/08/2022	01-40-7142 ENGINEERING	2,871.25	.DO		
July 29, 2022	302-1156	08/08/2022	01-40-7142 ENGINEERING	591.00	.OD		
July 29, 2022	302-1245	08/08/2022	01-40-7145 PLANNING/DEVELOPMEN	471.00	.OD		
July 29, 2022	3021256	08/08/2022	01-40-7145 PLANNING/DEVELOPMEN	750.75	.OD		
July 29, 2022	JOB #302-1261	08/08/2022	01-40-7145 PLANNING/DEVELOPMEN	752.50	.OD		
July 29, 2022	302-1263	08/08/2022	01-40-7145 PLANNING/DEVELOPMEN	849.50	.OD		
July 29, 2022	508-611	08/08/2022	01-40-7142 ENGINEERING	1,410.15	.OD		
June 25-July 2	SOUTH MAHOMET RD	08/08/2022	33-00-7142 ENGINEERING	11,884.60	.OD		
STATEMENT#	SOUTH MAHOMET RD	08/02/2022	33-00-7142 ENGINEERING	3,551.75	.OD		
Total! BERNS, CLANCY AND ASS.:				23,820.50	.OD		
<b>BOYKIN, CALEB</b>							
7/25/2022 Time	UMPIRE BOYKIN	08/08/2022	11-10-7050 CONTRACTED EMPLOYEE	90.00	.OD		
Total BOYKIN, CALEB:				90.00	.DO		
<b>BROWNFIELD SPORTS</b>							
000439	SOCCER SHIRTS	07/12/2022	11-10-7210 SOCCER	4,856.50	.DO		
000450	SUMMER CAMP SHIRTS	07/19/2022	11-10-7212 SUMMER CAMP	350.00	.DO		
000452	SOCCER SHIRTS	07/20/2022	11-10-7210 SOCCER	52.00	.DO		
Total BROWNFIELD SPORTS:				5,258.50	.DO		
<b>BSNSPORTS</b>							
917622354	SOCCER BALLS	08/02/2022	11-10-7210 SOCCER	987.48	.DO		
917630378	BATTING HELMETS	08/04/2022	11-00-7201 EQUIPMENT, NEW	316.29	.DO		
917630393	SOCCER NET	08/04/2022	11-10-7210 SOCCER	400.65	.DO		
Total BSN SPORTS:				1,704.42	.DO		
<b>CAHOY PUMP SERVICE INC</b>							
26143	WELL #4 SPARE MOTOR	08/04/2022	05-00-7400 CAPITAL IMPROVEMENTS	11,942.00	.OD		
Total CAHOY PUMP SERVICE INC:				11,942.00	.DO		
<b>CAMPUS COMMUNICATIONS GROUP</b>							
INV14674	INTERNET	08/01/2022	01-60-7391 UTILITIES	627.25	.DO		
Total CAMPUS COMMUNICATIONS GROUP:				627.25	.DO		
<b>CARASOFT TECHNOLOGY CORPORATION</b>							
Quote 3438388	SUBSCRIPTION	08/02/2022	01-45-7130 COMPUTER SUPPORT/IT	2,832.00	.OD		
Total CARASOFT TECHNOLOGY CORPORATION:				2,832.00	.DO		
<b>Carrie Heimann</b>							
0726	REFUND	07/26/2022	11-10-7410 REFUNDS PAID	213.00	.DO		
Total Carrie Heimann:				213.00	.DO		
<b>CHAMPAIGN COUNTY REGIONAL PLANNING</b>							
2023 Members	MEMBERSHIP FEE	07/01/2022	01-30-7137 CONTRACTED SERVICES	7,038.00	.OD		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total CHAMPAIGN COUNTY REGIONAL PLANNING:				7,038.00	.00		
<b>CHAMPAIGN MULTIMEDIA GROUP</b>							
Ad# 00948113	PUBLIC HEARING NOTICE	08/08/2022	01-30-7350 PUBLISHING-ADMINISTRA	393.60	.00		
Ad# 00948123	PUBLIC HEARING NOTICE	08/08/2022	01-30-7350 PUBLISHING-ADMINISTRA	116.00	.00		
Total CHAMPAIGN MULTIMEDIA GROUP:				509.60	.00		
CHEMICAL MAINTENANCE, INC.							
S054050	PAPER TOWELS	07/19/2022	01-10-7321 GEN/OFFICE SUPPLIES	52.15	.00		
Total CHEMICAL MAINTENANCE, INC.:				52.15	.00		
CIRBN, LLC							
8.2022	ADMIN	08/05/2022	01-30-7391 UTILITIES	107.99	.00		
8.2022	CD	08/05/2022	01-40-7391 UTILITIES	107.99	.00		
8.2022	S&A	08/05/2022	01-20-7391 UTILITIES	107.98	.00		
8.2022	REC	08/05/2022	11-00-7391 UTILITIES	107.98	.00		
Total CIRBN, LLC:				431.94	.00		
CIRCLE K							
82510414	FUEL & CAR WASH PURCHASE	07/23/2022	01-10-7451 VEHICLE FUEL	585.32	.00		
Total CIRCLE K:				585.32	.00		
<b>CORE &amp; MAIN LP</b>							
R308870	METERS/RADIOS	08/08/2022	03-00-7318 METERS	837.92	.00		
R308870	METERS/RADIOS	08/08/2022	02-00-7318 METERS	837.93	.00		
R325158	METER COUPLINGS	08/09/2022	02-00-7318 METERS	724.87	.00		
R325158	METER COUPLINGS	08/09/2022	03-00-7318 METERS	724.88	.00		
SC15189	METER	08/08/2022	02-00-7501 MISCELLANEOUS	36.77	.00		
Total CORE & MAIN LP:				2,762.37	.00		
D1NETWORKS LLC							
628 -PD	PD ALARM	08/08/2022	01-10-7391 UTILITIES	55.00	.00		
Total D1 NETWORKS LLC:				55.00	.00		
DAVE PARSONS ELECTRIC							
8.1.2022 WOR	BALLASTS	08/02/2022	01-30-7075 BUILDING MAINT	264.50	.00		
Total DAVE PARSONS ELECTRIC:				264.50	.00		
<b>DEAN'S GRAPHICS</b>							
39424	SOCCER SIGNS	08/02/2022	11-10-7210 SOCCER	27.00	.00		
39446	EVENT BANNERS	08/09/2022	11-10-7245 SPECIAL EVENTS	140.00	.00		
Total DEAN'S GRAPHICS:				167.00	.00		
<b>DELTA DENTAL OF ILLINOIS-RISK</b>							
8.2022	DEANTALINS	08/02/2022	01-00-2050 WITHHELD HI, VISION,DE	1,352.90	.00		
Total DELTA DENTAL OF ILLINOIS-RISK:				1,352.90	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>ENGINEERING &amp; RESEARCH INTERNATIONAL INC</b>							
MTS-22-002.2	MTS-22-002.2	08/04/2022	33-00-7142 ENGINEERING	1,367.50	.00		
MTS-22-002.3	MTS-22-002.3	08/04/2022	33-00-7142 ENGINEERING	407.50	.00		
MTS-22-002.4	MTS-22-002.4	08/08/2022	33-00-7142 ENGINEERING	4,072.00	.00		
MTS-22-008.1	MTS-22-008,1	08/08/2022	01-45-7142 ENGINEERING CONSULT!	1,475.50	.00		
Total ENGINEERING & RESEARCH INTERNATIONAL INC:				7,322.50	.00		
<b>ENVIRONMENTAL SOLUTIONS &amp; SERVICES, INC.</b>							
8.2022	ENG CLEAN	08/08/2022	01-45-7075 BUILDING MAINTENANCE	205,00	.00		
8.2022	ADMINCLEAN	08/08/2022	01-30-7075 BUILDING MAINT	766,00	.00		
8.2022	PARKS CLEAN	08/08/2022	12-00-7075 BUILDING MAINTENANCE	185,50	.00		
8.2022	SA CLEAN	08/08/2022	01-20-7075 BUILDING MAINT	185,50	.00		
8,2022	PD CLEAN	08/08/2022	01-10-7075 BUILDING MAINT	1,012.00	.00		
Total ENVIRONMENTAL SOLUTIONS & SERVICES, INC.:				2,354.00	.00		
<b>EVANS, FROEHLICH, BETH &amp; CHAMLEY</b>							
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	225.00	.00		
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	337.50	.00		
AUGUST 1, 20	CD LEGAL	08/10/2022	01-40-7314 LEGAL FEES	900.00	.00		
AUGUST 1, 20	CD LEGAL	08/10/2022	01-40-7314 LEGAL FEES	900.00	.00		
AUGUST 1, 20	ENG LEGAL	08/10/2022	01-45-7314 LEGAL	337.50	.00		
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	180.00	.00		
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	337.50	.00		
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	450.00	.00		
AUGUST 1, 20	CD LEGAL	08/10/2022	01-40-7314 LEGAL FEES	450.00	.00		
AUGUST 1, 20	CD LEGAL	08/10/2022	01-40-7314 LEGAL FEES	1,687.50	.00		
AUGUST 1, 20	ADMIN LEGAL	08/10/2022	01-30-7314 LEGAL FEES-ADMINISTRA	2,250.00	.00		
AUGUST 1, 20	CD LEGAL	08/10/2022	01-40-7314 LEGAL FEES	164.00-	.00		
Total EVANS, FROEHLICH, BETH & CHAMLEY:				7,891.00	.00		
<b>FASTSIGNS, INC</b>							
260-56909	EAGLE SCOUT SIGNS	07/25/2022	12-00-7405 PARK MAINT./IMPROVEME	70.46	.00		
Total FASTSIGNS, INC:				70.46	.00		
<b>FEHR GRAHAM ENGINEERING &amp; ENVIRONMENTAL</b>							
109085	SEWER LINING	08/08/2022	04-00-7400 CAPITAL IMPROVEMENTS	615.00	.00		
Total FEHR GRAHAM ENGINEERING & ENVIRONMENTAL:				615.00	.00		
<b>FEUTZ CONTRACTORS, INC.</b>							
ST-22SMR Est	PHASE 1 SOUTH MAHOMET RD	08/09/2022	33-00-7142 ENGINEERING	538,041.00	.00		
ST-23ADA	ST-23ADA	08/04/2022	01-10-7075 BUILDING MAINT	3,330.50	.00		
ST-23ADA	ST-23ADA	08/04/2022	35-00-7400 CAPITAL IMPROVEMENTS	36,617.63	.00		
Total FEUTZ CONTRACTORS, INC.:				577,989.13	.00		
<b>GAMETIME</b>							
PJI-0172835	PLAYGROUND	08/02/2022	12-00-7470 CAPITAL IMPROVEMENT	43,125.00	.00		
PJI-0188485	BARBER PARK PLAY SURFACE	07/19/2022	12-00-7470 CAPITAL IMPROVEMENT	96,590,84	.00		
Total GAMETIME:				139,715.84	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>Garrett Oostdyk</b>							
RE Tax Rebate	TAX REBATE	08/11/2022	01-30-7376 TAX REBATE-TAXES	401.30	.00		
Total Garrett Oostdyk:				401.30	.00		
<b>GFI DIGITAL, INC.</b>							
2295873	MONTHLY COPIER CHARGE	08/02/2022	01-10-7321 GEN/OFFICE SUPPLIES	207.71	.00		
2295900	COPIER	08/02/2022	01-20-7322 OFFICE SUPPLIES	106.50	.00		
Total GFI DIGITAL, INC.:				314.21	.00		
<b>GRAHAM TROPHIES</b>							
072208	BARBER PARK PLAQUES	07/25/2022	12-00-7470 CAPITAL IMPROVEMENT	817.50	.00		
Total GRAHAM TROPHIES:				817.50	.00		
<b>GUNTHER SALT COMPANY</b>							
434499	ROCKSALTWTR	08/02/2022	02-00-7100 CHEMICALS	3,839.35	.00		
434500	ROCK SALT WTR	08/02/2022	02-00-7100 CHEMICALS	3,580.82	.00		
Total GUNTHER SALT COMPANY:				7,420.17	.00		
<b>HACH COMPANY</b>							
13107657.2	LAB REAGENTS	07/06/2022	02-00-7316 LAB CHEMICALS	741.14	.00		
Total HACH COMPANY:				741.14	.00		
<b>HAWKINS, INC.</b>							
6239241	CHLORINE	07/19/2022	02-00-7100 CHEMICALS	60.00	.00		
6252838	SODIUM THIOSULFATE	08/02/2022	03-00-7100 CHEMICALS	3,774.72	.00		
Total HAWKINS, INC.:				3,834.72	.00		
<b>HEALTH ALLIANCE</b>							
8.2022	HEALTH INS	08/02/2022	01-00-2050 WITHHELD HI, VISION,DE	35,083.98	.00		
Total HEALTH ALLIANCE:				35,083.98	.00		
<b>HOERR CONSTRUCTION INC.</b>							
	JOB# 22098-38	08/09/2022	01-20-7130 DRAINAGE	709.00	.00		
Total HOERR CONSTRUCTION INC.:				709.00	.00		
<b>HOUCHIN, TERESA</b>							
0728	REFUND	07/28/2022	11-10-7410 REFUNDS PAID	85.00	.00		
Total HOUCHIN, TERESA:				85.00	.00		
<b>ILLINI F. S. INC</b>							
80049852	SA FUEL	08/08/2022	01-20-7451 VEHICLE & EQUIPMENT F	80.16	.00		
80049852	WATER FUEL	08/08/2022	02-00-7451 VEHICLE FUEL	40.67	.00		
80049852	SEWER FUEL	08/08/2022	03-00-7451 VEHICLE FUEL	40.67	.00		
80049852	PARKS FUEL	08/08/2022	12-00-7451 VEHICLE FUEL	35.95	.00		
80049919	SA FUEL	08/08/2022	01-20-7451 VEHICLE & EQUIPMENT F	80.16	.00		
80049919	WATER FUEL	08/08/2022	02-00-7451 VEHICLE FUEL	40.67	.00		
80049919	SEWER FUEL	08/08/2022	03-00-7451 VEHICLE FUEL	40.67	.00		
80049919	PARKS FUEL	08/08/2022	12-00-7451 VEHICLE FUEL	35.95	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total ILLINI F. S. INC:				394.90	.00		
<b>ILLINOIS PORTABLE TOILETS</b>							
53792	PORTABLE TOILETS	08/04/2022	11-10-7245 SPECIAL EVENTS	145.00	.00		
54018	PORTABLE TOILETS	08/04/2022	11-10-7420 RENTALS	164.00	.00		
54019	PORTABLE TOILETS	08/04/2022	11-10-7420 RENTALS	99.00	.00		
Total ILLINOIS PORTABLE TOILETS:				408.00	.00		
<b>IMCO UTILITY SUPPLV</b>							
2067508-00	STORM SEWER REPAIR	07/07/2022	01-20-7130 DRAINAGE	155.60	.00		
Total IMCO UTILITY SUPPLY:				155.60	.00		
<b>JX ENTERPRISES, INC.</b>							
2076117p	AIR BRAKE	08/02/2022	01-20-7211 EQUIPMENT & VEHICLE M	206.98	.00		
Total JX ENTERPRISES, INC.:				206.98	.00		
<b>KIRCHNER BUILDING CENTERS</b>							
226913	SIGN PLACEMENT	08/08/2022	01-20-7361 STREET/SIDEWALK REPAI	24.24	.00		
232871	OFFSET MARKING STAKES	08/08/2022	01-20-7361 STREET/SIDEWALK REPAI	19.18	.00		
Total KIRCHNER BUILDING CENTERS:				43.42	.00		
<b>MAHOMET ACE HARDWARE</b>							
08/04/22	BUG KILLER	08/04/2022	01.10.7075 BUILDING MAINT	17.99	.00		
08/10/22	MOUNTING TAPE FOR SIGNS	08/10/2022	01•10•7075 BUILDING MAINT	8.99	.00		
7.2022#2	WATER	08/03/2022	03•00•7080 BUILDING MAINT/GROUN	125.05	.00		
7.2022 #2	SEWER	08/03/2022	02•00•7080 BUILDING MAINT/GROUN	125.05	.00		
7.2022 #2	ADMIN	08/03/2022	01-30-7075 BUILDING MAINT	26.75	.00		
7.2022 #2	ADMIN	08/03/2022	01•45•7075 BUILDING MAINTENANCE	18.58	.00		
7.2022 #2	TRANSPORTATION	08/03/2022	01-20•7375 SHOP SUPPLIES	110.08	.00		
7.2022 #2	PARKS	08/03/2022	12-00•7201 EQUIPMENT/MATERIALS-	37.98	.00		
7.2022 #2	PARKS	08/03/2022	12.00.7201 EQUIPMENT/MATERIALS-	36.35	.00		
7.2022 #2	PARKS	08/03/2022	12.00.7201 EQUIPMENT/MATERIALS-	5.68	.00		
7.2022 #2	PARKS	08/03/2022	12.00.7201 EQUIPMENT/MATERIALS-	79.60	.00		
7.2022#2	PARKS	08/03/2022	12.00.7201 EQUIPMENT/MATERIALS-	35.07	.00		
Total MAHOMET ACE HARDWARE:				627.17	.00		
<b>MAHOMET LANDSCAPES</b>							
62303456	TREE PRUNING	08102/2022	01-20•7385 FORESTRY SERVICE	500.00	.00		
62303468	MULCH	08/02/2022	01-30•7075 BUILDING MAINT	385.00	.00		
Total MAHOMET LANDSCAPES:				885.00	.00		
<b>MAHOMET WATER/SEWER</b>							
8.2022 *DOW	DOWELL PARK	08/10/2022	02.00.7391 UTILITIES	73.04	.00		
8.2022 703 MC	703 MCDOUGAL	08/10/2022	12.00.7391 UTILITIES	10.00	.00		
8.2022 -ADMIN	ADMIN	08/10/2022	01.30.7391 UTILITIES	71.85	.00		
8.2022 -ADMIN	ADMIN	08/10/2022	01--40•7391 UTILITIES	71.85	.00		
8.2022 -BRIDA	BRIDAL LEASH 1	08/10/2022	12-00•7391 UTILITIES	30.30	.00		
8.2022 BRIDAL	BRIDAL LEASH 2	08/10/2022	12-00•7391 UTILITIES	25.21	.00		
8.2022 PD Bid	PD BUILDING	08/10/2022	01-10•7391 UTILITIES	22.86	.00		
8.2022 WHITE	WHITEHOUSE	08/10/2022	01.45.7391 UTILITIES	12.86	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total MAHOMET WATER/SEWER:				317.97	.00		
<b>MAIN STREET CONSTRUCTION CO.</b>							
627	FENCE	08/08/2022	01-20-7361 STREET/SIDEWALK REPAI	130,00	.00		
Total MAIN STREET CONSTRUCTION CO.:				130,00	.00		
<b>MENARDS</b>							
39890	FIELD PAINT	07/21/2022	11-10-7100 FIELD MAINTENANCE	159,92	.00		
40897	SILT SOCKS	08/04/2022	01-30-7211 EQUIPMENT MAINT & REP	161.78	.00		
40917	FIELD PAINT	08/04/2022	11-10-7100 FIELD MAINTENANCE	559.72	.00		
Total MENARDS\$:				881.40	.00		
<b>MIDSTATE EXCAVATION INC</b>							
1771	BARBER IMPROVEMENTS	08/11/2022	12-00-7470 CAPITAL IMPROVEMENT	86,450.00	.00		
Total MIDSTATE EXCAVATION INC:				86,450.00	.00		
<b>MIDWEST CONSTRUCTION RENTALS #2</b>							
170162-2	STUMP GRINDER	07/06/2022	01-20-7232 EQUIPMENT RENTAL	210.00	.00		
Total MIDWEST CONSTRUCTION RENTALS #2:				210.00	.00		
<b>MIDWEST ENGINEERING AND TESTING, INC.</b>							
C23071-207	PEDESTR BRIDGE SANG.	08/02/2022	01-45-7142 ENGINEERING CONSULT!	2,300.00	.00		
TotalMIDWEST ENGINEERING AND TESTING, INC.:				2,300.00	.00		
<b>MINUTEMAN PRESS</b>							
70355	WATER BLUE INDEX	08/09/2022	02-00-7318 METERS	251.72	.00		
70355	SEWER BLUE INDEX	08/09/2022	03-00-7318 METERS	251.73	.00		
Total MINUTEMAN PRESS:				503.45	.00		
<b>NATIONAL WASH AUTHORITY, LLC</b>							
5779	CLEAN WATER TOWER	08/08/2022	02-00-7456 WATER SYSTEM MAINT	6,900.00	.00		
Total NATIONAL WASH AUTHORITY, LLC:				6,900.00	.00		
<b>North East Multi Regional Training, Inc</b>							
307840	JUVENILE SPECIALIST TRAJNIN	08/03/2022	01-10-7355 RECRUITMENT/HIRING	75.00	.00		
Total North East Multi Regional Training, Inc:				75.00	.00		
<b>P &amp; P HEATING AND COOLING</b>							
5280	A/C REPAIR CONTROL PANELS	07/25/2022	02-00-7080 BUILDING MAINT/GROUN	147.50	.00		
Total P & P HEATING AND COOLING:				147.50	.00		
<b>PETTY CASH</b>							
ICE	ICE	08/02/2022	01-30-7115 BOARD EXPENSES	10.00	.00		
Total PETTY CASH:				10.00	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>PROGRESSIVE CHEMICAL &amp; LIGHTING INC.</b>							
52921	PAINT	08102/2022	01-20-7361 STREET/SIDEWALK REPAI	126.63	.00		
Total PROGRESSIVE CHEMICAL & LIGHTING INC.:				126.63	.00		
<b>RAY O'HERRON CO.,INC.</b>							
2210209	GOODWIN VEST CARRIER	07/29/2022	01-10-7401 UNIFORMS	312.69	.00		
2212476 (1 of	WARD SHIRT, BAR, MISC	08/10/2022	01-10-7401 UNIFORMS	301.69	.00		
2212476 (2 of	AMMO	08/10/2022	01-10-7371 SCHOOLS/TRAINING/TRA	750.50	.00		
Total RAY O'HERRON CO.,INC.:				1,364.88	.00		
<b>RECDESK SOFTWARE</b>							
12738	RECDESKANN SVC	08/08/2022	11-00-7190 HARDWARE/SOFTWARE	2,900.00	.00		
Total RECDESK SOFTWARE:				2,900.00	.00		
<b>ROCK, JORDAN</b>							
8.3.2022 Adult	ADULT FIT	08/04/2022	11-10-7060 CONTRACTED EMPLOYEE	59.50	.00		
Total ROCK, JORDAN:				59.50	.00		
<b>SANGAMON ON MAIN LLC</b>							
9.2022	GYM LEASE	08/04/2022	11-10-7420 RENTALS	2,250.00	.00		
Total SANGAMON ON MAIN LLC:				2,250.00	.00		
<b>SANGAMON VALLEY PUBLIC WATER DISTRICT</b>							
8.2022	PARKS	08/02/2022	12-00-7391 UTILITIES	11.87	.00		
8.2022	TRANS	08/02/2022	01-20-7391 UTILITIES	23.74	.00		
Total SANGAMON VALLEY PUBLIC WATER DISTRICT:				35.61	.00		
<b>SORENSEN, CLARK</b>							
7/18/2022 Time	UMPIRE -SORENSEN	08/01/2022	11-10-7050 CONTRACTED EMPLOYEE	90.00	.00		
7/25/2022 Time	UMPIRE -SORENSEN	08/08/2022	11-10-7050 CONTRACTED EMPLOYEE	60.00	.00		
8/1/2022 Times	UMPIRE -SORENSEN	08/08/2022	11-10-7050 CONTRACTED EMPLOYEE	90.00	.00		
Total SORENSEN, CLARK:				240.00	.00		
<b>STILLWATER ENTERPRISES, INC.</b>							
22-863	PLAYGROUND MULCH	07/26/2022	12-00-7610 TREE PROGRAM	2,375.50	.00		
22-863	PLAYGROUND MULCH	07/26/2022	12-00-7405 PARK MAINT./IMPROVEME	2,375.60	.00		
Total STILLWATER ENTERPRISES, INC.:				4,751.00	.00		
<b>TEPPER ELECTRIC</b>							
1003-1060414	VILLAGE GREEN ELECTRICAL	08102/2022	01-30-7075 BUILDING MAINT	221.25	.00		
Total TEPPER ELECTRIC:				221.25	.00		
<b>TERMINIX SERVICES, INC.</b>							
1051742	PEST CONTROL	08/04/2022	01-30-7075 BUILDING MAINT	55.00	.00		
Total TERMINIX SERVICES, INC.:				55.00	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>UPS</b>							
0000Y8V67529	BOX SHIPMENT	08/02/2022	03-00-7320 LIFT STATION MAINTENA	12.92	.00		
Total UPS:				12.92	.00		
<b>USA BLUE BOOK</b>							
046470	MARKING FLAGS	08/04/2022	02-00-7130 DISTRIBUTION COST	234.41	.00		
046519	MARKING PAINT	08/04/2022	02-00-7130 DISTRIBUTION COST	147.18	.00		
Total USA BLUE BOOK:				381.59	.00		
<b>VERIZON WIRELESS</b>							
9911537991	METCADS	07/19/2022	01-10-7331 METCAD	403.05	.00		
Total VERIZON WIRELESS:				403.85	.00		
<b>VERMEER SALES &amp; SERVICE</b>							
PC0317	VACTOR PRESSURE WAND	08/02/2022	02-00-7211 EQUIPMENT MAINT. & REP	337.87	.00		
Total VERMEER SALES & SERVICE:				337.67	.00		
<b>WARREN, PAT</b>							
0804	REFUND	08/05/2022	11-10-7410 REFUNDS PAID	105.00	.00		
Total WARREN, PAT:				105.00	.00		
<b>WEINMANN'S CULLIGAN WATER</b>							
07/31/2022	DRINKING WATER	07/31/2022	01-10-7321 GEN/OFFICE SUPPLIES	90.40	.00		
Total WEINMANN'S CULLIGAN WATER:				90.40	.00		
Grand Totals:				985,465.89	.00		

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 Included.
- Only unpaid Invoices Included.



**RESOLUTION NUMBER 22-08-**

**A RESOLUTION NAMING CERTAIN PROPERTY OWNED BY THE VILLAGE AND DESIGNATING THIS OPEN SPACE A PARK**

**VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS**

**WHEREAS**, the Village Board of Trustees previously approved Ordinance 19-06-02 on June 25, 2019 authorizing the purchase of the property and closed on the property July 31, 2019; and,

**WHEREAS**, the Village Board of Trustees previously adopted a “Mahomet Parks and Recreation Naming Rights Policy” by Resolution 12-01-03 on November 25, 2014; and,

**WHEREAS**, under this policy, a park is defined as all traditionally designed parks, gardens, natural open spaces, and specialized parks under the stewardship of the Mahomet Parks and Recreation Department; and,

**WHEREAS**, this property meets the definition of a park under; and,

**WHEREAS**, assigning a name is a powerful and permanent identity for a public place; and

**WHEREAS**, excessive changing of park or facility names can be the source of confusion to the public; and,

**WHEREAS**, the naming of this park property, “Freedom Plaza” will engender a strong positive image, be appropriate having regard to the park or recreational facility’s location, have historical, cultural or social significance for future generations, have symbolic value that transcends ordinary meaning or use as well as enhances the character and identity of the park, have broad public support, and shall not result in the undue commercialization of the; and,

**WHEREAS**, the name has met the criteria set form in the “Mahomet Parks and Recreation Naming Rights Policy”; and,

**WHEREAS**, the name will best serve the interests of the Village, as well as ensure a worthy and enduring legacy for the Village’s parks and recreation system.

**NOW, THEREFORE, BE IT RESOLVED, PASSED, AND APPROVED**, this 24<sup>th</sup> day of May 2022 by the Board of Trustees of the Village of Mahomet that:

1. The Village-owned property, generally located at the southwest corner of the intersection of Main Street and Jefferson Street, is described below:

Tract I

The North Half of Lot 25 and the North Half of Lot 27, except the West 16 1/2 feet

thereof, in the Original Town of Middletown, now Mahomet, as per plat recorded in Deed Record "A" at Page 91, in Champaign County, Illinois.

P.I.N.: 15-13-15-182-008

Commonly known as: 511 E. Main St., Mahomet, IL 61853

#### Tract II

The South Half of Lot 25 and the South Half of Lot 27, except the West 16 1/2 feet thereof, in the Original Town of Middletown, now Mahomet, as per plat recorded in Deed Record "A" at Page 91, Champaign County, Illinois.

P.I.N.: 15-13-15-182-009

Commonly known as: 107 S. Jefferson St., Mahomet, IL 61853

#### Tract III

Lot 29 and the West one rod of Lot 27 in the Original Town of, Middletown, now Mahomet, as per plat recorded in Deed Record "A" at Page 91, in Champaign County, Illinois.

P.I.N.: 15-13-15-182-006

Commonly known as: 507 East Main Street, Mahomet, IL 61853

#### Tract IV

Beginning at the Southeast corner of Lot 25 in the Original Town of Middletown, now Mahomet, in Champaign County, Illinois; thence Northwesterly along the South line of said Middletown 193 feet, more or less, to a fence; thence South along said fence to a point 75 feet North of the North line of the cemetery; thence Easterly 198 feet, more or less, to a point on the West line of Jefferson Street which said point is 53 feet North of the North line of the cemetery; thence North along the West line of Jefferson Street to a place of beginning, in Champaign County, Illinois.

P.I.N.: 15-13-15-182-011

Commonly known as: 201 S. Jefferson St., Mahomet, IL 61853

#### Tract V

From the Southeast corner of Lot 25 in the Original Town of Middletown, now Mahomet, Champaign County, Illinois; thence Northwesterly along the South line of said Middletown 193 feet, more or less, to a fence; thence South along said fence to a point 75 feet north of the north line of the cemetery for a point of beginning; thence South 75 feet to the North line of the cemetery; thence Easterly along the North line of the cemetery to Jefferson Street; thence North along the West line of Jefferson Street 53 feet; thence Westerly 198 feet, more or less, to the place of beginning, in Champaign County, Illinois.

P.I.N.: 15-13-15-182-012

Commonly known as: 301 S. Jefferson St., Mahomet, IL 61853

All collectively the "Property".

2. The Property is designated a "Park" and is named "Freedom Plaza"..

3. Village officials and staff are hereby directed to take such action as is necessary to carry out the intent of this Resolution including, without limitation, the erection of signage to so designate the Property.

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Sean M. Widener, Village President  
Board of Trustees  
Village of Mahomet

Attest:

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Amanda Andersen, Village Clerk



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Monthly Report – July Report</b>	<b>DEPARTMENT: Park &amp; Recreation Department</b>
<b>AGENDA SECTION: Department Reports</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> ( ) ORDINANCE ( ) RESOLUTION ( ) OTHER SUPPORTING DOCUMENTS	<b>DATE: 8/16/22</b>

**Programming / Admin**

- Soccer prep 598 participants, held coaches meeting and officials meeting preseason. Practices have begun. Games begin 8/6. Still recruiting officials, If you know of any send them to Denise.
- Marketing/social media for upcoming programs, sent out August newsletter
- Summer Concert is this Friday, downtown Mahomet – check out or FB for information
- Summer camp winding down, just a couple of weeks remain.
- Pickleball ongoing + Adult Fitness classes ongoing
- Administration of field rentals and gym, multipurpose room rentals ongoing
- Assisting the MCF to promote 1<sup>st</sup> Annual Presidents Golf Outing for a fundraiser – details or to participate here - <https://givebutter.com/wjatdr>

**CIP Project**

- Barber Project
  - Playground is 100% complete, Poured in place and fibar play surfaces 100% complete. Stage: walls complete, drainage work 90% complete, Splash pad: footings and anchors complete – 15% complete, pathways – 40% complete. Preparing draft designs w/vendors for sponsor and village recognition signage ongoing
  - Ongoing coordination of Lions grant, OSLAD grant, IDNR. 25K Lions LCIF money has been received and deposited. Completed extension paperwork for OSLAD agreement, this will allow us extension to complete required work for final reimbursement
- Tennis/Pickle
  - Plan to rebid in winter months (DEC or JAN)
  - Ongoing communication/coordination for DCEO grant, submitted all required preliminary paperwork for Prop acquisition. The scope of work will be complete and submitted this week or next
  - 13 Acres Master Plan – Staff just received first draft concept. Scheduling follow up with Farnsworth for initial staff review and discussion

**Parks Maintenance**

- Ball diamond prep dwindling as seasons wind down for recreation and travel ball. Adult SB ongoing on Mondays.
- Round up at parks where needed.
- Most of staff time spent prepping soccer fields and setting up goals – 15+ various size fields

- Mowing
- Repaired water line at Barber pavilion
- Adding playground mulch to playgrounds @ B Leash, B Johnson and Brooks Warfel
- Trash run / park restrooms cleaning weekly

**DEPARTMENT HEAD APPROVAL:**



**VILLAGE ADMINISTRATOR:**





## TRANSPORTATION DEPARTMENT JULY 2022 REPORT

- Mowed all parks and Village facilities as assigned.
- Checked / emptied trash cans on Main Street as needed.
- “Blotted” bleeding oil road with chips.
- Graded the alley north of Main Street between Elm Street and Lincoln Street in preparation for paving.
- Met with Illiana Construction to look at the areas to be milled prior to paving.
- Performed weed abatement at a few locations.
- Assisted Illiana construction with profile and butt joint milling as needed.
- Graded the rock at the Police Department garage.
- Replaced the air brake camber on the right rear tandem axle on truck 201.
- Set out and retrieved barricades and message boards for the Auto Festival.
- Cored out subgrade and a stump in the cul-de-sac on Riverside Court and place 3” base rock and road pack in preparation for paving.
- Had the rear brakes replaced on truck 206.
- Added rock and compacted Riverside Court.
- Checked areas for any issues.
- Installed “No Overnight Parking” signs at the parking lot at Main Street and Division Street.
- Assisted with traffic control and other issues during paving.
- Patched the following locations:  
Alley behind Cornbelt, Dunbar Street, 806 Colony Grove (W/WW repair) and McDougal Rd.



**MAHOMET POLICE DEPARTMENT  
MONTHLY REPORT SUMMARY  
2022**

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD
METCAD Calls	294	245	316	261	319	331	370						
2021	291	325	337	338	380	361	432	413	339	457	384	280	4337
													<b>YTD</b>
Reports	39	40	49	48	61	61	59						
2021	61	50	66	59	56	62	40	59	60	62	60	45	680
													<b>YTD</b>
Criminal Arrests	1	1	1	2		1	1						7
Traffic Arrests	1	3	3		2	2							11
Warrant Arrests			1		1	3	3						8
NTA's		3	2	3	3								11
													<b>YTD</b>
Citations	34	38	32	22	26	34							186
Civil Citations													0
Written Warnings	104	42	73	65	67	65							416
													<b>YTD</b>
Regular Hours	1126.5	1724.5	1711.5	2296	1750.5	1717.75	1638.5						11965.25
Overtime Hours	47.75	12.5	9.75	43.75	75.5	26	68						283.25
Personal Hours	16	8				16	32						72
Vacation Hours	215		69	109	124	72	120						709
Sick Hours	70		8	40	36.5	26	6						150
Holiday Hours	148	71		68		64	48						463
FTO						121.8	80						201.8
Comp Time Earned	29.25	50.75	94.75	187.5	73.25	67	53.25						555.75
Comp Time Used	8	94.5	67.5	110	39.25	71.75	64.5						455.5
<b>TOTAL</b>	<b>1660.5</b>	<b>1961.25</b>	<b>1960.5</b>	<b>2854.25</b>	<b>2099</b>	<b>2182.3</b>	<b>2110.25</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>14828.05</b>
													<b>YTD</b>
Training Hours	64	56	60	60	58	156	58						512
Patrol Miles Driven	7886	6872	8554	6960	8681	7452	7920.9						54325.9
Burning Complaints	1		2		1	1	1						6
ESDA Events													0
Animal Calls	11	6	10	8	10	12	2						59

\*January C-19 hours =104+132.5  
W/O C-19 = 28



## Engineer's Monthly Report July 2022

- South Mahomet Rd:
  - Feutz completed storm sewer. Still have 2 culverts to install along the RR. Waiting on authorization from RR's engineer to do that work. Completed earthwork for mainline roadway, including remediation of an area west of the roundabout. Placed sub-base aggregate from Sta 209+00 to the east end. Received steel delivery for PCC pavement.
  - Cross hired Hoerr Construction for cleaning and video of downstream sewer. All is good. Waiting on video. Have a dispute on a bill and have not finalized the contract yet.
- MFT: Illiana started on July 21 with milling and sweeping to prepare for paving. Paved binder layer of pug. Surface paving is scheduled Aug 8.. Steel Slag sealing tentatively scheduled for Aug 12. Put considerable effort into notifications.
- Concrete Maintenance Projects: Feutz has completed the sidewalk and sidewalk ramp replacements.
- Illini Concrete Raising performed pavement slab raising and void filling in Timber Ridge, Thornewood and Oak Creek.
- Chastain Associates had MET perform a soil boring at the north abutment of the truss bridge on the bikepath. The boring yielded very good results. Will be addressing the temporary support asap.
- Varsity Striping painting pavement markings on Wednesday: Main St, S Mahomet Rd, Purnell Dr, Taylor Field Parking lot, and repairing x-walk on S leg of LoW-150 signalized intersection.
- Dealing with a complaint. Consultation with our atty.
- Dealing with a complaint and trying to keep other projects rolling.
- Have a list of locations and requested quote from Mike Jansen for sidewalk mud jacking.
- Took vacation the last week of the month. Work was covered by inspector from ERI and engineering department intern.



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES

<b>ITEM:</b> Monthly Report.	<b>DEPARTMENT:</b> Community Development
<b>AGENDA SECTION:</b> Administrator's Report	<b>AMOUNT:</b> NA
<b>ATTACHMENTS:</b> None	<b>DATE:</b> For August 16 2022

**SITE DEVELOPMENT PLANS:**

1. **Kimball Storage Units** – 2 buildings on Clark Street. Grade changes and fill are underway. Pads/foundation being poured for buildings. BKB Engineering is project engineer with support from Hartke Engineering.
2. **Hacienda Rebollo** – mexican restaurant east of Churchill Commons. Site plans are approved and construction has not yet commenced. Mohr and Kerr, Peoria, IL is project engineer.
3. **The Reserves at Vision South** – a residential rental community on east Patton Drive.. Plans for the four unit townhouse buildings are approved with stakeout verification by the developer's engineer. Five (5) occupancy permits for the detached homes have been issued.
4. **203/205 E Oak Street** – **UPDATE** – *IDOT is requesting changes have made the project infeasible. Developer is rethinking strategy.* Fehr Graham is the developer's engineer.
5. **1104 Patton Drive** – Tabeing Development commercial building.
6. **110 S Lombard St** – James Hay alteration to building – conversion from house to office. Variance for setbacks granted in February. No site or building plans received. ON HOLD
7. **Solace of Mahomet** – **UPDATE:** *occupancy permits granted in one building of phase 2.* All building permits have been issued.

**SUBDIVISIONS:**

1. **Thornewood** – home building underway. Inspection of infrastructure and acceptance by the Village expected this summer. Outstanding item is final grading, site stabilization and placement of erosion control. Developer working on basin area in preparation for platting and turnover next year. **UPDATE:** *received construction plans for the last phase of this development.*
2. **Sangamon Fields** – Inspection of infrastructure and acceptance by the Village expected this summer
3. **Hunters Ridge** – home building underway. Inspection of infrastructure and acceptance by the Village expected by year end.
4. **Bridlebrook Development Tract** – **UPDATE:** Developer has purchased land and recorded the subdivision. Construction of homes is imminent. Developer will pursue amendment to PUD on his own.
5. **Tin Cup Campground** – residential lot portion with new intersection with Tin Cup Road in preliminary design through BKB Engineering. Minor subdivision plat received to split the property into the campground property and a parcel for later redevelopment into single family homes. Plat is stalled pending rezoning action.
6. **Harvest Edge** – development agreement recorded. Construction Plans and Final Plat are expected soon for the next phase with construction Spring 2023.
7. **Fox Run Subdivision** – no plans at this time. The property has not been purchased yet by a developer and the land will require subdivision before any buiding permits could be approved.

8. **Conway Farms 5<sup>th</sup> Subdivision – Roberto Dr extension** street and sidewalk work completed but some storm related repairs are pending. Lots are platted and eligible for building permits. Conway covenants are proving difficult to sell lots.
9. **Minor subdivision in process:**
  - a. Beachy Sub – transfer of land to adjacent lot – RECORDED
  - b. Condo subdivision of 703 E. Eastwood Dr to accommodate Subway purchase of its portion – application expected but not yet received
  - c. Spence/Parkhill Farms waiver request for subdivision to allow transfer of 9± acres to adjacent and creating a smaller parcel for the Spence home. Nothing received yet.
  - d. Tin Cup Campground – plat and documents under final review. Subdivision will create a development lot and a lot for the campground.

**Building Permits**

7/15/2021 - 8/10/2021									
Single Family Residential (SFR)				New Commercial			Residential Investments		
MPWD	3	SVPWD	0	Single Use	0	\$0.00	Accessory	4	\$27,000.00
Well	0			Multi Use	0	\$0.00	Additions	3	\$246,465.00
Detached	3	Zerolot	0	Total Reported		\$0.00	Decks	4	\$23,940.80
<b>Total SFR Permits</b>			<b>3</b>	<b>Existing Commercial</b>			Fence	14	\$75,001.00
Total Reported Value SFR			\$820,000.00	Fit Outs	0	\$0.00	Pool	1	\$50,000.00
<b>Multi-Family</b>				Change of Use	0	\$0.00	Misc.	3	\$59,950.00
Buildings	0	Value	\$0.00	Temporary	0	\$0.00	Total Reported Value \$482,356.80		
Units	0			Signs	1	\$4,500.00	Right of Way Permits		
<b>TOTAL RESIDENTIAL CONSTRUCTION VALUE</b>			<b>\$820,000.00</b>	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$4,500.00</b>	Utilities	1	\$0.00
								<b>Jul 15 - Aug 10 Construction Permits</b>	<b>34</b>
7/15/2022 - 8/10/2022									
Single Family Residential (SFR)				New Commercial			Residential Investments		
MPWD	2	SVPWD	0	Single Use	0	\$0.00	Accessory	0	\$0.00
Well	0			Multi Use	0	\$0.00	Additions	2	\$10,000.00
Detached	2	Zerolot	0	Total Reported		\$0.00	Decks	2	\$24,000.00
<b>Total SFR Permits</b>			<b>2</b>	<b>Existing Commercial</b>			Fence	6	\$66,937.38
Total Reported Value SFR			\$650,000.00	Fit Outs	0	\$0.00	Pool	1	\$8,000.00
<b>Multi-Family</b>				Change of Use	0	\$0.00	Misc.	2	\$5,475.50
Buildings	0	Value	\$0.00	Temporary	0	\$0.00	Total Reported Value \$114,412.88		
Units	0			Signs	0	\$0.00	Right of Way Permits		
<b>TOTAL RESIDENTIAL CONSTRUCTION VALUE</b>			<b>\$650,000.00</b>	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$0.00</b>	Utilities	0	\$0.00
								<b>Jul 15 - Aug 10 Construction Permits</b>	<b>15</b>

Single Family Residential 2021						2021 Commercial			
MPWD	28	SVPWD	20	Residential Investments		New Commercial			
Well	0			Accessory	48	\$205,466.85	Single Use	1	\$0.00
Detached	47	Attached	0	Additions	7	\$260,065.00	Multi Use	0	\$0.00
<b>Total New Home Permits</b>			<b>47</b>	Decks	12	\$112,530.41	Total Reported	1	\$0.00
Total Reported Value	\$15,868,567.00			Fence	89	\$503,285.95	Existing Commercial		
<b>Multi-Family Residential 2021</b>				Pool	22	\$408,620.00	Fit Outs	2	\$60,000.00
Buildings	5	<b>Units</b>	<b>106</b>	Misc.	24	\$1,097,850.00	Change of Use	0	\$0.00
Total Reported Value	\$8,300,000.00			Total Reported Value	\$2,587,818.21		Temporary	3	\$0.00
New homes	47		Total DU	Right of Way Permits			Signs	9	\$4,500.00
Rental units	106		<b>153</b>	Utilities	7	\$0.00	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$64,500.00</b>
<b>Total Permits YTD</b>		<b>276</b>							
Single Family Residential 2022						2022 Commercial			
MPWD	43	SVPWD	20	Residential Investments		New Commercial			
Well	0			Accessory	34	\$366,160.00	Single Use	0	\$0.00
Detached	47	Attached	16	Additions	8	\$469,000.00	Multi Use	0	\$0.00
<b>Total New Home Permits</b>			<b>63</b>	Decks	18	\$289,035.97	Total Reported	0	\$0.00
Total Reported Value	\$19,646,832.00			Fence	69	\$523,983.78	Existing Commercial		
<b>Multi-Family Residential 2022</b>				Pool	16	\$252,034.15	Fit Outs	1	\$60,000.00
Buildings	17	<b>Units</b>	<b>45</b>	Misc.	27	\$227,700.50	Change of Use	0	\$0.00
Total Reported Value	\$6,290,000.00			Total Reported Value	\$2,127,914.40		Temporary	0	\$0.00
New homes	63		Total DU	Right of Way Permits			Signs	7	\$0.00
Rental units	45		<b>108</b>	Utilities	0	\$0.00	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$60,000.00</b>
<b>Total Permits YTD</b>		<b>270</b>							

<b>DEPARTMENT HEAD APPROVAL:</b> /s/ Kelly Pfeifer /s/ Ken Buchanan	<b>VILLAGE ADMINISTRATOR:</b> /s/ Patrick Brown
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AUGUST 2022  
OPERATORS REPORT

WATER SYSTEMS OPERATION AND MAINTENANCE

- 1- July 2022 daily average water production 691,000 gallons/day. July 2021 daily average water production 562,000 gallons/day.
- 2- Repaired 2 water main leaks on Saturday July 16<sup>th</sup>. First one was on State Street across from Lincoln Trail. The second one was on Eastwood Drive. The one on Eastwood had a hole in it the size of your fist! I estimated it was leaking at a rate of 700 gpm+
- 3- Repaired damaged water service line at 1714 Timberwolf drive.
- 4- Excavated and removed old meter pit and replaced it with curb stop for a new house being built at 206 East Main Street.
- 5- Replaced inoperable water service curb stop at 306 South Vine.
- 6- Repaired leaking water service at 502 Franklin.
- 7- Submitted monthly operations report to the EPA. Read water meters, completed shut offs for nonpayment. We average about 25-30 a month. Collected routine Bacti samples. Collected annual Nitrate sample.
- 8- Trying to keep Village Green somewhat green. Installed fresh mulch in the bump outs at Main and Elm and around the admin. office. Trimmed shrubs and cut back Perennials.

WASTEWATER SYSTEMS OPERATION AND MAINTENANCE

- 1- July 2022 daily average influent to the plant 460,000 gallons/day. July 2021 daily average influent to the plant 653,000 gallons/day.
- 2- Pulled one of the pumps at South Mahomet lift station, full of rags again.
- 3- Replaced a vacuum pump Solenoid at Nazarene lift station.
- 4- Sprayed weeds around Treatment plants and all lift stations.
- 5- Repaired 2 string trimmers.