



# Village of Mahomet

503 E. Main Street • P.O. Box 259 • Mahomet, Illinois 61853-0259

Phone: (217) 586-4456 • Fax: (217) 586-5696

[www.mahomet-il.gov](http://www.mahomet-il.gov) [www.ChooseMahomet.com](http://www.ChooseMahomet.com)

STUDY SESSION  
SEPTEMBER 20, 2022  
6:00 P.M.

VILLAGE OF MAHOMET ADMINISTRATION BUILDING  
503 E. MAIN STREET  
MAHOMET, IL 61853

Join Zoom Meeting

<https://us02web.zoom.us/j/84125785377?pwd=bl0vY3pEQVdXUjIjCUkduTTRVZ3BEZz09>

We invite the public to view the meeting (viewing only, no public comment via Zoom) as it is livestreamed on Zoom at 6:00PM

## AGENDA

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. **PUBLIC COMMENT:** The Board welcomes your input on any matter during the public forum portion of the meeting. If you would like to participate in the public comment portion of the meeting, please attend in person at Village Administration Building or email your comments or questions to us at [villageofmahomet@mahomet-il.gov](mailto:villageofmahomet@mahomet-il.gov), no later than 4:30 p.m. on September 20th. Any comments and questions received will be read during the public comment portion of the meeting. Public comment is accepted for a maximum of 30 minutes at each meeting. There is a five (5) minute time limit for your remarks. The Board reserves the right to shorten the five-minute time limit if there are many commenters. Please be aware that the Public Body is not required to respond to your remarks during their meeting. PUBLIC COMMENT NOT PERMITTED VIA VIDEO OR AUDIO.
5. **PRESENTATION: 13 Acres Park Master Plan Public Engagement Presentation, Amy Wilson, Farnsworth Group**
6. **ORDINANCES, RESOLUTIONS AND OTHER ACTIONS:**
  - A. **COMMUNITY DEVELOPMENT**
    1. A RESOLUTION CONCERNING CONSTRUCTION PLANS FOR THORNEWOOD LSRD SUBDIVISION PHASE 2 ON 20.35± ACRES OF LAND LOCATED SOUTH OF FOREST RIDGE DRIVE AND EAST OF BRIARWOOD LANE.
    2. AN ORDINANCE VACATING PART OF CLARK STREET IN THE VILLAGE OF MAHOMET, ILLINOIS.
    3. A RESOLUTION APPROVING AN AMENDMENT TO THE CERTIFICATE OF OWNER FOR A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION RECORDED JULY 25, 2002 AS DOCUMENT NO. 2002R23661.

**B. FINANCE**

**1. BILL LIST**

**7. ADMINISTRATOR'S REPORT:**

**A. DEPARTMENTAL REPORTS**

- 1. PARKS AND REC**
- 2. TRANSPORTATION**
- 3. POLICE**
- 4. ENGINEERING**
- 5. COMMUNITY DEVELOPMENT**
- 6. WATER/WASTEWATER**

**8. MAYOR'S REPORT:**

**A. SEPTEMBER 2022 BOARD MEETING CALENDAR**

- 1. BOARD OF TRUSTEES MEETING-SEPTEMBER 27, 2022 – 6:00 P.M.**

**9. NEW BUSINESS: (Discussion of any items that the Trustees may have for new business not listed on the agenda. No formal action will be taken on these items during this proceeding)**

**10. ADJOURNMENT**



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Thornewood LSRD Subdivision Phase 1 - Construction Plans</b>	<b>DEPARTMENT: Community Development</b>
<b>AGENDA SECTION: Community Development</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> (X) Draft final plat (X) RESOLUTION (X) CONSTRUCTION PLANS	<b>DATE: for Study Session September 20, 2022</b>

**INTRODUCTION:** The Board is asked to consider approval of the Construction Plans for Thornewood LSRD Subdivision Phase 2 without waivers.

**BACKGROUND:** This is the final phase of the two (2) phases of Thornewood Subdivision to be developed under a Large Scale Residential Development (LSRD) designation, preliminary plat and development agreement (formerly amended annexation agreement) for this area. The proposed construction plans are consistent with the approved Preliminary Plat. A draft final plat is included in this memo for information.

This subdivision will result in 34 new single-family housing lots (R1B zoning), two (2) common outlots, along with the construction of a southern extension of Willowgrove Lane, an eastern extension of Ravenwood Drive and a new cul-de-sac street north from Ravenwood Drive. This final phase will complete the remaining roadway system connections within Thornewood Subdivision.

The property is in the Village Corporate Limits and served by Sangamon Valley Public Water District. SVPWD's Board approved these Construction Plans on August 22, 2022.

**STAFF IMPACT:** No staff impact outside of normal plan review, construction progress oversight, document coordination, site inspection upon completion, and close-out activities. Though the Village maintains bond on all of the improvements, inspection of water and sanitary sewer primarily defer to SVPWD alleviating some of the inspection and administrative processing work but adding some coordination work. The Community Development Department will process all building permits for lot development and inspections consistent with current policies.

**BUDGET IMPACT:** There will be no water and sanitary connection fee revenue. Building permit revenue for 34 homes assuming 4000 SF single family dwelling units at \$.14/GSF (current rate) is \$19,040. The Village will own and maintain the streets, sidewalks, bikepaths in the right of way along Willowgrove Lane, and storm sewers with easements for surface drainage. Oversizing (~1404 SF) for Village owned bikepaths will be reimbursed to the developer upon acceptance at the unit cost per SF paid (at \$7/SF estimate is \$9828.00).

**SUMMARY:** The petitioner submitted a construction plans for Thornewood LSRD Subdivision Phase 2 that are now having incorporated review comments, ready for consideration by the BOT. A resolution approving the plans subject to minor modifications as customary is attached.

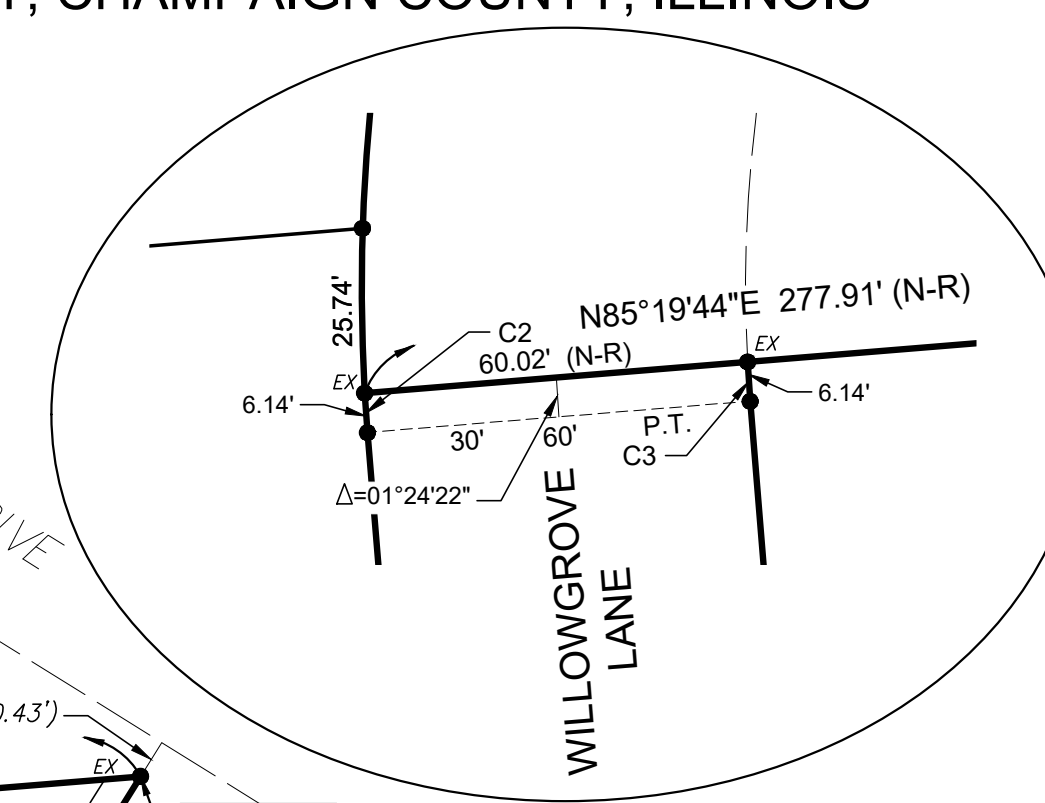
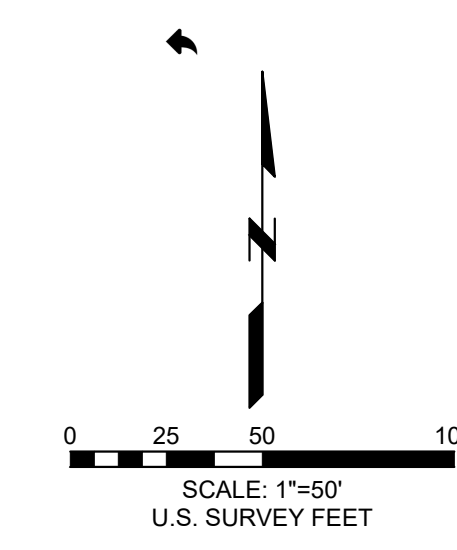
**RECOMMENDED ACTION:** Staff recommend approval of the construction plans by adoption of the attached resolution.

<b>DEPARTMENT HEAD APPROVAL:</b> /s/ Kelly Pfeifer /s/ Ellen Hedrick	<b>VILLAGE ADMINISTRATOR:</b> Patrick Brown
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# THORNEWOOD LSRD SUBDIVISION PHASE 2

PART OF THE NORTH HALF OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS

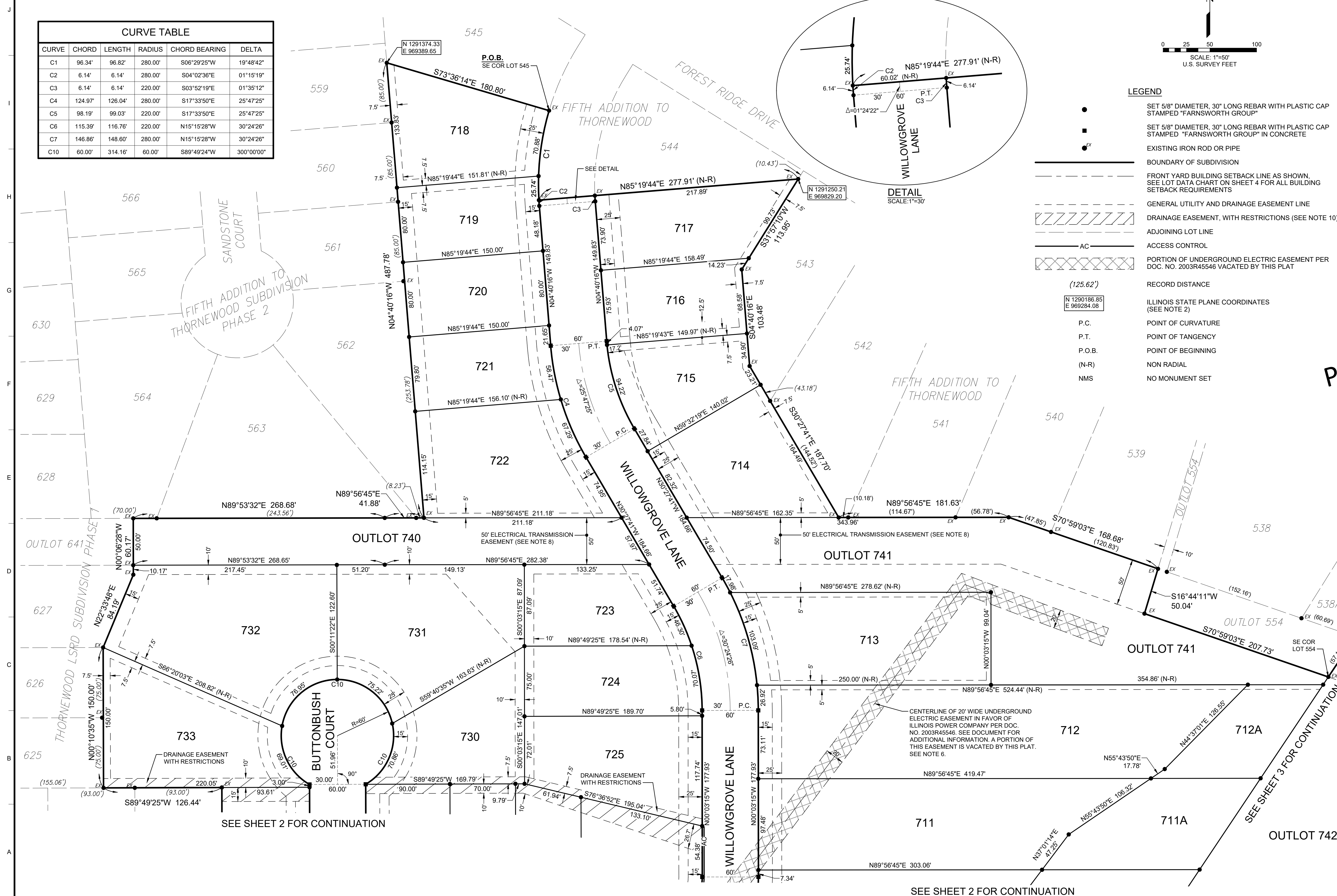
CURVE TABLE					
CURVE	CHORD	LENGTH	RADIUS	CHORD BEARING	DELTA
C1	96.34'	96.82'	280.00'	S06°29'25"W	19°48'42"
C2	6.14'	6.14'	280.00'	S04°02'36"E	01°15'19"
C3	6.14'	6.14'	220.00'	S03°52'19"E	01°35'12"
C4	124.97'	126.04'	280.00'	S17°33'50"E	25°47'25"
C5	98.19'	99.03'	220.00'	S17°33'50"E	25°47'25"
C6	115.39'	116.76'	220.00'	N15°15'28"W	30°24'26"
C7	146.86'	148.60'	280.00'	N15°15'28"W	30°24'26"
C10	60.00'	314.16'	60.00'	S89°49'24"W	300°00'00"



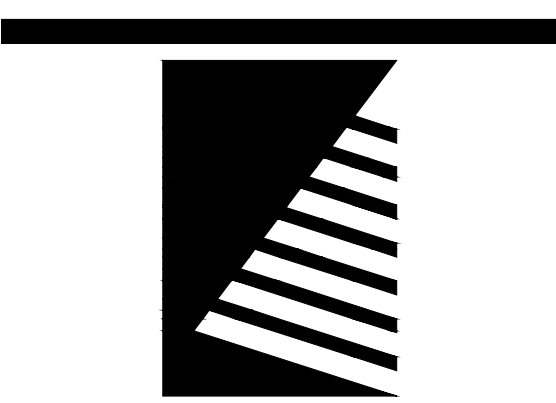
DETAIL  
SCALE: 1"=30'

### LEGEND

- SET 5/8" DIAMETER, 30" LONG REBAR WITH PLASTIC CAP STAMPED "FARNSWORTH GROUP"
- SET 5/8" DIAMETER, 30" LONG REBAR WITH PLASTIC CAP STAMPED "FARNSWORTH GROUP" IN CONCRETE
- EX EXISTING IRON ROD OR PIPE
- BOUNDARY OF SUBDIVISION
- FRONT YARD BUILDING SETBACK LINE AS SHOWN. SEE LOT DATA CHART ON SHEET 4 FOR ALL BUILDING SETBACK REQUIREMENTS
- GENERAL UTILITY AND DRAINAGE EASEMENT LINE
- /// DRAINAGE EASEMENT, WITH RESTRICTIONS (SEE NOTE 10)
- ADJOINING LOT LINE
- AC ACCESS CONTROL
- /// PORTION OF UNDERGROUND ELECTRIC EASEMENT PER DOC. NO. 2003R45546 VACATED BY THIS PLAT
- (125.62')
- N 1290186.85  
E 969284.08 ILLINOIS STATE PLANE COORDINATES (SEE NOTE 2)
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.O.B. POINT OF BEGINNING
- (N-R) NON RADIAL
- NMS NO MONUMENT SET



PRELIMINARY



**Farnsworth GROUP**

2211 WEST BRADLEY AVENUE  
CHAMPAIGN, ILLINOIS 61821  
(217) 352-7408 / info@f-w.com

www.f-w.com  
Engineers | Architects | Surveyors | Scientists

ISSUE # DATE DESCRIPTION

PROJECT: MAHOMET LAND COMPANY

## THORNEWOOD LSRD SUBDIVISION PHASE 2

VILLAGE OF MAHOMET  
CHAMPAIGN COUNTY, ILLINOIS

DATE: 9-15-22  
DESIGNED: JDA  
DRAWN: DJM/PDM  
REVIEWED: PEB  
FIELD BOOK NO.: CHA 191/01

### FINAL PLAT

SHEET NUMBER:

1

of 4

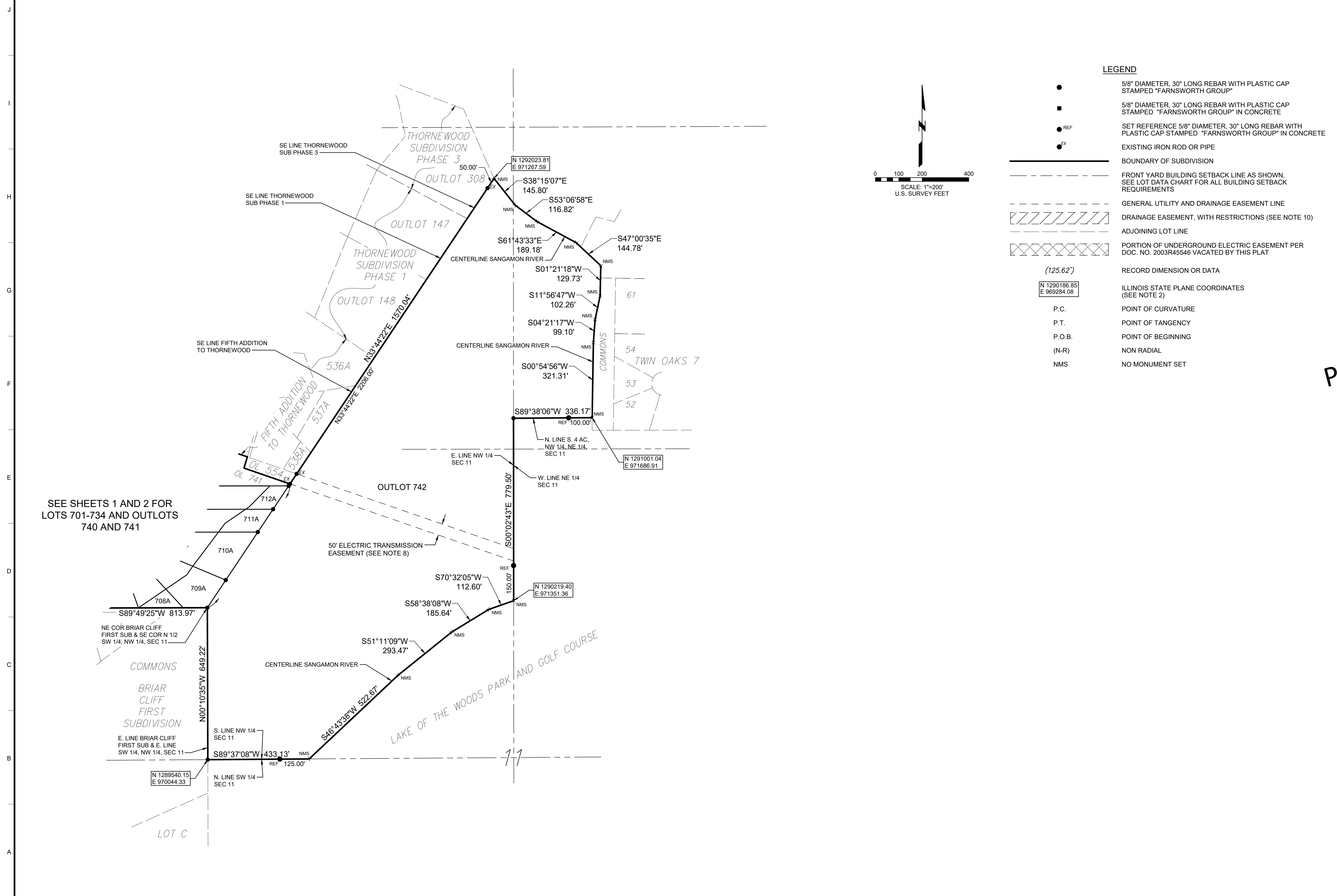
PROJECT NO.: 0211884.00

I:\projects\11\2021\0211884.00 - Thornewood 7th Addition\Survey\Drawings\SL\Thornewood North LSRD Phase 2 Final Plat - 0211884.00.dwg | 9/15/2022 3:28 PM

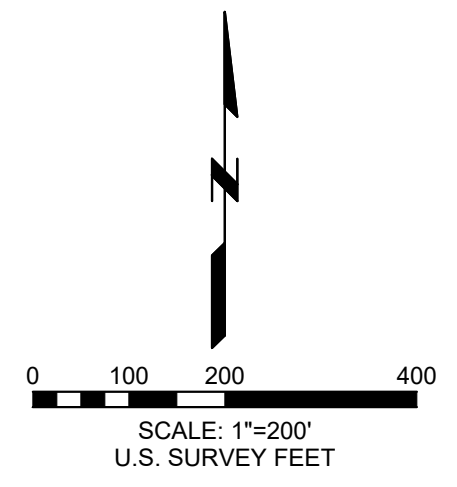


# THORNEWOOD LSRD SUBDIVISION PHASE 2

PART OF THE NORTH HALF OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS

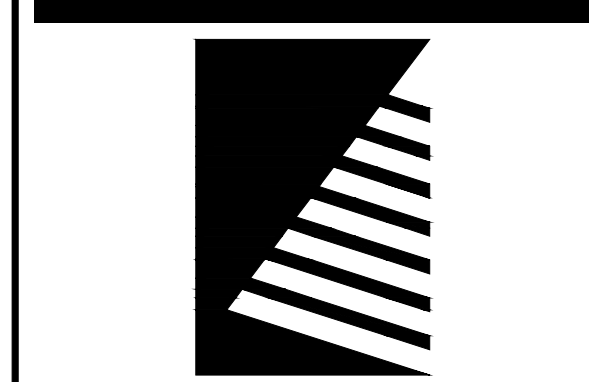


SEE SHEETS 1 AND 2 FOR LOTS 701-734 AND OUTLOTS 740 AND 741



### LEGEND

- 5/8" DIAMETER, 30" LONG REBAR WITH PLASTIC CAP STAMPED "FARNSWORTH GROUP"
- 5/8" DIAMETER, 30" LONG REBAR WITH PLASTIC CAP STAMPED "FARNSWORTH GROUP" IN CONCRETE
- REF SET REFERENCE 5/8" DIAMETER, 30" LONG REBAR WITH PLASTIC CAP STAMPED "FARNSWORTH GROUP" IN CONCRETE
- EX EXISTING IRON ROD OR PIPE
- BOUNDARY OF SUBDIVISION
- - - FRONT YARD BUILDING SETBACK LINE AS SHOWN, SEE LOT DATA CHART FOR ALL BUILDING SETBACK REQUIREMENTS
- - - GENERAL UTILITY AND DRAINAGE EASEMENT LINE
- ▨ DRAINAGE EASEMENT, WITH RESTRICTIONS (SEE NOTE 10)
- ▩ ADJOINING LOT LINE
- ▤ PORTION OF UNDERGROUND ELECTRIC EASEMENT PER DOC. NO. 2003R45546 VACATED BY THIS PLAT
- (125.62') RECORD DIMENSION OR DATA
- ILLINOIS STATE PLANE COORDINATES (SEE NOTE 2)
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.O.B. POINT OF BEGINNING
- (N-R) NON RADIAL
- NMS NO MONUMENT SET



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Engineers | Architects | Surveyors | Scientists

ISSUE # DATE DESCRIPTION

**PRELIMINARY**

PROJECT: MAHOMET LAND COMPANY

**THORNEWOOD LSRD SUBDIVISION PHASE 2**

VILLAGE OF MAHOMET  
CHAMPAIGN COUNTY, ILLINOIS

DATE:	9-15-22
DESIGNED:	JDA
DRAWN:	DJM/PDM
REVIEWED:	PEB
FIELD BOOK NO.:	CHA 191/01

SHEET TITLE: **FINAL PLAT**

SHEET NUMBER:

**3**  
of 4

PROJECT NO.: 0211884.00

I:\pmaproa\1\_2\2021\0211884.00 - Thornewood 7th Addition\Survey\Drawings\SL\Thornewood North LSRD Phase 2 Final Plat - 0211884.00.dwg | 9/15/2022 3:28 PM |

# THORNEWOOD LSRD SUBDIVISION PHASE 2

PART OF THE NORTH HALF OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS

## SURVEYOR'S DECLARATION:

I, JOSEPH D. ADAMS, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3704, DO HEREBY STATE THAT AT THE REQUEST OF THE OWNER, MAHOMET LAND COMPANY, I HAVE CAUSED A SURVEY TO BE MADE AND A PLAT TO BE DRAWN UNDER MY DIRECT SUPERVISION OF THE FOLLOWING DESCRIBED TRACT OF LAND:

PART OF THE NORTH HALF OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 545 IN THE FIFTH ADDITION TO THORNEWOOD SUBDIVISION, RECORDED IN DOCUMENT NO. 2016R11903, IN THE OFFICE OF THE RECORDER OF CHAMPAIGN COUNTY, ILLINOIS, SAID SOUTHEAST CORNER ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF WILLOWGROVE LANE IN SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION. FROM SAID POINT OF BEGINNING, THENCE SOUTHWESTERLY 96.82 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE BEING THE ARC OF A NON-TANGENTIAL CURVE, CONCAVE TO THE EAST, WITH A RADIUS OF 280.00 FEET AND WHOSE 96.34 FEET CHORD BEARS SOUTH 06 DEGREES 29 MINUTES 25 SECONDS WEST TO A POINT OF NON-TANGENCY ON THE SOUTHERLY LINE OF SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION; THENCE NORTH 85 DEGREES 19 MINUTES 44 SECONDS EAST 277.91 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 31 DEGREES 57 MINUTES 10 SECONDS WEST 113.95 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 04 DEGREES 40 MINUTES 16 SECONDS EAST 103.48 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 30 DEGREES 27 MINUTES 41 SECONDS EAST 187.70 FEET ALONG SAID SOUTHERLY LINE; THENCE NORTH 89 DEGREES 56 MINUTES 56 SECONDS EAST 181.83 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 70 DEGREES 59 MINUTES 03 SECONDS EAST 188.68 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 16 DEGREES 44 MINUTES 11 SECONDS WEST 50.04 FEET ALONG SAID SOUTHERLY LINE; THENCE SOUTH 70 DEGREES 59 MINUTES 03 SECONDS EAST 207.73 FEET ALONG SAID SOUTHERLY LINE TO THE SOUTHEAST CORNER OF OUTLOT 554 IN SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION; THENCE NORTH 33 DEGREES 44 MINUTES 22 SECONDS EAST 1570.04 FEET ALONG THE SOUTHEAST LINE OF SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION, THE SOUTHEAST LINE OF THORNEWOOD SUBDIVISION PHASE 1, RECORDED IN DOCUMENT NO. 2003R52381 IN SAID RECORDER'S OFFICE, AND THE SOUTHEAST LINE OF THORNEWOOD SUBDIVISION PHASE 3, RECORDED IN DOCUMENT NO. 2005R16415 IN SAID RECORDER'S OFFICE, TO THE CENTERLINE OF THE SANGAMON RIVER; THENCE SOUTH 38 DEGREES 15 MINUTES 07 SECONDS EAST 145.80 FEET ALONG SAID CENTERLINE; THENCE SOUTH 53 DEGREES 06 MINUTES 58 SECONDS EAST 116.82 FEET ALONG SAID CENTERLINE; THENCE SOUTH 61 DEGREES 43 MINUTES 33 SECONDS EAST 189.18 FEET ALONG SAID CENTERLINE; THENCE SOUTH 47 DEGREES 00 MINUTES 35 SECONDS EAST 144.78 FEET ALONG SAID CENTERLINE; THENCE SOUTH 01 DEGREE 21 MINUTES 18 SECONDS WEST 129.73 FEET ALONG SAID CENTERLINE; THENCE SOUTH 11 DEGREES 56 MINUTES 47 SECONDS WEST 102.26 FEET ALONG SAID CENTERLINE; THENCE SOUTH 04 DEGREES 21 MINUTES 17 SECONDS WEST 99.10 FEET ALONG SAID CENTERLINE; THENCE SOUTH 00 DEGREES 54 MINUTES 56 SECONDS WEST 321.31 FEET ALONG SAID CENTERLINE TO THE NORTH LINE OF THE SOUTH 4 ACRES OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 11; THENCE SOUTH 89 DEGREES 38 MINUTES 06 SECONDS WEST 336.17 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 11; THENCE SOUTH 00 DEGREES 02 MINUTES 43 SECONDS EAST 779.50 FEET ALONG SAID EAST LINE TO THE CENTERLINE OF THE SANGAMON RIVER; THENCE SOUTH 70 DEGREES 32 MINUTES 05 SECONDS WEST 112.80 FEET ALONG SAID CENTERLINE; THENCE SOUTH 58 DEGREES 38 MINUTES 08 SECONDS WEST 185.64 FEET ALONG SAID CENTERLINE; THENCE SOUTH 51 DEGREES 11 MINUTES 09 SECONDS WEST 293.48 FEET ALONG SAID CENTERLINE; THENCE SOUTH 46 DEGREES 43 MINUTES 38 SECONDS WEST 522.67 FEET ALONG SAID CENTERLINE TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 11; THENCE SOUTH 89 DEGREES 37 MINUTES 08 SECONDS WEST 433.13 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF BRIAR CLIFF FIRST SUBDIVISION, RECORDED IN PLAT BOOK "O", PAGE 37 IN SAID RECORDER'S OFFICE ALSO BEING THE EAST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 11; THENCE NORTH 00 DEGREES 10 MINUTES 35 SECONDS WEST 649.22 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID BRIAR CLIFF FIRST SUBDIVISION, ALSO BEING THE SOUTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID NORTHWEST QUARTER OF SAID SECTION 11; THENCE SOUTH 89 DEGREES 49 MINUTES 25 SECONDS WEST 813.97 FEET ALONG THE SOUTH LINE OF SAID NORTH HALF TO THE SOUTHEAST CORNER OF LOT 621 IN THORNEWOOD LSRD SUBDIVISION PHASE 1, RECORDED IN DOCUMENT NO. 2021R29230, IN THE OFFICE OF THE RECORDER OF CHAMPAIGN COUNTY, ILLINOIS; THENCE NORTH 00 DEGREES 10 MINUTES 35 SECONDS WEST 261.28 FEET ALONG THE EAST LINE OF SAID THORNEWOOD LSRD SUBDIVISION PHASE 1; THENCE SOUTH 89 DEGREES 49 MINUTES 25 SECONDS WEST 13.74 FEET ALONG SAID EAST LINE; THENCE NORTH 00 DEGREES 06 MINUTES 28 SECONDS WEST 152.01 FEET ALONG SAID EAST LINE; THENCE SOUTH 89 DEGREES 49 MINUTES 25 SECONDS WEST 126.44 FEET ALONG SAID EAST LINE; THENCE NORTH 00 DEGREES 10 MINUTES 35 SECONDS WEST 150.00 FEET ALONG SAID EAST LINE; THENCE NORTH 22 DEGREES 33 MINUTES 48 SECONDS EAST 84.19 FEET ALONG SAID EAST LINE; THENCE NORTH 00 DEGREES 06 MINUTES 28 SECONDS WEST 60.17 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE FIFTH ADDITION TO THORNEWOOD SUBDIVISION - PHASE 2, RECORDED IN DOCUMENT NO. 2019R11770 IN THE OFFICE OF THE RECORDER OF CHAMPAIGN COUNTY, ILLINOIS; THENCE NORTH 89 DEGREES 53 MINUTES 32 SECONDS EAST 268.68 FEET ALONG SAID SOUTH LINE; THENCE NORTH 89 DEGREES 56 MINUTES 45 SECONDS EAST 41.88 FEET ALONG SAID SOUTH LINE TO THE SOUTHEAST CORNER OF SAID FIFTH ADDITION TO THORNEWOOD - PHASE 2; THENCE NORTH 04 DEGREES 40 MINUTES 16 SECONDS WEST 487.78 FEET ALONG THE EAST LINE OF SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION - PHASE 2 TO THE SOUTHWEST CORNER OF LOT 545 IN SAID FIFTH ADDITION TO THORNEWOOD SUBDIVISION; THENCE SOUTH 73 DEGREES 36 MINUTES 14 SECONDS EAST 180.80 FEET ALONG THE SOUTH LINE OF SAID LOT 545 TO THE POINT OF BEGINNING, CONTAINING 67.721 ACRES, MORE OR LESS.

THIS PROPERTY HAS BEEN SUBDIVIDED INTO 39 LOTS, NUMBERED 701 THROUGH 734 AND 708A THROUGH 712A, INCLUSIVE, 3 OUTLOTS NUMBERED 740 THROUGH 742, INCLUSIVE, STREETS AND EASEMENTS AS SHOWN. SAID SUBDIVISION IS TO BE KNOWN AS "THORNEWOOD LSRD SUBDIVISION PHASE 2", VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS.

THORNEWOOD LSRD SUBDIVISION PHASE 2 LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE "A" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NUMBER 17019C0259D FOR CHAMPAIGN COUNTY, ILLINOIS, WITH AN EFFECTIVE DATE OF OCTOBER 2, 2013. OUTLOT 742 FALLS ENTIRELY WITHIN ZONE "A". LOTS 708A THROUGH 712A, INCLUSIVE, AND OUTLOT 741 FALL PARTIALLY WITHIN ZONE "A". ALL REMAINING LOTS FALL ENTIRELY WITHIN ZONE "X".

THIS PROPERTY IS SITUATED WITHIN 500 FEET OF A WATERCOURSE (SANGAMON RIVER) SERVING A TRIBUTARY AREA OF 640 ACRES OR MORE.

WITNESS MY HAND AND SEAL THIS 15TH DAY OF SEPTEMBER, 2022.

FARNSWORTH GROUP, INC.  
2211 WEST BRADLEY AVENUE  
CHAMPAIGN, ILLINOIS 61821

BY: JOSEPH D. ADAMS  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3704



DATE: \_\_\_\_\_  
EXP. DATE: 11-30-2022  
DESIGN FIRM REGISTRATION  
NO. 184-001856

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

## NOTES:

- THORNEWOOD LSRD SUBDIVISION PHASE 2 IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS.
- BEARINGS AND COORDINATES SHOWN ON THE FACE OF THIS PLAT ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (1201), NAD 83, 2011 ADJUSTMENT.
- BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE VILLAGE OF MAHOMET ZONING ORDINANCE REQUIREMENTS AND DEVELOPMENT AGREEMENT.
- LOT LINES EXTENDING FROM CURVED STREET LINES ARE RADIAL UNLESS NOTED OTHERWISE.
- DIMENSIONS BETWEEN ADJACENT MONUMENTS ARE HORIZONTAL DISTANCES IN FEET AND DECIMAL PARTS THEREOF. DIMENSIONS ALONG CURVES ARE CHORD DISTANCES UNLESS NOTED OTHERWISE.
- THAT PORTION OF THE UNDERGROUND ELECTRIC EASEMENT IN FAVOR OF ILLINOIS POWER COMPANY PER DOC. NO. 2003R45546 THAT LIES BETWEEN THE WEST LINE OF LOT 701 AND ITS TERMINUS WITHIN OUTLOT 741 IS HEREBY VACATED BY THE PLAT OF THORNEWOOD LSRD SUBDIVISION PHASE 2.
- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON XXXXXX XX, 20XX.
- OUTLOTS 740 AND 741 ARE NON-BUILDABLE OUTLOTS FOR USE AS A PEDESTRIAN WAY AND GENERAL UTILITY EASEMENT AND FOR THE CONSTRUCTION AND MAINTENANCE OF A CONCRETE SIDEWALK TO BE MAINTAINED BY THE THORNEWOOD SUBDIVISION HOMEOWNER'S ASSOCIATION. OUTLOT 740 AND PORTIONS OF OUTLOTS 741 AND 742 ARE EASEMENTS FOR AN ELECTRIC TRANSMISSION LINE PER CONDEMNATION CAUSE 19085 AND CONSOLIDATED CAUSE 19096 IN THE CIRCUIT COURT OF CHAMPAIGN COUNTY PER JUDGEMENT ORDER ON AUGUST 10, 1950 AND FILED IN THE CIRCUIT COURT AUGUST 24, 1950.
- OUTLOT 742 IS TO BE USED AS A DRAINAGE & FLOOD ROUTE EASEMENT IN ITS ENTIRETY.
- EASEMENTS SHOWN AS DRAINAGE EASEMENTS WITH RESTRICTIONS ON LOTS 709, 709A, 710, 710A, 725, 726, 727, 728, 729, 730, 733, AND 734 ARE PROHIBITED FROM HAVING ANY FENCING OR ACCESSORY STRUCTURES AND MUST REMAIN IN GRASS COVER ONLY AND TO ELEVATIONS OF THE ORIGINAL GRADING PLANS.

## DRAINAGE STATEMENT

WE HEREBY STATE THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS OF THIS PLAN WILL NOT BE CHANGED BY THE CONSTRUCTION OF THE IMPROVEMENTS OF THIS SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

DATE: \_\_\_\_\_  
NEIL FINLEN, PE # 062-039367

OWNER/DEVELOPER: MAHOMET LAND COMPANY

## FINAL PLAT APPROVAL

THE FINAL PLAT ENTITLED "THORNEWOOD LSRD SUBDIVISION PHASE 2" HAS RECEIVED A RECOMMENDATION FOR APPROVAL BY THE PLAN AND ZONING COMMISSION OF THE VILLAGE OF MAHOMET, ILLINOIS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

CHAIRPERSON \_\_\_\_\_

THE FINAL PLAT ENTITLED "THORNEWOOD LSRD SUBDIVISION PHASE 2" HAS RECEIVED APPROVAL BY THE BOARD OF TRUSTEES OF THE VILLAGE OF MAHOMET, ILLINOIS. THIS PLAT SHALL BE RECORDED WITH THE RECORDER OF DEEDS, CHAMPAIGN COUNTY, ILLINOIS, WITHIN ONE (1) YEAR OF THIS DATE. OTHERWISE, THIS PLAT SHALL BECOME VOID.

PRESIDENT, BOARD OF TRUSTEES (DATE) \_\_\_\_\_

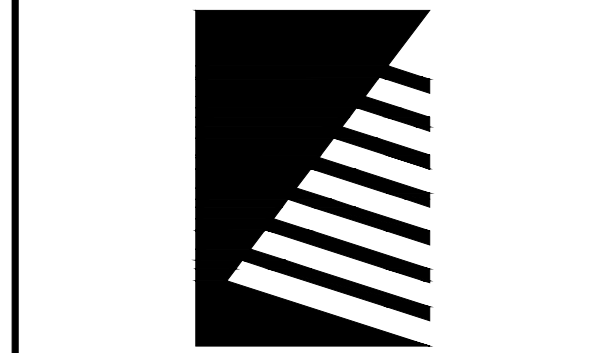
VILLAGE CLERK (DATE) \_\_\_\_\_  
(SEAL)

PRESENTED FOR RECORDING  
BY AND RETURN TO:  
BERNS, CLANCY & ASSOCIATES  
405 E. MAIN STREET  
URBANA, IL 61802

ENGINEER/SURVEYOR  
FARNSWORTH GROUP, INC.  
2211 WEST BRADLEY AVENUE  
CHAMPAIGN, ILLINOIS 61821  
(217) 352-7408

OWNER/DEVELOPER  
MAHOMET LAND COMPANY  
116 S. LOMBARD  
MAHOMET, ILLINOIS 61853

LOT NUMBER	AREA (SQ FT)	WIDTH AT FRONT SETBACK (FT)	BUILDING SETBACKS		
			FRONT (FT)	SIDE (FT)	REAR (FT)
701	13,083	65.0	25	7	60
702	13,083	65.0	25	7	60
703	13,083	65.0	25	7	60
704	13,083	65.0	25	7	60
705	13,083	65.0	25	7	60
706	13,083	65.0	25	7	60
707	19,072	68.7	25	7	60
708	19,654	72.2	25	7	60 SOUTH 25 SOUTHEAST
708A	7,660				
709	21,448	72.4	25	7 SOUTHWEST 15 NORTHEAST	25
709A	27,144				
710	28,439	71.7	25	7 NORTH 15 SOUTHWEST	25
710A	30,772				
711	34,411	97.5	25	10	25
711A	14,721				
712	47,359	100.0	25	10	25
712A	9,663				
713	25,847	99.0	25	10	25
714	17,279	97.0	25	10	25
715	13,003	110.4	25	10	25
716	12,049	80.0	25	7	25
717	15,066	73.9	25	7	25
718	16,407	81.0	25	10	25
719	12,019	80.0	25	7	25
720	12,000	80.0	25	7	25
721	12,088	79.8	25	7	25
722	21,857	124.7	25	10	25
723	13,721	86.9	25	10	25
724	13,972	75.0	25	7	25
725	17,998	111.7	25	10	25
726	116,267	181.7	25	10	NONE
727	10,413	70.0	25	7	25
728	10,850	70.0	25	7	25
729	13,950	65.0 SOUTH 130.0 WEST	25	10 NORTH 7 EAST	25
730	15,333	80.2	25	10	25
731	26,040	119.4	25	10	25
732	31,166	127.9	25	10	25
733	21,073	77.1	25	7	25
734	14,242	68.8 SOUTH 127.0 EAST	25	15 NORTH 7 WEST	25
OUTLOT 740	26,872				
OUTLOT 741	58,501				
OUTLOT 742	2,063,054				



**Farnsworth**  
GROUP

2211 WEST BRADLEY AVENUE  
CHAMPAIGN, ILLINOIS 61821  
(217) 352-7408 / info@f-w.com

www.f-w.com  
Engineers | Architects | Surveyors | Scientists

ISSUE:  
# DATE: DESCRIPTION:

**PRELIMINARY**

PROJECT:  
MAHOMET LAND COMPANY

**THORNEWOOD LSRD  
SUBDIVISION PHASE 2**

VILLAGE OF MAHOMET  
CHAMPAIGN COUNTY, ILLINOIS

DATE: 9-15-22

DESIGNED: JDA

DRAWN: DJM/PDM

REVIEWED: PEB

FIELD BOOK NO.: CHA 191/01

SHEET NUMBER:

**FINAL PLAT**

SHEET NUMBER:

**4**

of 4

PROJECT NO.: 0211884.00















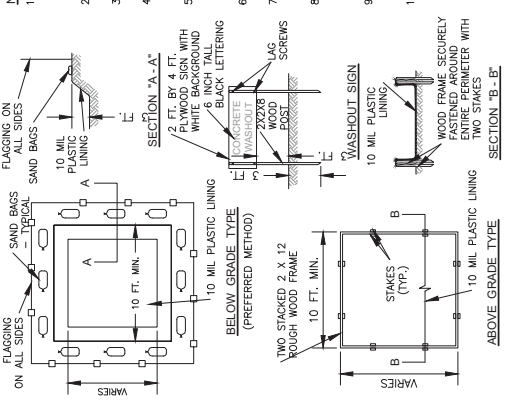
### EROSION CONTROL NOTES

1. ALL EROSION CONTROL WORK SHALL COMPLY WITH SECTION 280.0 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
2. STRICTLY ADHERE TO ALL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT REQUIREMENTS.
3. SUBMIT SHOP DRAWINGS FOR TEMPORARY EROSION CONTROL PLANS FOR CONSTRUCTION ACTIVITIES ON SITE IN ADDITION TO AN "OFF-SITE TRACKING CONTROL PLAN" TO THE ENGINEER. THE PLAN SHALL INCLUDE PERMIT TRACKING INFORMATION, TRACKING METHODS, AND TRACKING PROCEDURES THAT THE CONTRACTOR PLANS TO USE TO CONTROL TRACKING AND EROSION FROM THE SITE. ACTUAL CONFIGURATION AND LOCATION OF TEMPORARY EROSION CONTROL SYSTEMS SHALL BE AS SHOWN ON THE PLANS. APPROVED TRACKING CONTROL PLAN, APPROVED EROSION CONTROL PLAN, AND AS DIRECTED BY THE ENGINEER.
4. TEMPORARY EROSION CONTROL MEASURES AS INDICATED IN THE PLANS APPROVED TRACKING CONTROL PLAN OR APPROVED EROSION CONTROL PLAN SHALL BE INSTALLED ON THE FIRST DAY OF CONSTRUCTION ACTIVITIES. TRACKING CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OR OTHER MEASURES SHALL BE INSTALLED TO PREVENT TRACKING OF SOIL, SEDIMENT, OR OTHER MATERIALS INTO STORM SEWER OR SANITARY SEWER STRUCTURES. THE CONTRACTOR SHALL INSTALL SEDIMENT COLLECTION BAGS IN STORM SEWER INLETS OR MANHOLES AS EFFECTIVE MEASURES TO PREVENT TRACKING OF SOIL, SEDIMENT, OR OTHER MATERIALS ENTERING ANY STORM SEWER OR SANITARY SEWER STRUCTURES.
5. PROVIDE FOR INGRESS AND EGRESS FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY BY CONSTRUCTING A STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL MAINTAIN ACCESS TO ALL ADJACENT STREETS, SIDEWALKS, OR OTHER MEASURES SHALL BE INSTALLED TO PREVENT TRACKING OF SOIL, SEDIMENT, OR OTHER MATERIALS INTO STORM SEWER OR SANITARY SEWER STRUCTURES.
6. ALL DISTURBED EARTH SURFACES THAT WILL HAVE BARE SOIL FOR LONGER THAN 45 DAYS SHALL BE TEMPORARILY SEED. TEMPORARY SEEDING SHALL BE CLASS 7 PER SECTION 250 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". SEED SHALL BE PLACED AT A RATE OF NOT LESS THAN 200 POUNDS PER ACRE.
7. FILTER BARRIERS, INLET SEDIMENT BAGS, AND OTHER MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OR OTHER MEASURES SHALL BE INSTALLED TO PREVENT TRACKING OF SOIL, SEDIMENT, OR OTHER MATERIALS INTO STORM SEWER OR SANITARY SEWER STRUCTURES.
8. DURING EXCAVATION BE CAREFUL TO SEGREGATE AND SAVE AS MUCH TOPSOIL AS POSSIBLE FOR PLACEMENT ON TOP OF BACKFILL IN ORDER TO PROVIDE SOILS SUITABLE FOR USE AS TOPSOIL. TOPSOIL SHALL BE PLACED AT A RATE OF NOT LESS THAN EIGHT (8) INCHES OF TOPSOIL SHALL BE REPLACED UPON TRENCH AREAS AND EXCAVATED AREAS.
9. ALL DISTURBED AREAS SHALL BE FINE-GRADED, FERTILIZED, SEED, AND MULCHED.
10. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH SPOT ELEVATIONS, GRADES AND FLOW ARROWS AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER. ALL DISTURBED AREAS SHALL BE FINE-GRADED TO ALLOW FOR SOIL PLACEMENT.
11. ANY SEDIMENT PREPARING REMAINING IN PLACE AFTER THE BIT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
12. APPLY SEEDING AS SHOWN IN THE PLANS AND AS DIRECTED BY THE ENGINEER. THE SEEDING WORK SHALL CONFORM TO THE REQUIREMENTS OF SECTION 250 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". THE SEEDING WORK SHALL BE APPROVED BY THE ENGINEER BEFORE THE WORK IS STARTED.
13. FURNISH, TRANSPORT AND PLACE MULCH OR EROSION CONTROL BLANKET OVER THE SEEDING AREA. THE METHOD, PROCEDURES AND MATERIALS APPLIED FOR MULCHING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 251 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". EROSION CONTROL BLANKET SHALL BE USED FOR EROSION CONTROL FOR GROUND SLOPES GREATER THAN 3:1 (4H:1V). EROSION CONTROL BLANKET SHALL BE USED FOR EROSION CONTROL.
14. EROSION CONTROL BLANKETS SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. MATERIALS OF THE BLANKET USING ONE AND A HALF (1.5) INCHES OF MULCH SHALL BE APPROVED BY THE ENGINEER. THE MIXTURE OF FIBER SHALL BE APPROVED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 251 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". THE SEEDING WORK SHALL BE APPROVED BY THE ENGINEER BEFORE THE WORK IS STARTED.
15. INSTALL BURAP PROTECTION AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS OF SECTION 281 AND SECTION 282 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".

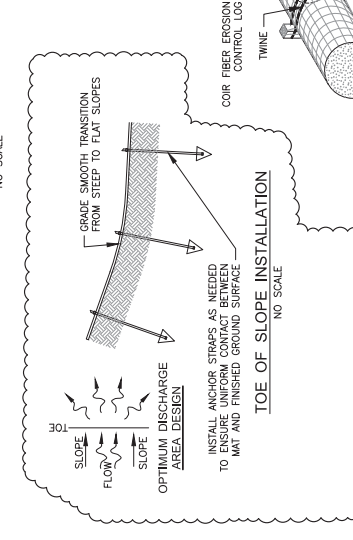
16. CARBON MATRESSES SHALL BE INSTALLED AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND NOTES AND DETAILS CONTAINED IN THESE PLANS.
17. IF CONSTRUCTION OPERATIONS CONTINUE THROUGHOUT A WINTER SEASON, CARBON MATRESSES SHALL BE INSTALLED AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND NOTES AND DETAILS CONTAINED IN THESE PLANS.
18. IF CONSTRUCTION OPERATIONS CONTINUE THROUGHOUT A WINTER SEASON, CARBON MATRESSES SHALL BE INSTALLED AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND NOTES AND DETAILS CONTAINED IN THESE PLANS.
19. ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH FILTER FABRIC OR SEDIMENT BAGS. MATRESSES SHALL BE INSTALLED AS SHOWN ON PLANS AND AS DIRECTED BY THE ENGINEER. THE MATERIALS AND INSTALLATION METHOD SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 284 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND NOTES AND DETAILS CONTAINED IN THESE PLANS.
20. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL COMPLY WITH THE GUIDELINES OF THE ILLINOIS URBAN MANUAL, LATEST EDITION.
21. PUBLIC ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK SEDIMENT SHALL BE STORED IN A DESIGNATED AREA. SEDIMENT SHALL BE REMOVED WITH WATER CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF ORIGIN OR OTHER SUITABLE LOCATIONS. STREET SWEEPING SHALL BE PROVIDED AS NECESSARY.
22. SEDIMENT BUILDUP BE REMOVED FROM ALL EROSION CONTROL MEASURES WHEN THEY BECOME  $\frac{1}{2}$  FULL, OR AFTER EACH MAJOR RAIN EVENT AS NEEDED.
23. ALL SEDIMENT BAG UNITS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
24. AFTER VEGETATIVE STABILIZATION IS ESTABLISHED, ALL EROSION CONTROL MEASURES MUST BE REMOVED PRIOR TO VILLAGE ACCEPTANCE OF THE SUBDIVISION.

### TOPSOIL - FERTILIZING - SEEDING - MULCHING NOTES

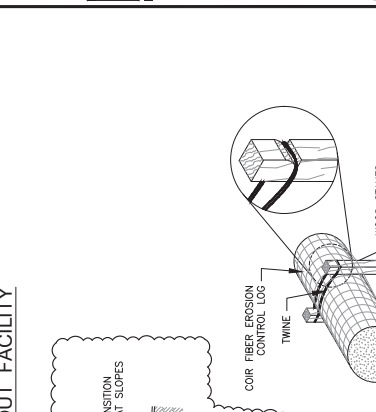
1. FURNISHING AND PLACING TOPSOIL SHALL BE IN ACCORDANCE WITH SECTIONS 211 AND 212 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
2. SEEDING AND MULCHING SHALL BE PERFORMED IN ACCORDANCE WITH BRIDGE CONSTRUCTION.
3. TOPSOIL SHALL BE STORED AND STOCKPILED DURING CONSTRUCTION AND SPREAD ON THE TOP OF DISTURBED AREAS. THE ENGINEER SHALL DETERMINE SOILS SUITABLE FOR USE AS TOPSOIL DURING CONSTRUCTION.
4. PLACE A MINIMUM OF 8 INCHES OF TOPSOIL IN THE STREET RIGHT-OF-WAY AREAS AND TOP SOIL DEPTH SHALL BE DESIGNATED ON THE PLANS AND IN REMOVING ALL ROCKS, STOKS AND DEBRIS FROM THE AREA. PLACE 12-12-12 FERTILIZER AT A RATE OF 400 POUNDS PER ACRE AND LIME AT A RATE OF ONE TON PER ACRE UPON ALL DISTURBED AREAS.
5. SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE.
6. ALL STREET RIGHT-OF-WAY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEED, FERTILIZED AND MULCHED. THE SEEDING SHALL BE CLASS 1 LAWN MIXTURE KENTUCKY BLUEGRASS 100 POUNDS PER ACRE, PERENNIAL RYE GRASS 60 POUNDS PER ACRE, CREeping RED FESCUE SHALL COMPLY WITH ARTICLE 251.0, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
7. ALL AREAS BEYOND THE CONSTRUCTION LIMITS WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.
8. WHEN SOIL PLACEMENT IS INTENDED, ADJUST TOPSOIL SURFACE ELEVATION 2 INCHES DOWNWARD.
9. SPECIAL ATTENTION IS CALLED TO ARTICLE 250.07 REGARDING SEEDING DATES, WHICH SHALL BE STRICTLY ADHERED TO.



### CONCRETE WASHOUT FACILITY



- NOTES:**
1. PORTLAND CEMENT CONCRETE (PCC) AND ASPHALT CONCRETE (AC) WASTES SHALL BE PLACED IN A DESIGNATED AREA AND SHALL BE PROPERLY DISPOSED OF. NO PCC OR AC WASTES SHALL ENTER THE STORM SEWER SYSTEM OR WATERCOURSES.
  2. A SIGN SHALL BE INSTALLED ADJACENT TO EACH FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE PROPER FACILITIES. BELOW GRADE FACILITIES ARE PREFERRED. ABOVE GRADE FACILITIES MAY BE UTILIZED IF EXCAVATION IS NOT PRACTICAL.
  3. WASHOUT FACILITIES SHALL HAVE SUFFICIENT VOLUME TO CONTAIN ALL CONSTRUCTION ACTIVITIES. CONCRETE MATERIALS GENERATED BY WASHOUT AND HARDENED CONCRETE WASTE SHALL BE BROKEN UP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.
  4. PLASTIC LINING SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
  5. A MINIMUM FREEDRAG OF 12 INCHES IS REQUIRED FOR BELOW GRADE FACILITIES. A MINIMUM FREEDRAG OF 4 INCHES FREEDRAG IS REQUIRED FOR ABOVE GRADE FACILITIES.
  6. WHEN FACILITIES ARE NO LONGER REQUIRED FOR CONSTRUCTION WORK, THE MATERIALS USED TO CONSTRUCT THE FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.
  7. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY FACILITIES MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED ONCE THE WASHOUT IS 75% FULL.



- NOTES:**
1. 2 INCH BY 2 INCH BY 36 INCH STAKES SHALL BE PLACED THROUGH THE LOGS OF THE COIR FIBER NETTING AND POUNDED LEVEL WITH THE TOP OF THE LOG. SPACING OF STAKES ON THE WATER SIDE SHALL BE 120 INCH. SPACING OF STAKES BETWEEN ADJACENT COIR FIBER LOGS SHALL BE 120 INCH. SPACING OF STAKES BETWEEN LOGS OF NETTING OF BOTH COIR FIBER LOGS.
  2. ADDITIONAL STAKES SHALL BE PLACED ON THE LAND SIDE OF THE COIR FIBER LOGS AT 120 INCH ON CENTER SPACING. A 3/4 INCH DEEP NOTCH SHALL BE CUT 5 INCHES FROM THE TOP OF EACH OF THE STAKES OPPOSITE EACH OTHER (SEE STAKING DETAIL). THE NOTCH SHALL BE COIR TWINE OR EQUAL DRIVE STAKES SO THAT THE TWINE IS SECURED AGAINST THE TOP OF THE COIR FIBER LOG.
  3. THE ENDS OF ADJACENT COIR FIBER LOGS WITH A STRONG TWINE. MAKE A NUMBER OF PASSES WITH THE TWINE IN THE SETTING OF THE LOGS TO SECURE THE LOGS TOGETHER. THE TWINE SHOULD BE BENT THE END TOWARDS THE LAND SIDE OF THE CHANNEL AND LOG INTO THE BANK.

### COIR FIBER LOG EROSION CONTROL (WADDE)

**Permit-Set**  
 NOT FOR CONSTRUCTION

**Thornwood LSRD**  
 Subdivision Phase 2

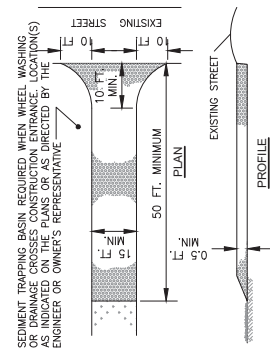
Mahomet, Illinois

DATE: 07/22/2022  
 DESIGNED: NCP  
 DRAWN: AEO/OME  
 REVIEWED: CNF/OME  
 FIELD BOOK NO.: CHA0128  
 SHEET TITLE: \_\_\_\_\_

**EROSION CONTROL**  
**DETAILS**

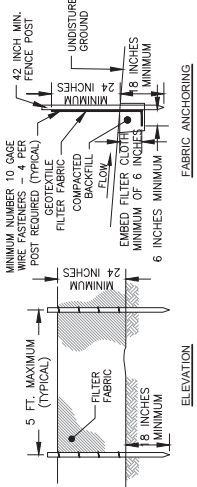
**C1.6**

PROJECT NO.: 0211884.00



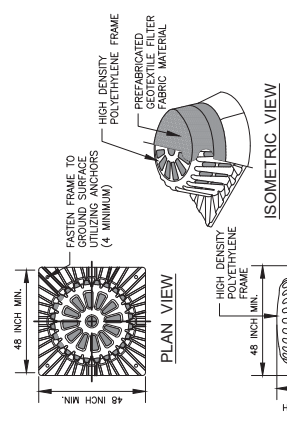
- NOTES:**
1. SIZING SIZE - USE 9 INCH DIAMETER OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTHS AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET LONG (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH MAY APPLY).
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  6. ALL SURFACE WATER FLOWING OR DIVERTED THROUGH CONSTRUCTION ENTRANCES SHALL BE PERMITTED TO CROSS THE ENTRANCE IF PAVING IS IMPRACTICAL, THE FLOW SHOULD BE DIVERTED, AN APPROVED SEDIMENT TRAPPING DEVICE MAY BE REQUIRED BY THE ENGINEER'S OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS MAINTAINING THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF THE ENTRANCE SHALL BE PROVIDED BY THE CONTRACTOR. ALL TRACKING, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
  7. WASHING - WHEELS AND UNDERSIDE OF VEHICLES SHALL BE CLEANED TO REMOVE ALL TRACKING AND SEDIMENT. THIS SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A SEDIMENT TRAPPING DEVICE AS APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
  8. CONTRACTOR MAY LOCATE CONSTRUCTION ENTRANCES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO CONSTRUCTION. WHEN CONSTRUCTION ENTRANCES MUST BE LOCATED IN AREAS WITH EXISTING STREET CURBS, WHERE POSSIBLE, LOCATE CONSTRUCTION ENTRANCES WHERE EXISTING STREET CURBS WILL BE REMOVED AS PART OF THE CONSTRUCTION. EXISTING STREET CURBS SHALL BE PROTECTED FROM DAMAGE IN AN APPROPRIATE MANNER SUCH AS RAMPS BUILT OF 6 INCH BY 6 INCH POSTS, 4 INCH BY 4 INCH POSTS AND 2 INCH BY 4 INCH TREATED LUMBER. ALL CURBS OR RAMPS SHALL BE REMOVED AND REPLACED ANY STREET CURBS DAMAGED DURING CONSTRUCTION.

**STABILIZED CONSTRUCTION ENTRANCE**  
 NO SCALE



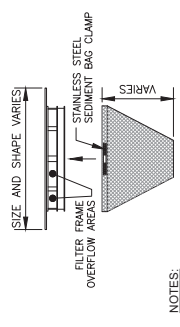
- NOTES:**
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN).
  3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQUARE INCHES.

**PERMETER BARRIER SILT FENCE**  
 NO SCALE



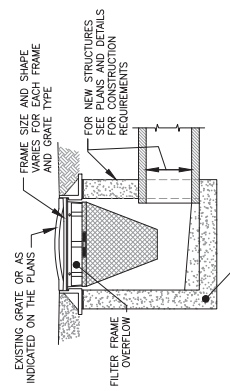
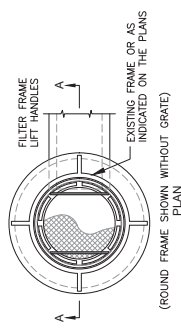
- NOTES:**
1. GEOTEXTILE FILTER FABRIC SHALL COMPLY WITH THE REQUIREMENTS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
  2. FABRIC "SOCK" SLIDES OVER FILTER FRAME.
  3. BOTTOM OF FILTER UNIT SHALL BE INSTALLED NOT LESS THAN 4 INCHES BELOW THE INLET RIM ELEVATION.

**INLET SEDIMENT FILTER FRAME**  
 NO SCALE



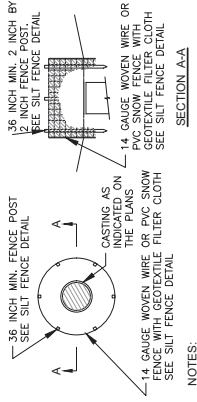
- NOTES:**
1. FRAME TOP FLANGE FABRICATED FROM 1/8 INCH FLAT STOCK, BASE RIM FABRICATED FROM 1/2 INCH BY 1/2 INCH BY 1/8 INCH CHANNEL, ALL FABRICATED FROM 3/8 INCH BY 3/8 INCH BY 1/8 INCH SQUARE YARD POLYESTER MESH, BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.
  2. SEDIMENT BAG FABRICATED FROM 4 OUNCES PER SQUARE YARD POLYESTER MESH, BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.
  3. UNIT SHALL COMPLY WITH THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND ASTM D-8607.
  4. REMOVE SEDIMENT FROM BAG WHEN BAG IS 3/4 FULL.

**SEDIMENT BAG FILTER AND FRAME**  
 NO SCALE



- NOTES:**
1. FILTER FRAMES FOR SEDIMENT BAGS SHALL BE SHAPED TO FIT INTO THE REQUIRED INLET OR MANHOLE FRAME AND GRATES. THE SEDIMENT BAGS SHALL HAVE A SUPPORTING NET CAPABLE OF SUPPORTING A FULL SEDIMENT BAG.
  2. CONTRACTOR WILL BE REQUIRED TO CHECK AND EMPTY SEDIMENT BAGS AFTER EACH RAIN AND AT SUCH INTERVALS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REPLACE ANY DAMAGED SEDIMENT BAGS WHEN DISCOVERED.

**INLET SEDIMENT BAG INSTALLATION**  
 NO SCALE



- NOTES:**
1. EMBED FABRIC 6 INCHES BELOW GROUND SURFACE.
  2. REMOVE SEDIMENT BUILDUP AFTER EACH RAIN EVENT.
  3. GEOTEXTILE SHALL BE WRAPPED OVER THE TOP MEMBER OF THE WELDED WIRE BY 6 INCHES AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER. THE FASTENING RING SHALL PENETRATE THROUGH THE WELDED WIRE TO THE GEOTEXTILE. THE WELDED WIRE TOP STEEL MEMBER, GEOTEXTILE SHALL BE OVERLAPPED AND THE MINIMUM OF 1 FOOT AND SECURED WITH FASTENING RINGS AT 6 INCHES ON CENTER OR SEWN WITH A TYPE 401 LOCK STITCH TO PENETRATE BOTH LAYERS OF GEOTEXTILE AND SECURELY CLOSE AROUND A MEMBER OF THE WOVEN WIRE.

**EROSION CONTROL AROUND INLET**  
 NO SCALE

**Thornwood LSRD  
Subdivision Phase 2**

**GRADING PLAN -  
SOUTH**

**DRAINAGE STATEMENT**  
 WE HEREBY STATE THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE PLAN AND THE FOOTPRINTS OF THE IMPROVEMENTS OF THIS SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE TO ACCOMMODATE SUCH CHANGES AND THAT THE DRAINAGE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT, AS AMENDED, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH, GENERALLY CONFORMING TO THE ADDJACENT PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS PLAN.

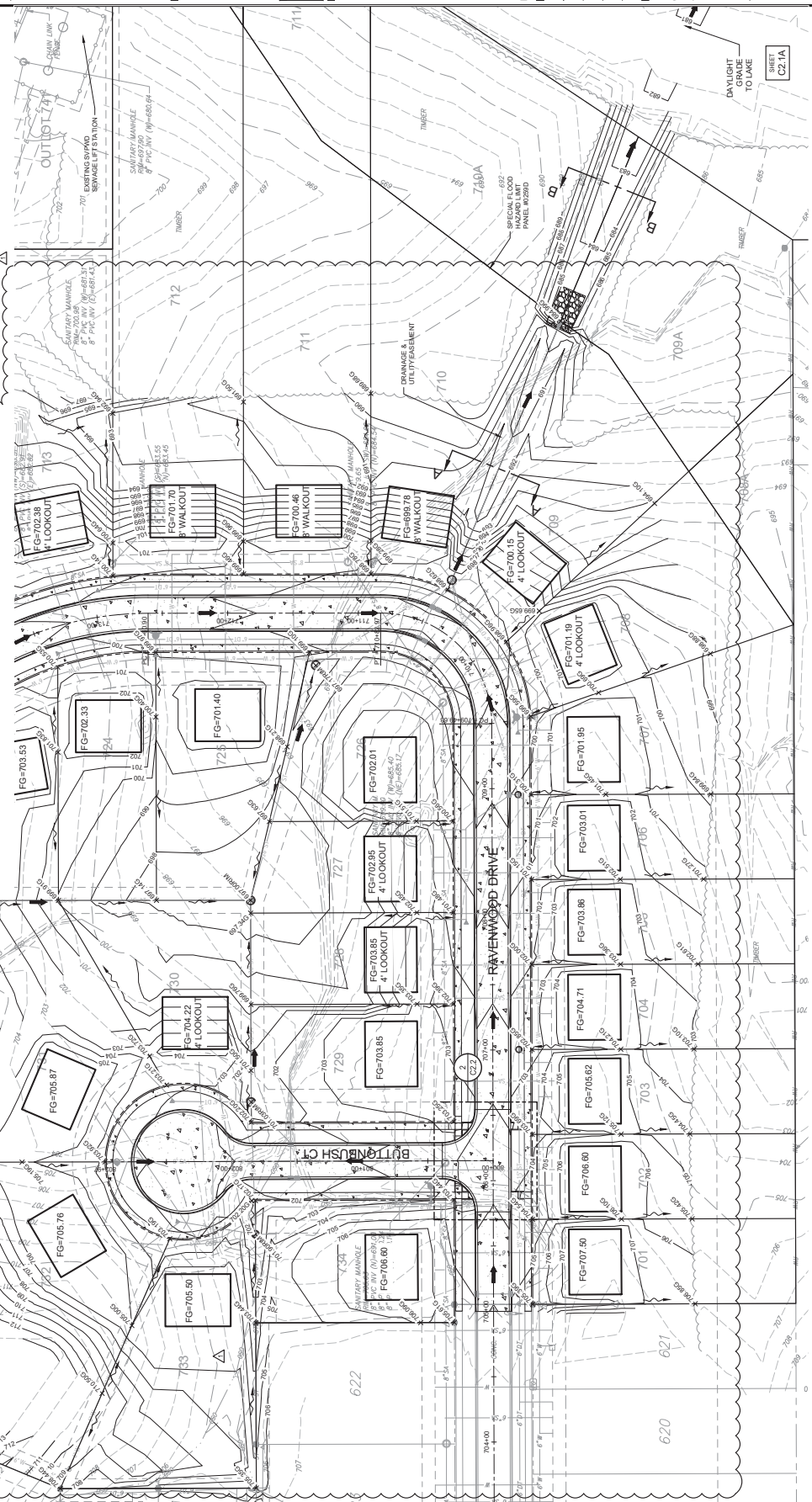
**DATE:** SEPT 07, 2022  
**TORRES ST. FILE NO.:** 106-03987  
 ILLINOIS PROFESSIONAL ENGINEER NO. 062-03987

**GRADING NOTES**

CONTOURS SHOWN ON THIS PLAN ARE FINAL GRADING AND THE FOOTPRINTS OF THE FINAL RESIDENTIAL STRUCTURES. THE SUBDIVISION GENERAL CONTRACTOR SHALL GRADE THE SPOT GRADES ALONG THE FRONT, SIDES AND REAR LOT LINES AS NOTED ON THIS PLAN. THE CONTRACTOR SHALL MAINTAIN DRAINAGE CONTROL CHANNELS PROPOSED ON THE GRADING PLANS TO THE EDGE OF EASEMENT. UNLESS OTHERWISE NOTED, ALL FINAL INTERIOR LOT GRADING SHALL BE ESTABLISHED BY THE HOME BUILDER OF EACH LOT AND SHALL MEET ALL VILLAGE OF MAHOMET LOT GRADING REQUIREMENTS.

**PROPOSED LEGEND**

- PROPOSED ELEVATION AROUND FUTURE EASEMENTS
- EXISTING ELEVATION
- GROUND ELEVATION
- FLOOD FLOW
- DRAINAGE FLOW
- FLOOD ROUTE
- STORM MANHOLE
- FLARED END SECTION
- PROPOSED SWALE



DAYLIGHT DRILL TO LAKE  
 SHEET C2.1A

**1 GRADING PLAN - SOUTH**  
 Scale: 1"=40'



**Farnsworth GROUP**  
 2709 McGRAW DRIVE  
 ELLICOTTINGTON, ILLINOIS 61704  
 (312) 653-9437 / fng@fng.com

www.fng.com  
 Engineers | Architects | Surveyors | Scientists  
 PROJECT: THORNEWOOD LSRD  
 DATE: 07/22/2022  
 DESCRIPTION: DRAINAGE SWALE  
 1. 08/17/2022 CONSTRUCTION PERMIT REVIEW

Permit Set  
 NOT FOR CONSTRUCTION

Thornewood LSRD  
 Subdivision Phase 2

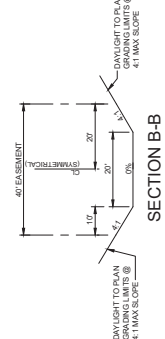
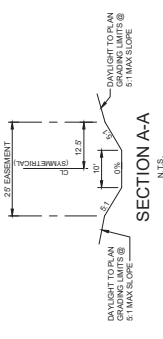
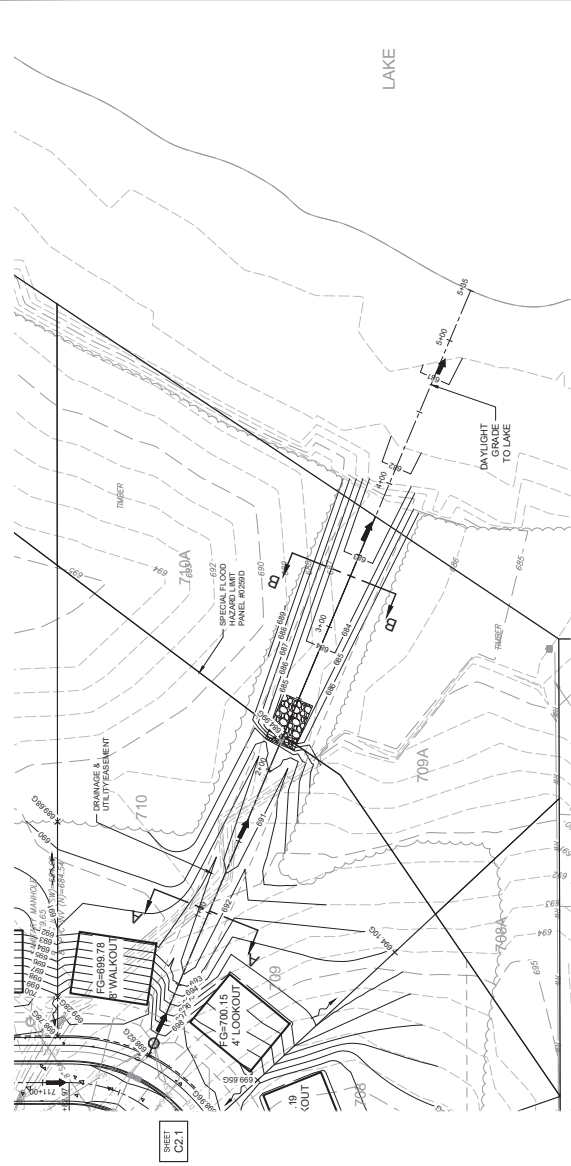
Mahomet, Illinois

DATE: 07/22/2022  
 DESIGNED: NCP  
 DRAWN: AEO/OME  
 REVIEWED: CNF/OME  
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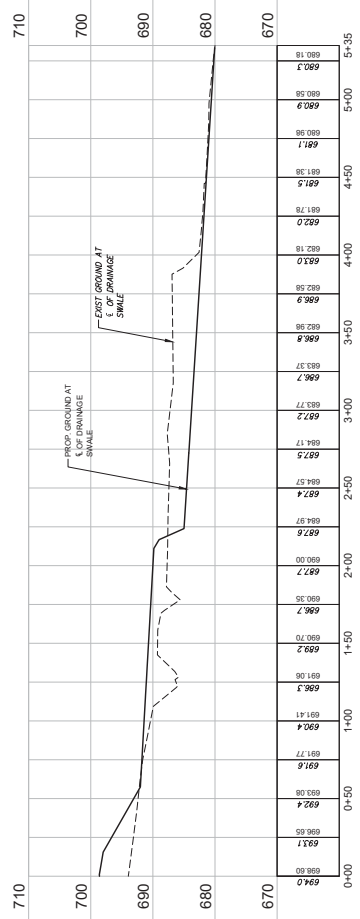
**DRAINAGE SWALE  
 PLAN AND PROFILE**

**C2.1A**

PROJECT NO.: 0211884.00



**2 DRAINAGE SWALE PLAN**  
 Scale: 1"=40'



**1 DRAINAGE SWALE PROFILE**  
 Scale: H 1"=40' V 1"=10'



**Famsworth GROUP**

2709 MAGRAW DRIVE  
ECONOMY, ILLINOIS 6104  
(815) 693-9437 / info@fpg.com

www.fpg.com  
Engineers | Architects | Surveyors | Scientists

DATE: 07/22/2022  
DESCRIPTION: GRADING PLAN - NORTH  
PROJECT: THORNWOOD LSRD

Permit Set  
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Thornwood LSRD  
Subdivision Phase 2

Mathomet, Illinois

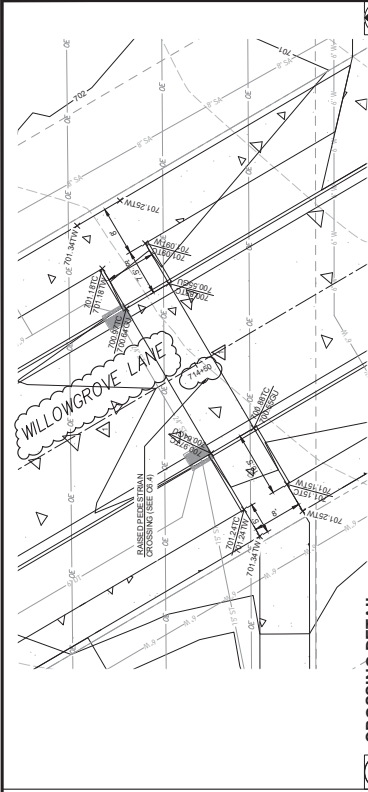
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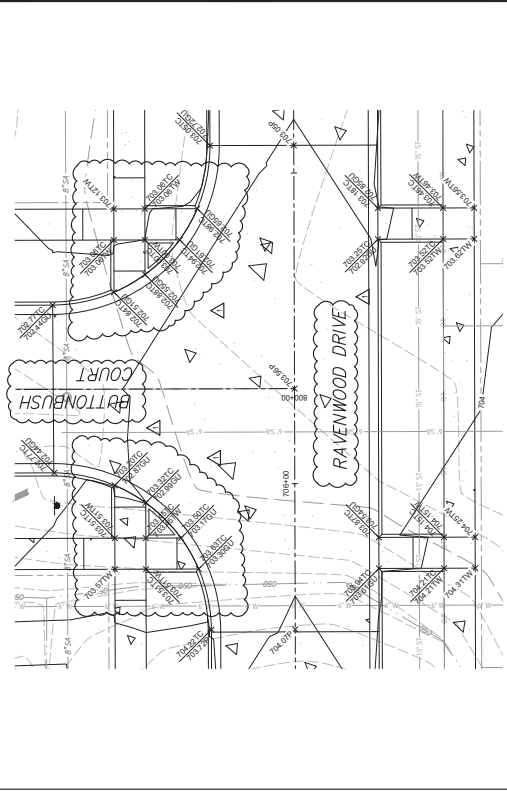
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**C2.2**

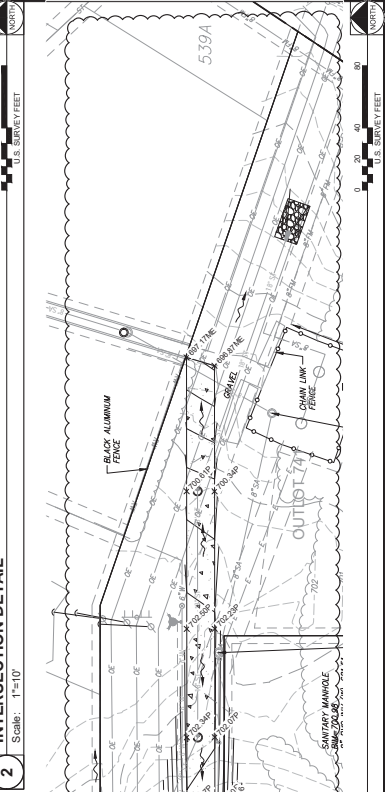
PROJECT NO.: 0211884.00



3 CROSSING DETAIL  
Scale: 1"=10'



2 INTERSECTION DETAIL  
Scale: 1"=10'



1 GRADING PLAN - NORTH  
Scale: 1"=40'



1 sheet | 1/2021/07/18/84.00 - Thornwood The Address/VA/Chicago/VA/C2.2/Grading - 0211884.00 | 8/17/2022 3:08 PM



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2709 MCGRAW DRIVE  
E. COVINGTON, ILLINOIS 6104  
(317) 603-9437 / info@fpg.com

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Thornewood LSRD  
Subdivision Phase 2

Mahomet, Illinois

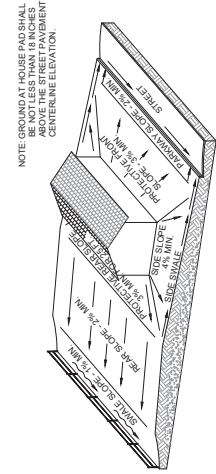
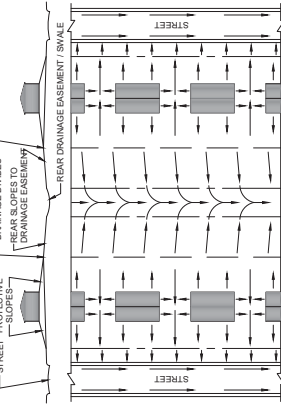
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DESIGNED: NCP  
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
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**GRADING PLAN  
DETAILS**

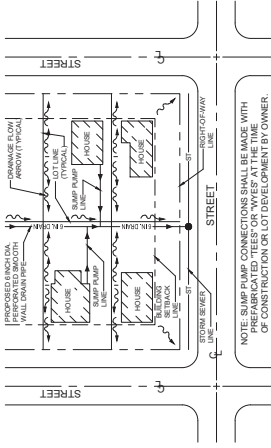
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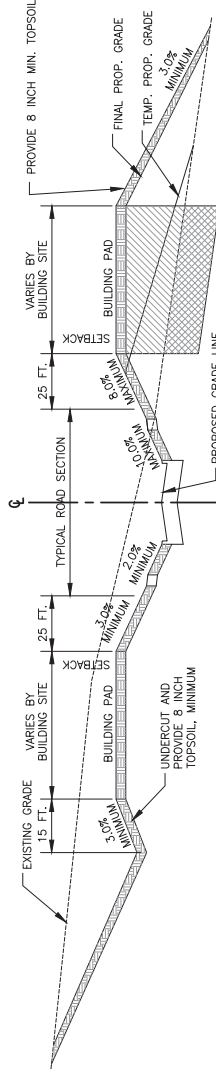
PROJECT NO.: 0211884.00



**TYPICAL RESIDENTIAL LOT GRADING**  
NO SCALE

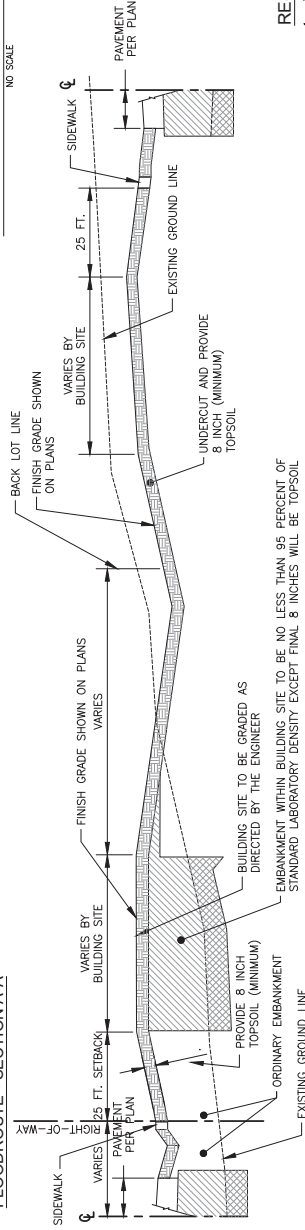


**TYPICAL LOT DRAINAGE DETAIL**  
NO SCALE



TOPSOIL REMOVAL AS DIRECTED BY THE ENGINEER  
COMPACTION NO LESS THAN 95 PERCENT OF STANDARD LABORATORY TOP SOIL EMBANKMENT

**TYPICAL LOT GRADING AT DRIVEWAY**  
NO SCALE



TOPSOIL REMOVAL AS DIRECTED BY THE ENGINEER  
NO LESS THAN 95 PERCENT OF STANDARD LABORATORY DENSITY  
TOP SOIL EMBANKMENT

**TYPICAL RESIDENTIAL LOT SHAPING**  
NO SCALE

**RESIDENTIAL LOT GRADING NOTES**

1. THE BUILDING SITE FOR RESIDENTIAL LOTS SHALL BE NO LESS THAN 18 INCHES ABOVE THE BACK OF CURB OF THE ADJACENT STREET AND NO LESS THAN 18 INCHES ABOVE THE BACK OF THE ADJACENT SIDEWALK ELEVATION. ALL LOTS SHALL BE GRADED TO DRAIN.
2. NOT LESS THAN 8 INCHES OF TOPSOIL SHALL BE PROVIDED WITHIN STREET RIGHT-OF-WAY, RESIDENTIAL LOTS, AND COMMONS AREAS.
3. GRADING SHALL BE BASED UPON THE SURFACE TO BE PROVIDED; ALLOW NOT LESS THAN 18 INCHES BETWEEN SIDEWALK SURFACE AND TOPSOIL SURFACE TO ALLOW FOR SOD PLACEMENT.



**Farnsworth GROUP**

2700 McGRAW DRIVE  
ECONOMY, ILLINOIS 6104  
(815) 605-9453 / fng@fng.com

www.fng.com  
Engineers | Architects | Surveyors | Scientists

DATE: 07/22/2022

DESCRIPTION: SANITARY SEWER MAIN CONNECTIONS

1. 08/10/2022: CIVIL REVISION COMMENTS

2. 08/10/2022: CONTRACT REVIEW

3. 08/10/2022: COMMENTS

Permit Set  
NOT FOR CONSTRUCTION

PROJECT

**Thornwood LSRD  
Subdivision Phase 2**

Mahomet, Illinois

DATE: 07/22/2022

DESIGNED: NCP

DRAWN: AEO/CM

REVIEWED: CNF/CM

FIELD BOOK NO.: CHA0128

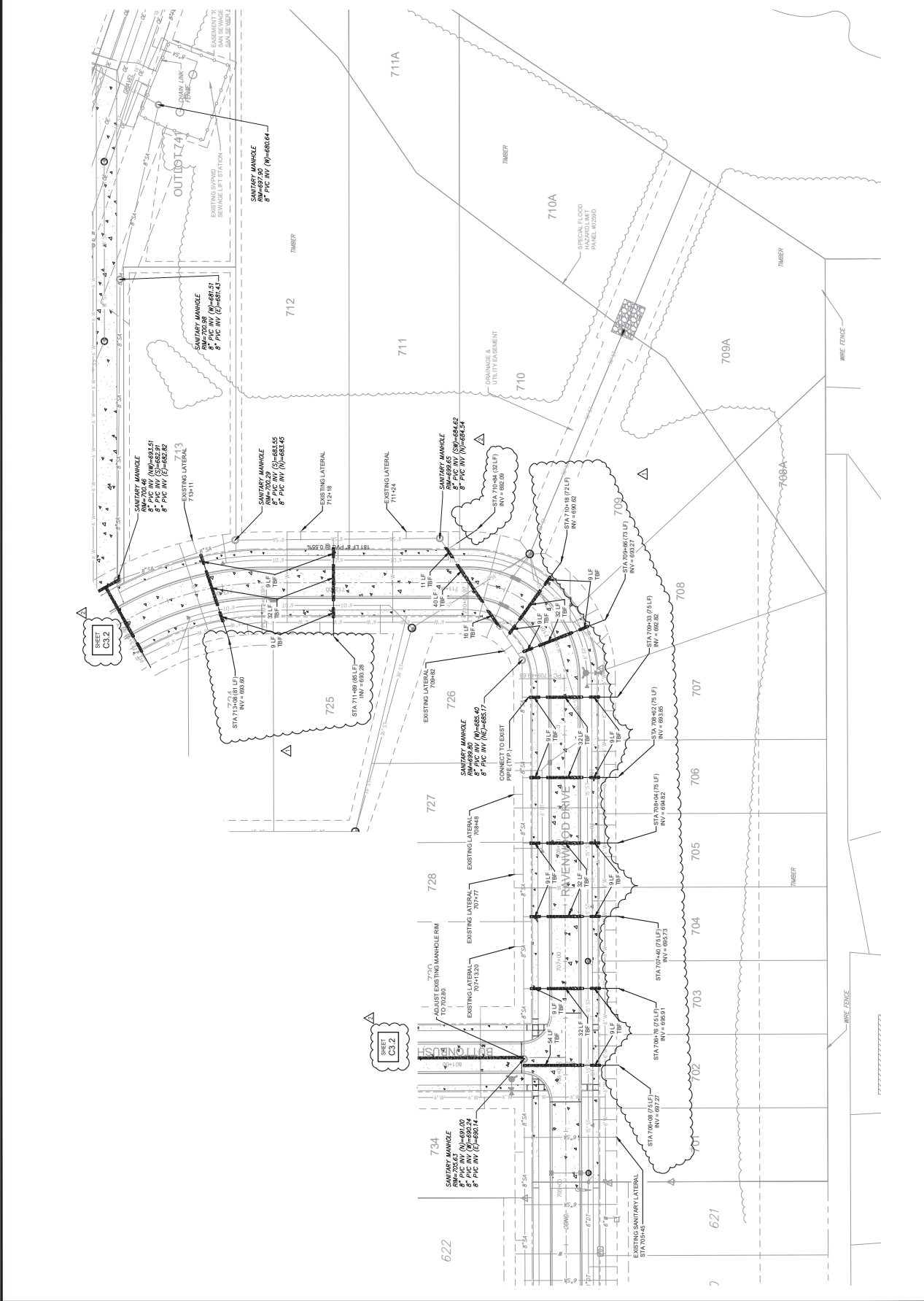
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**SANITARY SEWER  
PLAN - EXISTING  
MAIN CONNECTIONS**

SHEET NUMBER

**C3.1**

PROJECT NO.: 0211884.00



**1 SANITARY PLAN FOR EXISTING SANITARY MAIN**

Scale: 1"=40'

NO.	DATE	DESCRIPTION
1	08/20/22	ISSUED PERMITS
2	08/20/22	ISSUED PERMITS

**Permit Set**  
 NOT FOR CONSTRUCTION

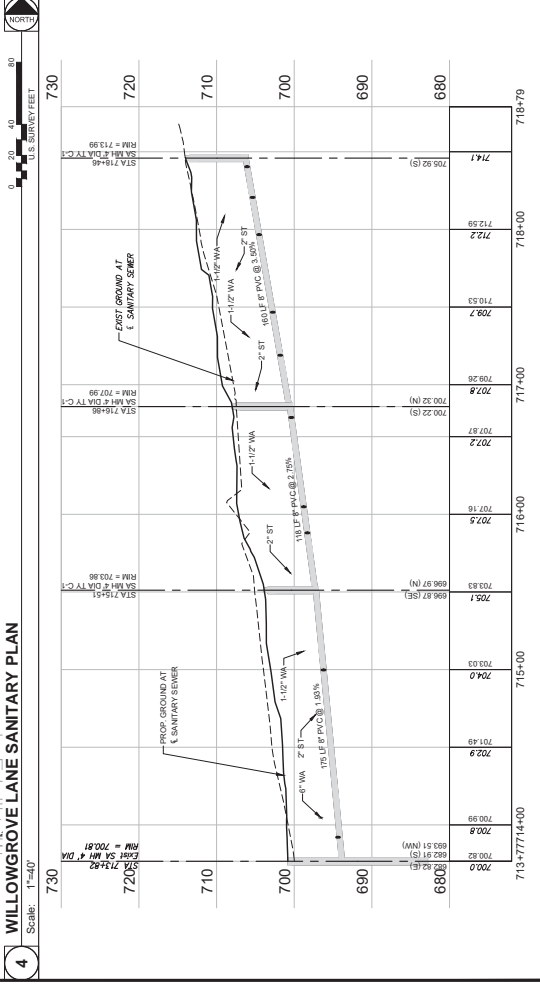
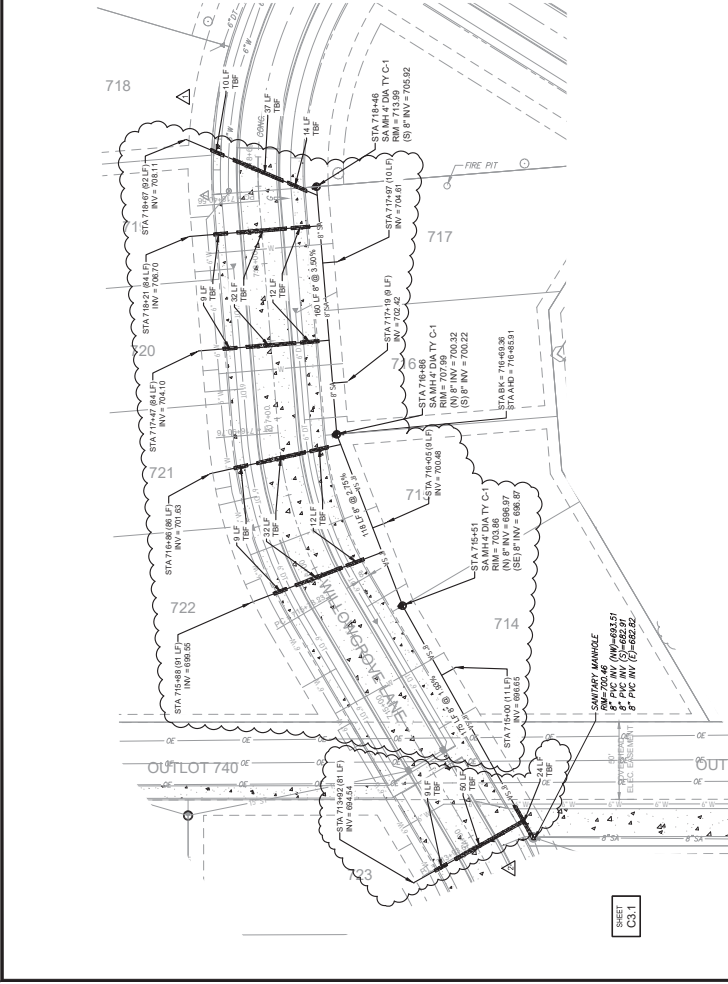
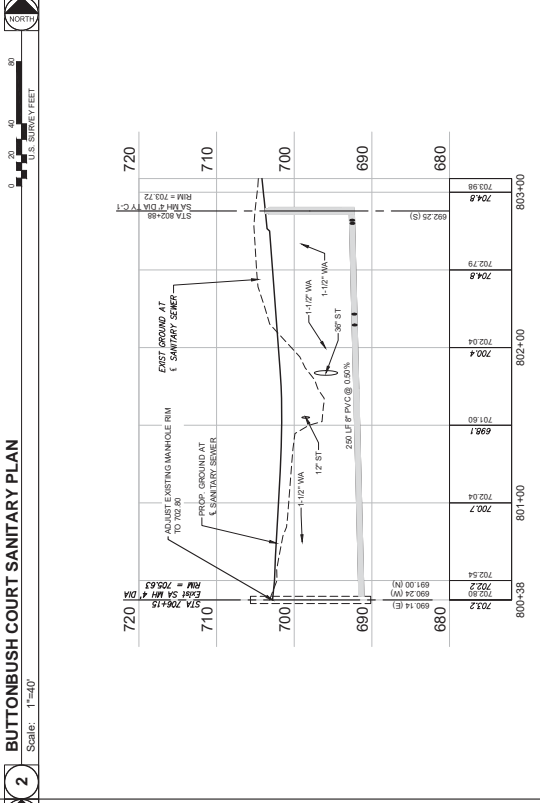
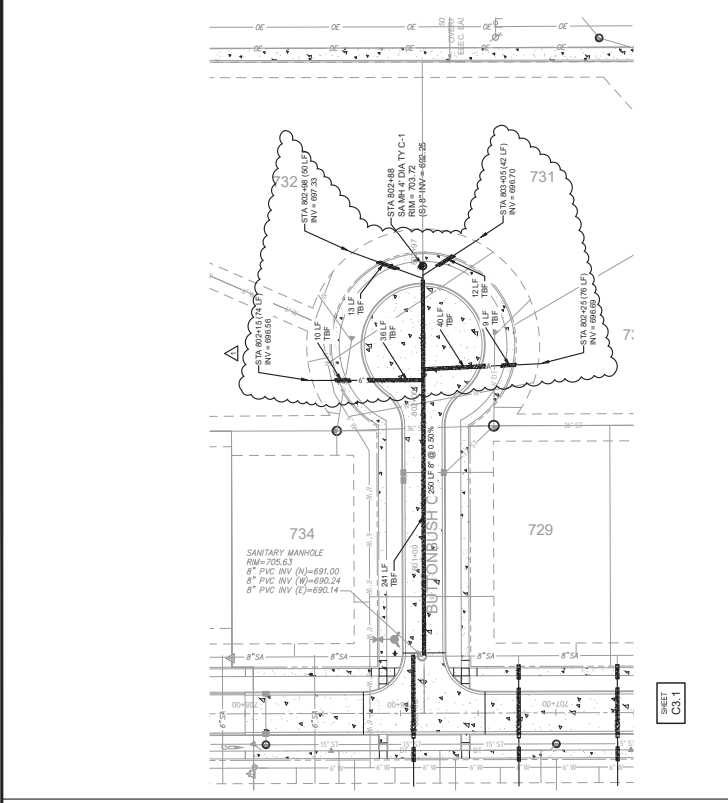
**Thornewood LSRD**  
 Subdivision Phase 2

Mahomet, Illinois  
 DATE: 07/22/2022  
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 DRAWN: AEO/OME  
 REVIEWED: CNF/OME  
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 SHEET TITLE:

**SANITARY SEWER**  
 PLAN AND PROFILES

**C3.2**

PROJECT NO.: 0211884.00





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ECONOMYVILLE, OHIO 43104  
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Subdivision Phase 2

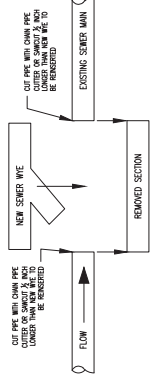
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REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE: SANITARY SEWER DETAILS

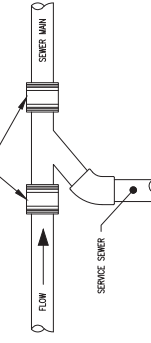
C3.3

PROJECT NO.: 0211884.00

- NOTES:**
1. PRECAST MANHOLES SHALL BE USED AND SHALL BE SEALED BY A RUBBER GASKET AT RING JOINTS.
  2. INSIDE OF ALL JOINTS TO BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
  3. SEAL EXTERIOR OF ALL JOINTS AND CONNECTIONS WITH BITUMINOUS MASTIC WATERPROOFING MATERIAL.
  4. ALL MANHOLES SHALL BE SET AS LEVEL UNLESS OTHERWISE NOTED. ALL MANHOLES SHALL BE SET IN ALL AREAS WHERE PRECAST MANHOLES ARE NOT SPECIFIED.
  5. MANHOLE COMPONENTS SHALL COMPLY WITH THE MATERIALS REQUIREMENTS OF SECTION 32 OF THE CURRENT STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION. ALL MANHOLES SHALL BE SET TO THE CURRENT STANDARD SPECIFICATIONS FOR MANHOLES, INCLUDING CONNECTIONS IN TRENCHES AND UNDER HIGHWAY STANDARD SPECIFICATIONS.
  6. PROVIDE NOT LESS THAN 0.1 FOOT FALL ACROSS MANHOLE BETWEEN INLET AND OUTLET PIPES OF EQUAL DIAMETER.
  7. PROVIDE 8 INCH DIAMETER OPENED PVC PIPE NIPPLE CUT INTO WALL 3 INCHES ABOVE THE MANHOLE TOP.
  8. WHERE THE PIPE IS 6 INCH OR SMALLER DIAMETER SERVICE LINE, INLET OR SERVICE LINE SHALL BE NOT LESS THAN 3/8 THE EFFLUENT PIPE DIAMETER ABOVE THE INLET OF THE EFFLUENT PIPE.
  9. ALL MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS PER ASTM C1244.
  10. ALL OPENINGS FOR INLET AND OUTLET PIPES SHALL BE PRECAST WITH BOTTOM MANHOLE SECTION.
  11. ALL MANHOLES SHALL BE SET TO THE CURRENT STANDARD SPECIFICATIONS FOR BRUSHED SMOOTH.
  12. PRECAST REINFORCED CONCRETE FLAT SLAB TOP DIMENSIONS, REINFORCING SIZE AND PLACEMENT SHALL CONFORM TO DOT STANDARD 602071 AND DOT STANDARD 602046.

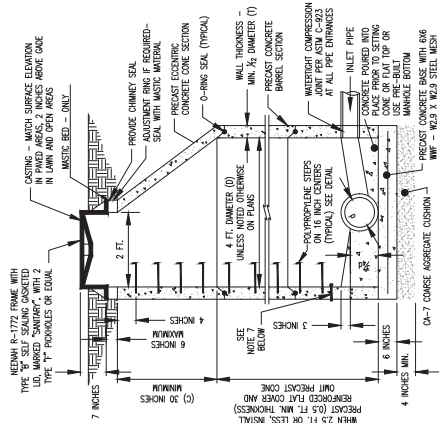


MISSION COUPLING OR APPROVED EQUAL SHALL BE USED FOR ALL COUPLINGS. USE 1/2" GAP FOR CONCRETE FILL. SEE DETAIL FOR STANDARD FOR ALTERNATE PIPE MATERIALS.

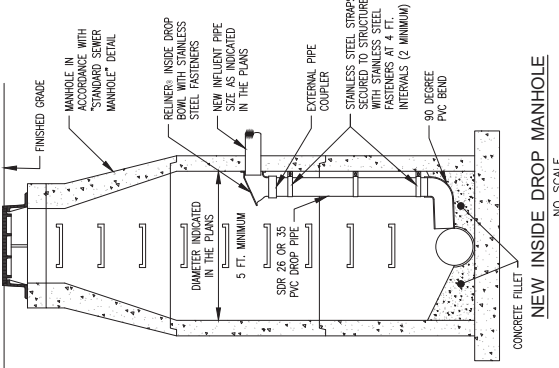


- NOTES:**
1. PIPE MATERIAL SHALL NOT BE ALLOWED IN THE SEWER MAIN.
  2. EXISTING MATERIAL FOR THE WYE SHALL BE CRUSHED AGGREGATE WITH A GENERAL SIZE RANGE OF 1/2 INCH DIAMETER TO 3/4 INCH DIAMETER.
  3. CONNECTIONS TO SEWER MAINS THAT ARE SMALLER THAN 12 INCH DIAMETER SHALL BE DONE BY REMOVING A LIMITED AMOUNT OF THE SEWER MAIN AND INSERTING A WYE CONNECTION WITH APPROVED COUPLINGS. CONNECTIONS TO MANHOLES OR PIPES 12 INCH DIAMETER AND LARGER SHALL BE DONE BY REMOVING A LIMITED AMOUNT OF THE SEWER MAIN AND INSERTING A FLOOR-LEVEL CONNECTOR ASSEMBLY SUCH AS KOP-K-SEAL BY MPT, INC. OR APPROVED EQUAL.

SANITARY SEWER WYE INSTALLATION  
NO SCALE



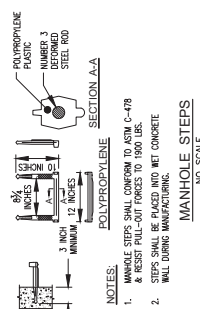
SANITARY SEWER MANHOLE  
NO SCALE



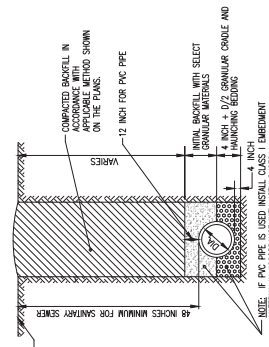
NEW INSIDE DROP MANHOLE  
NO SCALE

DIAMETER OF MAIN SEWER	(D)	(C)	(T)
18 INCHES AND UNDER	4 FT.-0 INCHES	4 FT.-0 INCHES	4 FT.-0 INCHES
24 INCHES TO 36 INCHES INCLUSIVE	6 FT.-0 INCHES	6 FT.-0 INCHES	6 FT.-0 INCHES
42 INCHES TO 48 INCHES INCLUSIVE	8 FT.-0 INCHES	8 FT.-0 INCHES	8 FT.-0 INCHES
54 INCHES TO 60 INCHES INCLUSIVE	10 FT.-0 INCHES	10 FT.-0 INCHES	10 FT.-0 INCHES
72 INCHES TO 84 INCHES INCLUSIVE	12 FT.-0 INCHES	12 FT.-0 INCHES	12 FT.-0 INCHES

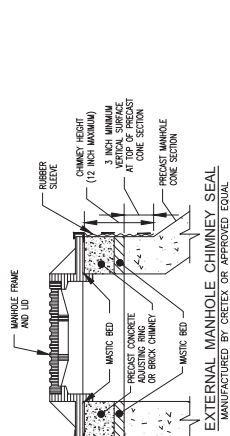
SANITARY SEWER MANHOLE SCHEDULES



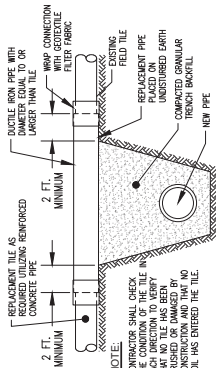
MANHOLE STEPS  
NO SCALE



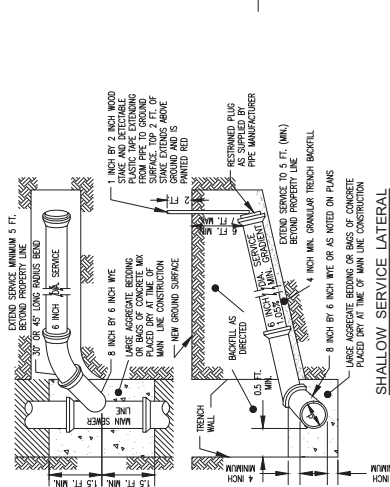
SANITARY SEWER TRENCH DETAIL  
NO SCALE



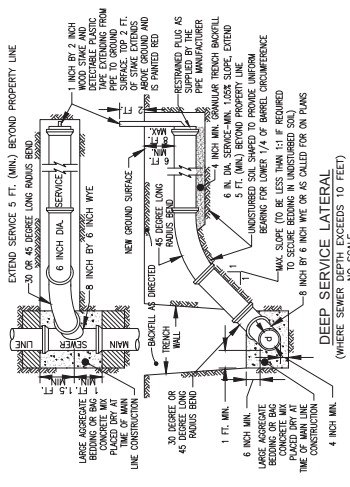
EXTERNAL MANHOLE CHIMNEY SEAL  
MANUFACTURED BY CRETEX OR APPROVED EQUAL  
NO SCALE



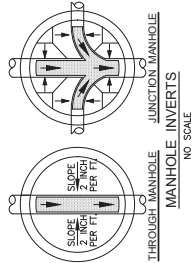
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NO SCALE



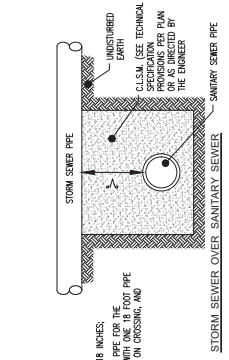
SHALLOW SERVICE LATERAL  
NO SCALE



DEEP SERVICE LATERAL  
(WHERE SEWER DEPTH EXCEEDS 10 FEET)  
NO SCALE

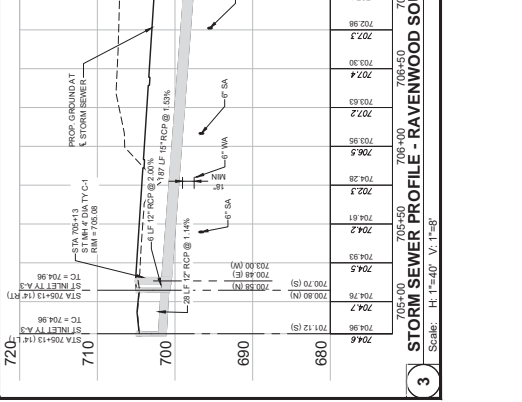
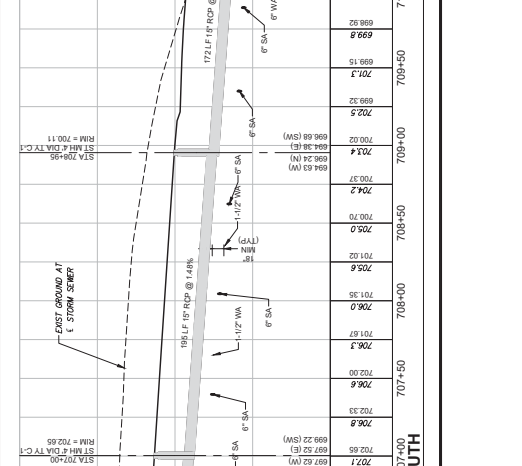
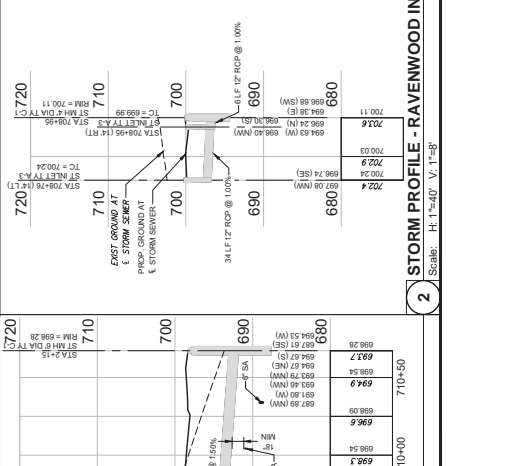
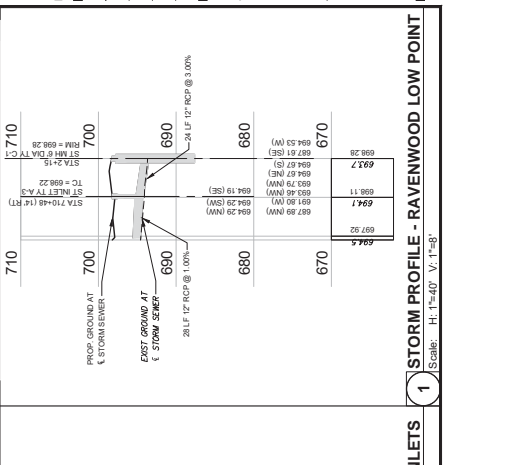
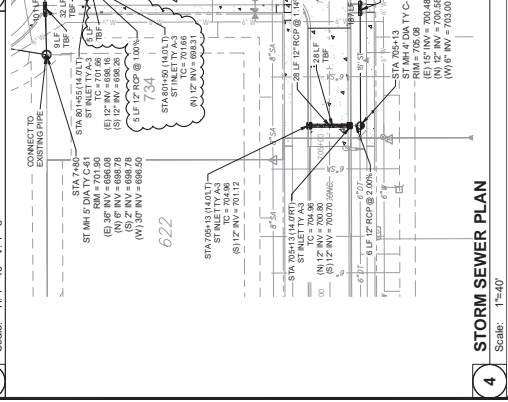
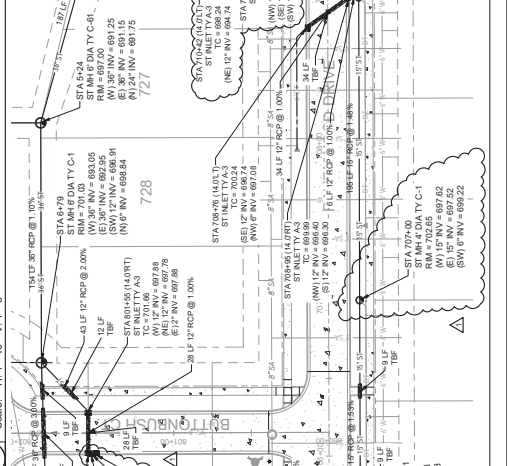
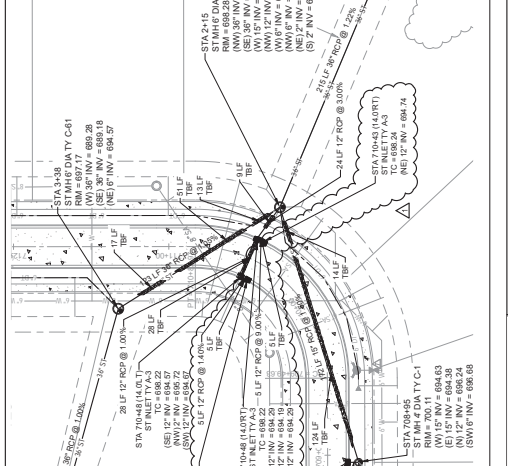
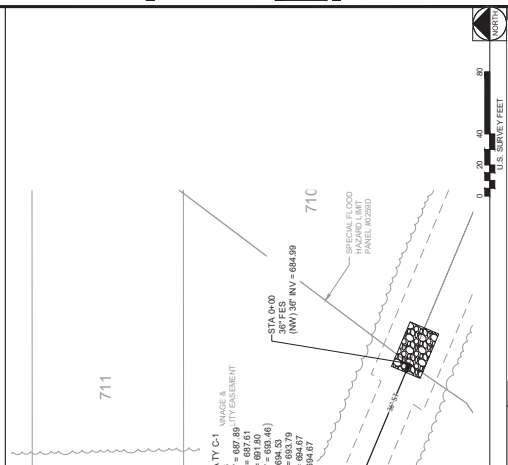
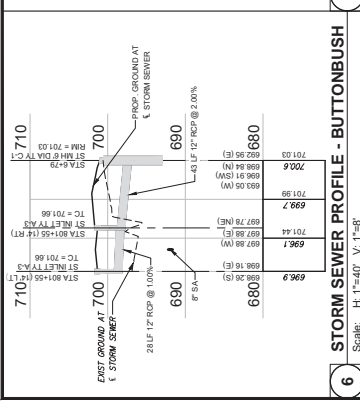
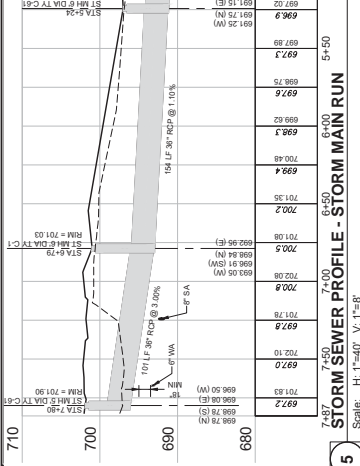
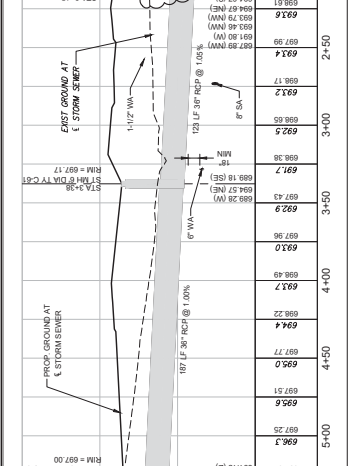
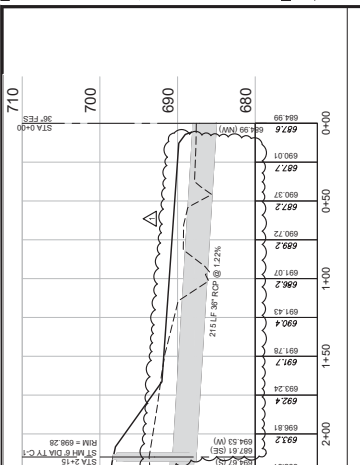


THROUGH MANHOLE JUNCTION INVERTS  
NO SCALE



STORM SEWER OVER SANITARY SEWER CROSSING  
NO SCALE

- NOTE:**
1. USE DUCTILE IRON PIPE FOR THE STORM SEWER PIPE. THE PIPE SHALL BE SET TO THE SAME LENGTH CENTERED ON CROSSING, AND





**Farnsworth GROUP**  
 2709 McRAW DRIVE  
 ELLICOTTWOOD, ILLINOIS 61104  
 (815) 635-9453 / INFO@FARN.IL.COM

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 NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 DATE: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_  
 1. 04/10/2022 DRAINAGE PERMIT REVIEW

Permit Set  
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Thornwood LSRD  
 Subdivision Phase 2

Mahomet, Illinois

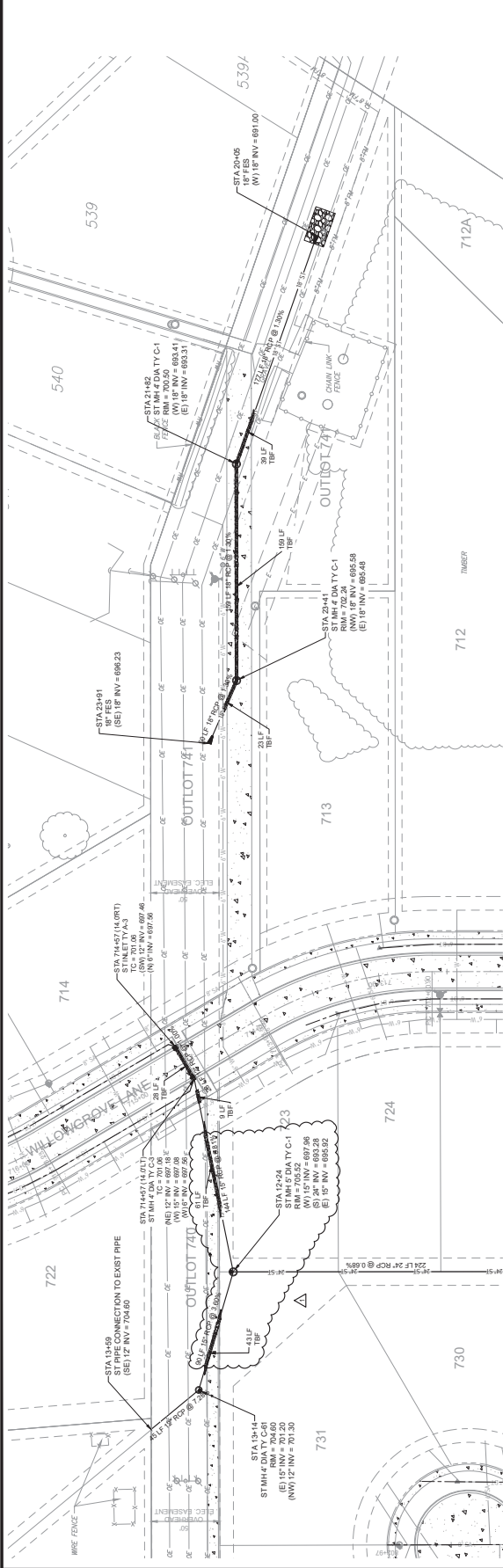
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 DRAWN: AEO/CME  
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 SHEET TITLE: \_\_\_\_\_

**STORM SEWER PLAN AND PROFILES**

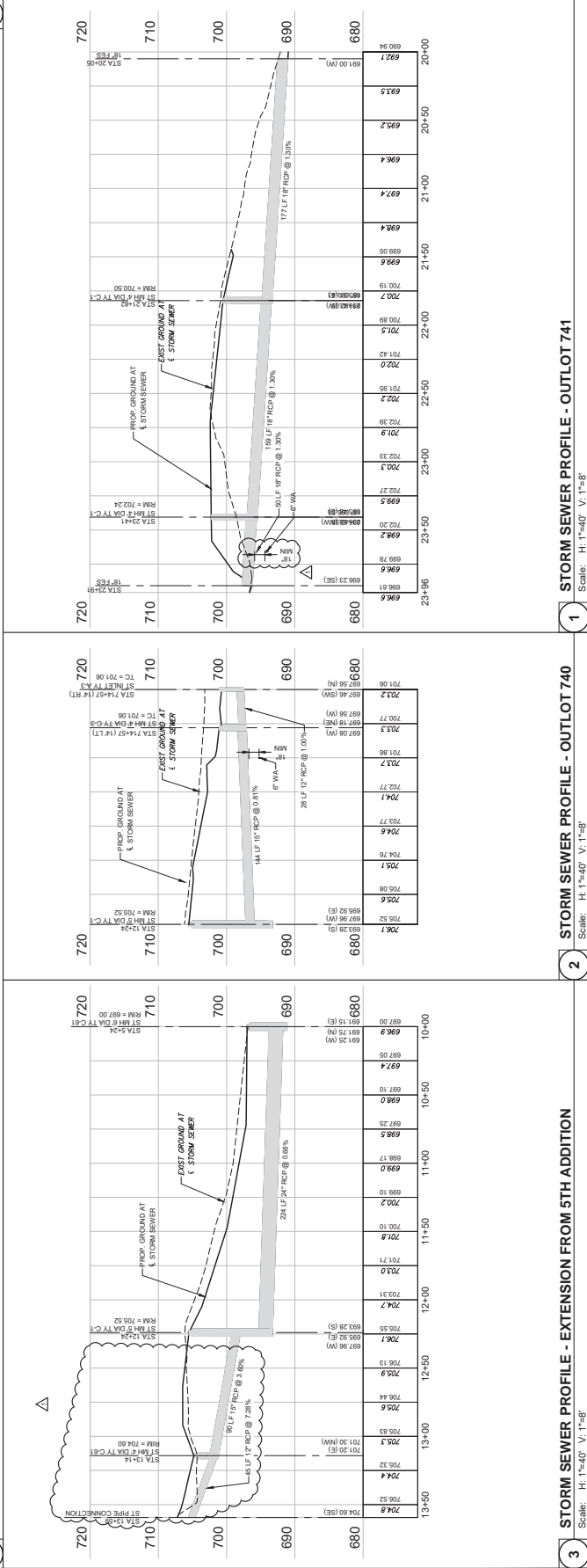
SHEET NUMBER

**C4.2**

PROJECT NO.: 0211884.00



**4 STORM SEWER PLAN - OUTLOT 740 AND OUTLOT 741**  
 Scale: 1"=40'



**1 STORM SEWER PROFILE - OUTLOT 741**  
 Scale: H: 1"=40' V: 1"=8'

**2 STORM SEWER PROFILE - OUTLOT 740**  
 Scale: H: 1"=40' V: 1"=8'

**3 STORM SEWER PROFILE - EXTENSION FROM 5TH ADDITION**  
 Scale: H: 1"=40' V: 1"=8'

Sheet 1 of 20 (0211884.00) - Thornwood LSRD - Subdivision Phase 2 - 07/22/2022 1:30 PM | 0211884.00 | 07/22/2022 1:30 PM

**Permit Set**  
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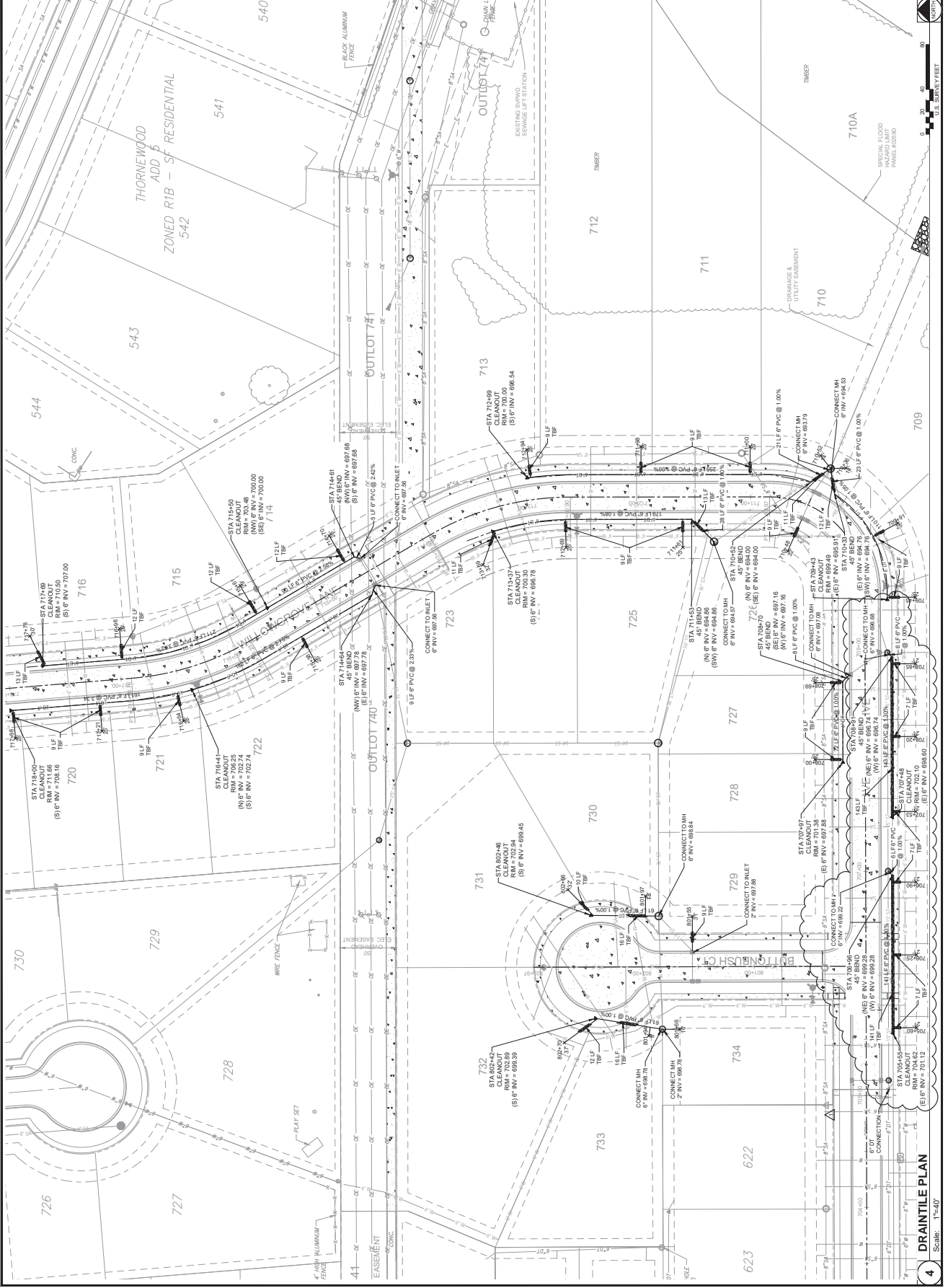
**Thornewood LSRD**  
 Subdivision Phase 2

Mohomet, Illinois

DATE:	07/22/2022
DESIGNED:	NCP
DRAWN:	AEO/OME
REVIEWED:	CNF/OME
FIELD BOOK NO.:	CHA0128
SHEET TITLE:	DRAIN TILE PLAN

**C4.3**

PROJECT NO.: 0211884.00



**4 DRAINTILE PLAN**  
 Scale: 1"=40'



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**Thornwood LSRD**  
 Subdivision Phase 2

Mahomet, Illinois  
 DATE: 07/22/2022  
 DESIGNED: NCP  
 DRAWN: AEO/OME  
 REVIEWED: CNF/OME  
 FIELD BOOK NO.: CHA0128  
 SHEET TITLE: \_\_\_\_\_

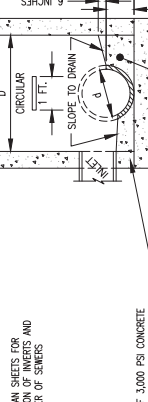
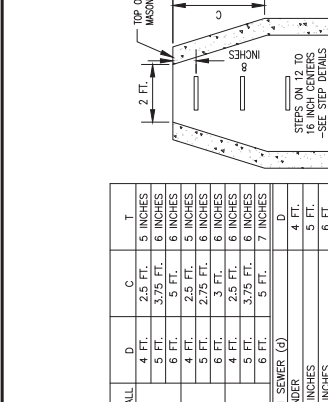
**C4.5**  
 PROJECT NO.: 0211884.00

**MANHOLE NOTES:**

1. MANHOLE SHALL BE PROVIDED WITH FRAME AND COVER AS SPECIFIED ON PLANS.
2. ALL MANHOLES SHALL BE ECCENTRIC.
3. STEPS SHALL BE EMBEDDED INTO WALL A MINIMUM OF 3 INCHES. STEPS SHALL NOT BE EXTENDED ON THE OUTSIDE.
4. ALL JOINTS INSIDE AND OUTSIDE, TO BE FILLED WITH MORTAR AND BRUSHED SMOOTH.
5. ALL MANHOLES SHALL COMPLY WITH THE APPLICABLE PORTION OF I.D.O.T. HIGHWAY STANDARD 602401 AND 602406 MANHOLE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. PROVIDE NO LESS THAN 0.1 FT. OF FALL BETWEEN INLET AND EFFLUENT PIPES OF EQUAL DIAMETER.
7. ONLY PRECAST REINFORCED CONCRETE SECTIONS SHALL BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER.
8. A CONCRETE FILLET AS A CONTINUATION OF THE BASE SHALL BE PLACED IN THE BOTTOM OF THE MANHOLE, APPROXIMATELY AS INDICATED. SPECIAL SHAPING OF THIS FILLET SHALL SLOPE DOWNWARD APPROXIMATELY 1 INCH PER FOOT TOWARD THE CHANNEL.
9. PRECAST REINFORCED CONCRETE FLAT SLAB TOP DIMENSIONS, REINFORCING SIZE AND PLACEMENT SHALL CONFORM TO I.D.O.T. STANDARD 602261 AND I.D.O.T. STANDARD 602406.

**FRAMES AND LIDS**

FRAMES AND LIDS SHALL CONFORM TO THE FOLLOWING:  
 NEMAH CATALOG NUMBERS OR APPROVED EQUAL  
 BARRIER CURB R-3778, R-4248, R-4498  
 ROLL GRATES R-3020B OR R-3501N (USE FOR TYPE C-1)  
 ROLL GRATES R-3020B OR R-3501N (USE FOR TYPE C-2)  
 TUFF AREAS R-4498 (USE FOR TYPE C-3)  
 DITCH GRATES R-4498 (USE FOR TYPE C-8)

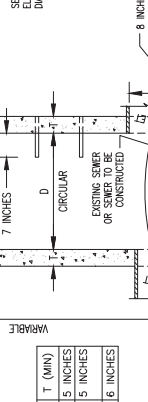
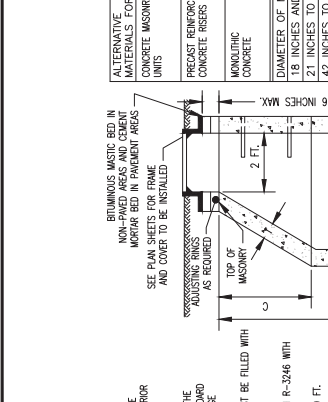


**STANDARD STORM DRAIN MANHOLE**  
 NO SCALE

SEE PLAN SHEETS FOR ELEVATION OF INVERTS AND DIAMETER OF STEPS

8 INCHES OF 3,000 PSI CONCRETE REINFORCED CONCRETE SLAB

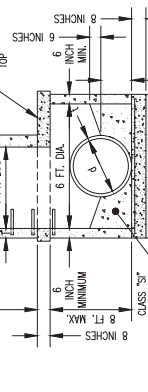
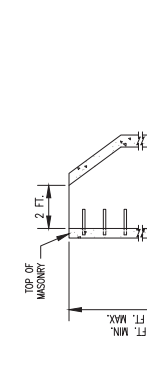
3 INCH MINIMUM STONE OR SAND CUSHION



**STANDARD BOX INLET**  
 NO SCALE

CASTING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD 602401 AND 602406

3 INCHES CRUSHED STONE OR SAND CUSHION

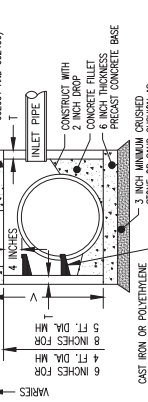
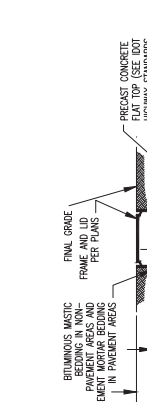


**STORM DRAIN MANHOLE**  
 (USE WHEN "V" IS LESS THAN 5 FEET)  
 NO SCALE

SEE PLAN SHEETS FOR ELEVATION OF INVERTS AND DIAMETER OF STEPS

8 INCHES OF 3,000 PSI CONCRETE REINFORCED CONCRETE SLAB

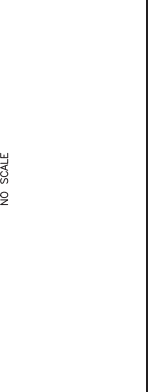
3 INCH MINIMUM STONE OR SAND CUSHION AS DIRECTED BY THE ENGINEER



**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
 NO SCALE

CASTING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD 602401 AND 602406

3 INCHES CRUSHED STONE OR SAND CUSHION



**STORM DRAIN MANHOLE**  
 (USE WHEN "V" IS LESS THAN 5 FEET)  
 NO SCALE

SEE PLAN SHEETS FOR ELEVATION OF INVERTS AND DIAMETER OF STEPS

8 INCHES OF 3,000 PSI CONCRETE REINFORCED CONCRETE SLAB

3 INCH MINIMUM STONE OR SAND CUSHION AS DIRECTED BY THE ENGINEER



**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
 NO SCALE

CASTING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD 602401 AND 602406

3 INCHES CRUSHED STONE OR SAND CUSHION



**Famsworth GROUP**

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ECONOMY, ILLINOIS 61704  
(815) 653-8437 / info@fvg.com

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TITLE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_

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PROJECT:

**Thornwood LSRD**  
**Subdivision Phase 2**

Mahomet, Illinois

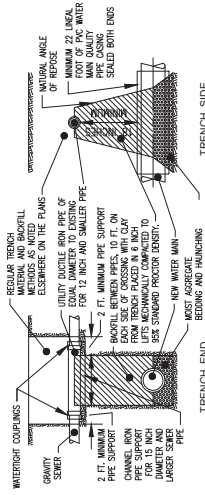
DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE:

**STORM SEWER**  
**DETAILS**

SHEET NUMBER:

**C4.6**

PROJECT NO.: 0211884.00

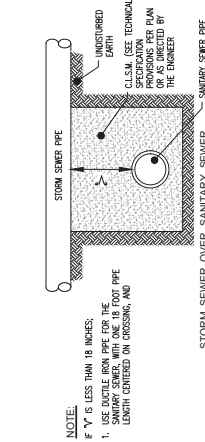


**NOTES:**

1. GRAVITY STORM OR SANITARY SEWER UTILITY SHALL BE SUPPORTED ABOVE THE TOP OF THE WATER MAIN PIPE.
2. CHECK THE CONDITION OF THE GRAVITY SEWER UTILITY IN EACH DIRECTION TO VERIFY THAT THE UTILITY HAS NOT BEEN COMPROMISED BY CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE UTILITY.

**GRAVITY SEWER UTILITY CROSSING WATER MAIN**

(FIELD TILE, STORM SEWER, SANITARY COLLECTOR SEWER)

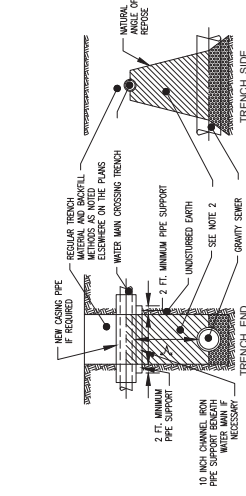


**NOTE:**

1. IF "Y" IS LESS THAN 18 INCHES, THE SANITARY SEWER WITH AN 8 FOOT PIPE LENGTH CENTERED ON CROSSING, AND

**SANITARY / STORM SEWER CROSSING**

NO SCALE

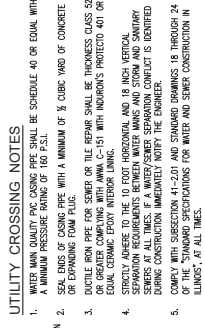


**NOTES:**

1. IF "Y" IS LESS THAN 18 INCHES, INSTALL PVC WATER MAIN UNBORED PIPE CASING ABOVE WATER MAIN A MINIMUM OF FEET EACH SIDE OF WATER MAIN CROSSING (SEE BIDDING ENDS).
2. IF CONCRETE BACKFILL EXISTS, WATER MAIN HAS GROUND COVER, EXISTING GRANULAR MATERIAL AND INSTALL CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL.

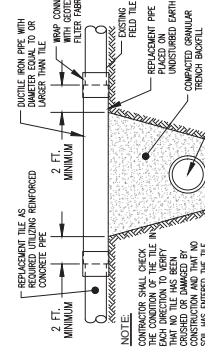
**WATER MAIN CROSSING GRAVITY SEWER**

NO SCALE



**UTILITY CROSSING NOTES**

1. WATER MAIN QUALITY PVC CASING PIPE SHALL BE SCHEDULE 40 OR EQUAL WITH A MINIMUM PRESSURE RATING OF 160 P.S.I.
2. SOIL ENDS OF CASING PIPE WITH A MINIMUM OF 3/4" COBIC WAD OF CONCRETE OR EXPANDING FOM POLYURETHANE OR THE EQUIV. SHALL BE THICKNESS CLASS 50 OR GREATER COMPLYING WITH MANA C-511 WITH INDOOR'S PROTECTO 401 OR EQUAL CERAMIC EMERY INTERIOR LINING.
3. STRICTLY ADHERE TO THE 10 FOOT HORIZONTAL AND 18 INCH VERTICAL CLEARANCE REQUIREMENTS FOR ALL UTILITY CROSSINGS.
4. DURING CONSTRUCTION IMMEDIATELY NOTIFY THE ENGINEER.
5. COMPLY WITH SUBSECTION 41-2.07 AND STANDARD DRAWINGS 18 THROUGH 24 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AT ALL TIMES.



**TILE REPAIR / REPLACEMENT**

NO SCALE

CONTRACTOR SHALL CHECK EACH DIRECTION TO VERIFY THAT NO TILE HAS BEEN COMPROMISED BY CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE TILE.



**STORM SEWER OVER SANITARY SEWER**

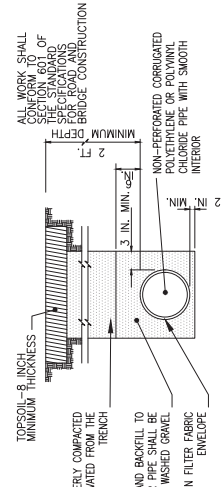
NO SCALE

**STORM SEWER OVER SANITARY SEWER**

NO SCALE

**SUMP PUMP DRAIN LINE CONSTRUCTION NOTES**

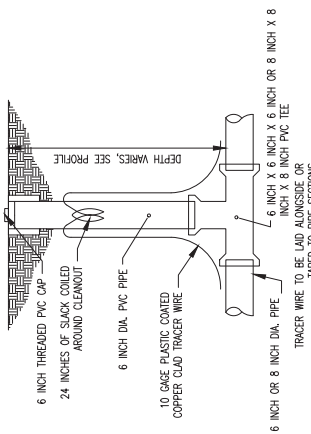
- SUMP PUMP DRAIN LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 801 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- MATERIALS FOR THE SUMP PUMP DRAIN LINES AND FITTINGS SHALL BE CORRUGATED POLYETHYLENE (PE) PIPE WITH A SMOOTH INTERIOR (PERFORATED ADS-N12 OR EQUIVALENT) OR CORRUGATED POLYETHYLENE CHLORIDE PIPE WITH A SMOOTH INTERIOR. PIPE SHALL BE IN ACCORDANCE WITH SECTION 104.03 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. PIPE JOINTS SHALL BE THE MANUFACTURED PUSH-ON, GASKET JOINTS.
- ALL SEAMENTS OF PVC OF PIPE PIPE 8 INCHES OR LARGER IN DIAMETER SHALL BE MANUALLY TESTED FOR DEFLECTION PER ASTM D-3034 METHODOLOGY BY THE CONTRACTOR.
- BREAK-IN CONNECTIONS TO EXISTING MANHOLES AND INLETS SHALL BE MADE BY CORE DRILLING OR SAW-CUTTING INTO THE SIDE OF THE STRUCTURE FOR PROPER INSERTION OF THE NEW PIPE. THE CONNECTION SHALL BE SEALED WITH AN EXPANDING MORTAR OR NON-SHRINK GROUT AND A BITUMINOUS WATERPROOFING MATERIAL SHALL BE COATED ON THE OUTSIDE OF THE CONNECTION. THE CONCRETE BOTTOM OF THE MANHOLE SHALL BE REMOVED SUFFICIENTLY TO SET THE NEW TILE UNDERGROUND CONNECTION AT THE APPROPRIATE ELEVATION AND A NEW INLET POURER.
- AGGREGATE BEDDING SHALL BE CA-14, AS SPECIFIED IN SECTION 1004 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE AGGREGATE BEDDING MATERIAL SHALL BE PLACED AND SHAVED IN THE TRENCH TO CONFORM TO THE SLOPE OF THE TRENCH. THE MATERIAL SHALL BE PLACED IN 6 INCH LAYERS, COMPACTED ALONG BOTH SIDES OF THE PIPE AND WALKED IN OR ROLLED TO COMPACT THE MATERIAL UNDER THE HAUNCHES OF THE TRENCH. AGGREGATE COVER SHALL BE PLACED TO THE TOP OF PIPE. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH TOPSOIL AND WHEEL ROLLED IN LAWN AREAS. GRANULAR TRENCH BACKFILL WILL BE REQUIRED FOR THE REMAINDER OF THE TRENCH BENEATH PARALLEL AREAS AS SHOWN ON THE PLANS.
- CLEANOUTS SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON THE PLANS BY INSTALLING A W/6 AND A VERTICAL RISER (6 INCH DIAMETER) TO THE PROPOSED GRADE. A CAP OR COVER ON THE W/6 CLEANOUT WILL BE REQUIRED. THE AGGREGATE BEDDING AND COVER SHALL EXTEND TWO FEET ABOVE THE TOP OF THE SUMP PUMP DRAIN LINE AT THE CLEANOUT TO SUPPORT THE CONNECTION. A FOUR INCH THICKNESS CONCRETE PAD 18 INCHES SQUARE SHALL BE PLACED AT THE GROUND SURFACE ENCOMPASSING THE CLEANOUT.
- ALL SUMP PUMP DRAIN LINES 8 INCHES IN DIAMETER OR LARGER UTILIZING FLEXIBLE PIPE MATERIALS SHALL BE INSTALLED WITH A 10 GAGE TRACER WIRE. THE TRACER WIRE SHALL BE INSULATED AND MADE. A COPY OF WHICH SHALL BE PROVIDED TO THE VILLAGE ENGINEER. ANY DEFECTS NOTED DURING THE TELEVISION CAMERA INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
- ALL SUMP PUMP DRAIN LINES SHALL BE NOT LESS THAN 2 FEET BELOW GROUND SURFACE AND INSTALLED WITH 10 GAGE TRACER WIRE.
- MINIMUM TRENCH WIDTHS SHALL BE AS REQUIRED BY ASTM D-2321.
- CONSTRUCT SUMP PUMP DRAIN LINES ACCORDING TO THE ALIGNMENT AND GRADES SHOWN ON THE PLANS. FAILURE TO CONSTRUCT THE SUMP PUMP DRAIN LINES TO THE APPROVED ALIGNMENT OR GRADES SHALL RESULT IN REJECTION OF THE SUMP PUMP DRAIN LINES.



CONSTRUCT HIGH DENSITY POLYETHYLENE PIPE WITH A SMOOTH INTERIOR CONFORMING TO ARTICLE 104.03 OF THE STANDARD SPECIFICATIONS OR CORRUGATED POLYETHYLENE CHLORIDE PIPE WITH A SMOOTH INTERIOR CONFORMING TO ARTICLE 104.03 OF THE STANDARD SPECIFICATIONS.

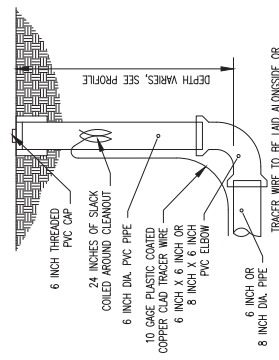
**POLYETHYLENE OR POLYVINYL CHLORIDE PIPE  
SUMP PUMP DRAIN PIPE TRENCH DETAIL**

NO SCALE



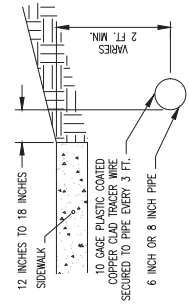
**SUMP PUMP LINE CLEANOUT**

NO SCALE



**SUMP PUMP LINE CLEANOUT - TYPE I**

NO SCALE



NOTE:  
TRACER WIRE SINGLE CONDUCTOR 18 GAGE COPPER TAPPED TO TOP OF PIPE. THE WIRE SHALL TERMINATE WITH TWO (2) FEET OF SLACK AT EACH INLET AND CLEANOUT. DRILL A SMALL HOLE JUST BELOW THE GROUND SURFACE AND LEAVE THE SLACK WIRE COILED INSIDE THE STRUCTURE.

**TYPICAL SUMP LINE DETAIL**

NO SCALE



**Farnsworth GROUP**

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ECONOMY, ILLINOIS 61104  
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PROJECT

Thornwood LSRD  
Subdivision Phase 2

Mahomet, Illinois

DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/CMC  
REVIEWED: CNF/CFM  
FIELD BOOK NO.: CHA0128

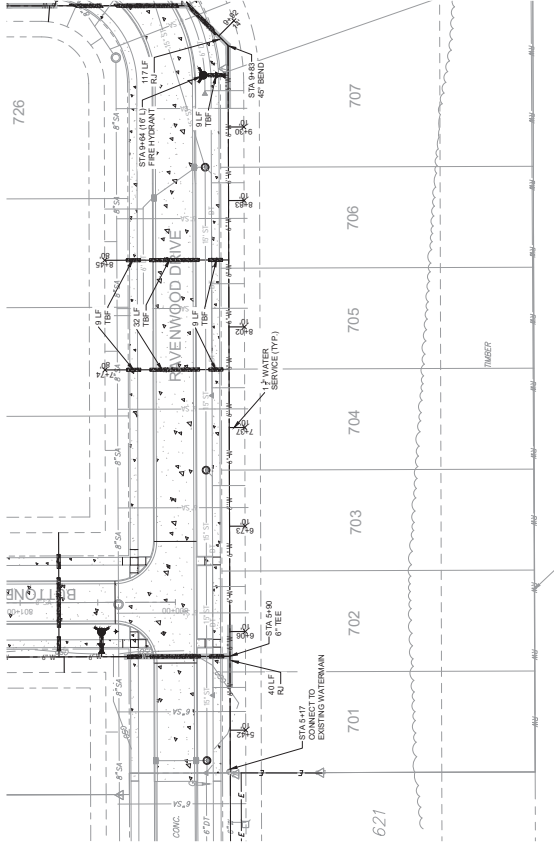
SHEET TITLE

**WATERMAIN PLAN  
AND PROFILE -  
RAVENWOOD DRIVE**

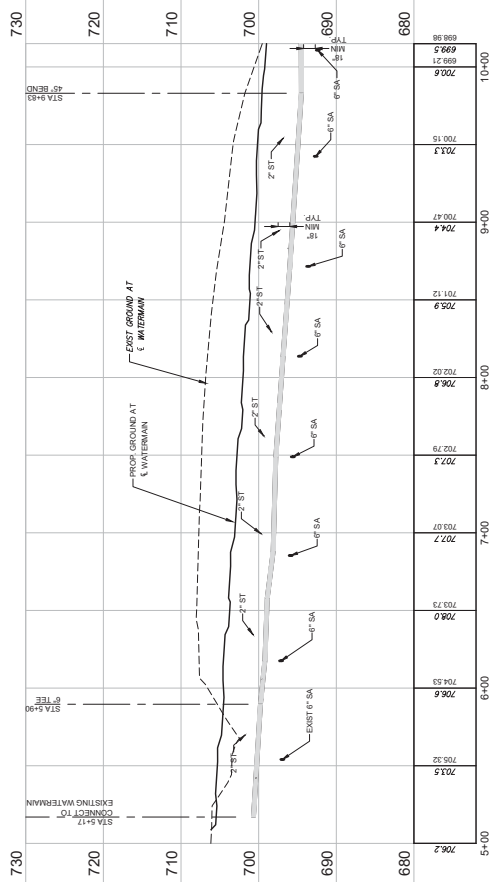
SHEET NUMBER

**C5.1**

PROJECT NO.: 0211884.00



**2 WATERMAIN PLAN - RAVENWOOD DRIVE**  
Scale: 1"=40'



**1 WATERMAIN PROFILE - RAVENWOOD DRIVE**  
Scale: H=1"=40' V=1"=8'



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2709 McGRAW DRIVE  
ECONOMY, ILLINOIS 61704  
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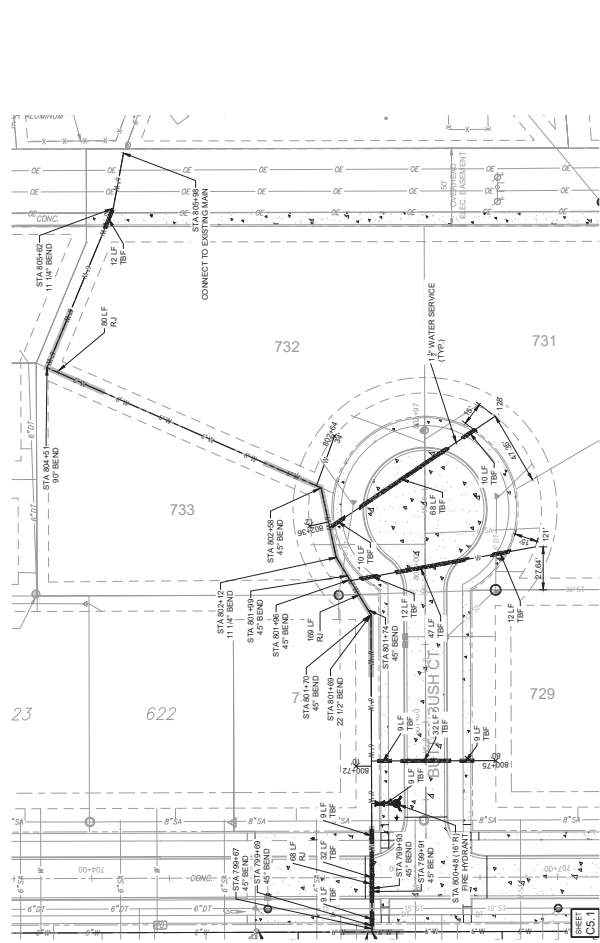
DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE:

**WATERMAIN PLAN  
AND PROFILE -  
BUTTONBUSH COURT**

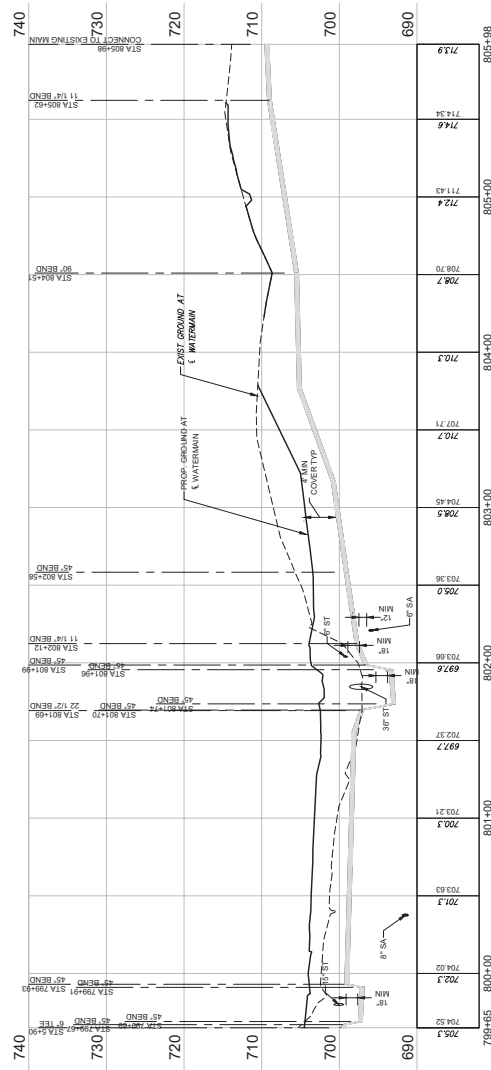
SHEET NUMBER

**C5.2**

PROJECT NO.: 0211884.00



**2 WATERMAIN PLAN - BUTTONBUSH COURT**  
Scale: 1"=40'



**1 WATERMAIN PROFILE - BUTTONBUSH COURT**  
Scale: H 1"=40' V 1"=8'



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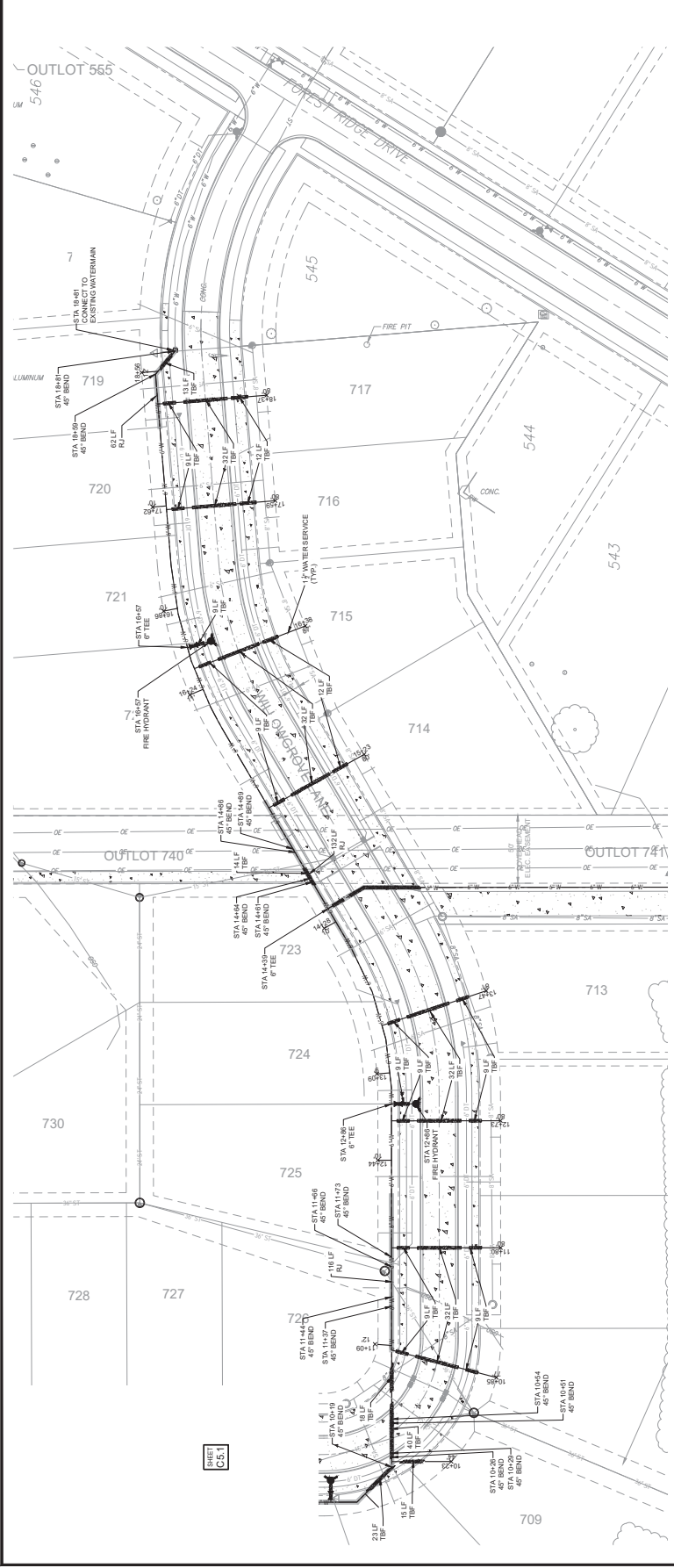
Mahomet, Illinois  
DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE:

**WATERMAIN PLAN  
AND PROFILE -  
WILLOWGROVE LANE**

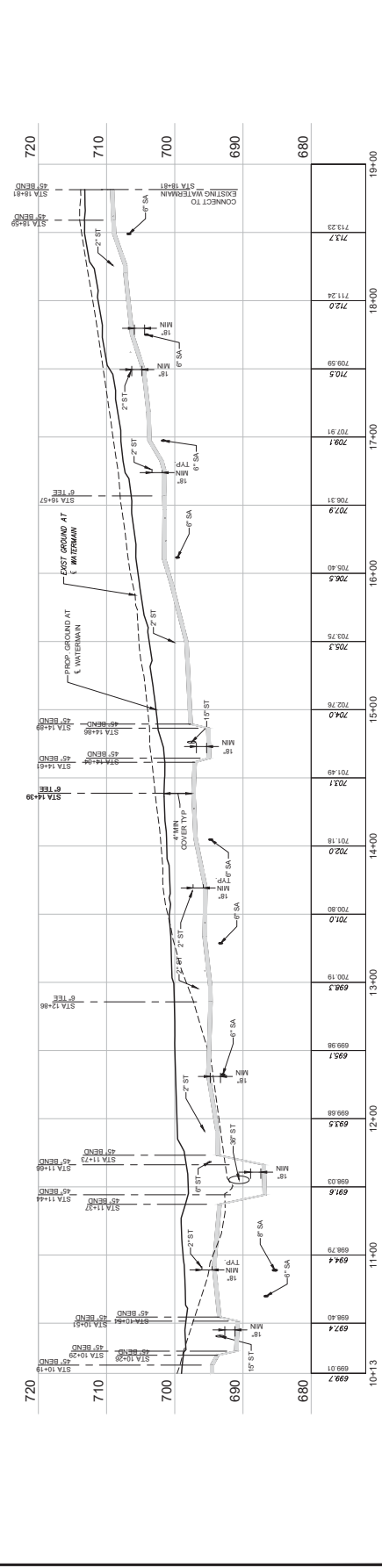
SHEET NUMBER

**C5.3**

PROJECT NO.: 0211884.00



**2 WATERMAIN PLAN - WILLOWGROVE LANE**  
Scale: 1"=40'



**1 WATERMAIN PROFILE - WILLOWGROVE LANE**  
Scale: 1"=40' V, 1"=8'

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DATE: 07/22/2022  
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SHEET TITLE

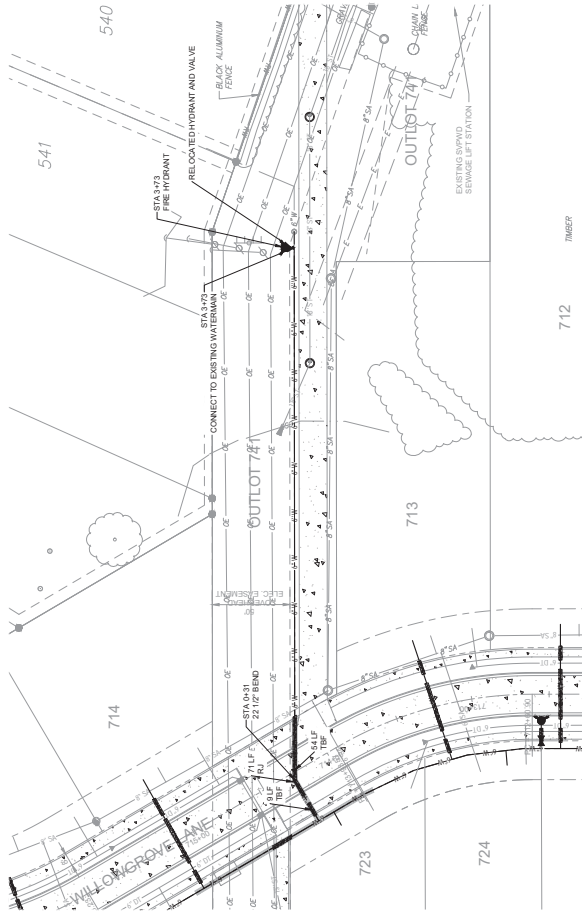
**WATERMAIN PLAN  
AND PROFILE -  
OUTLOT 741**

SHEET NUMBER

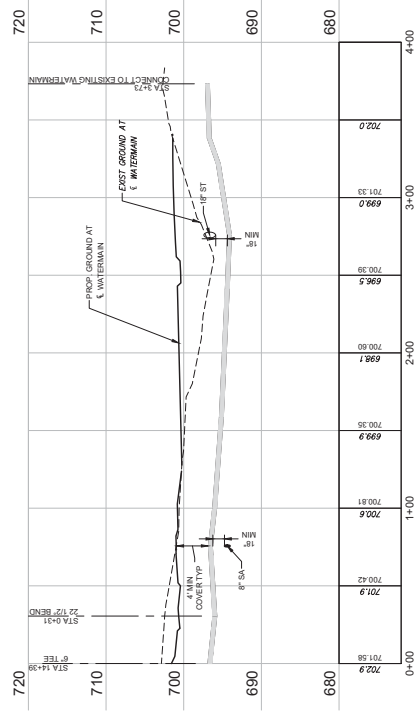
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PROJECT NO.:

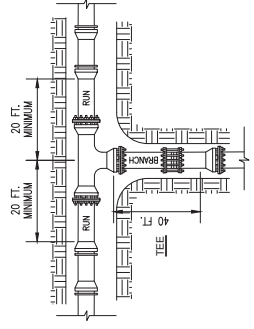
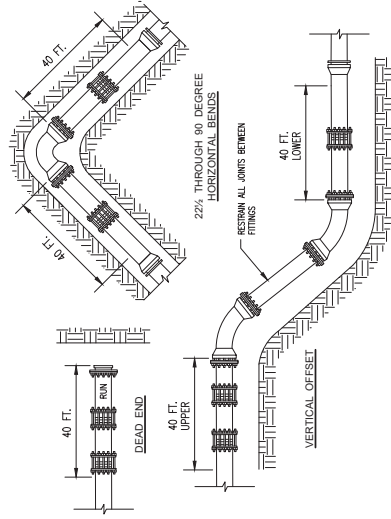
0211884.00



**2 WATERMAIN PLAN - OUTLOT 741**  
Scale: 1"=40'

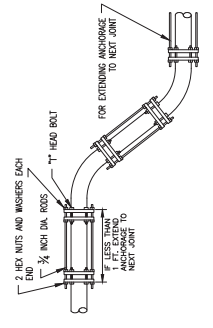


**1 WATERMAIN PROFILE - OUTLOT 741**  
Scale: H: 1"=40' V: 1"=8'



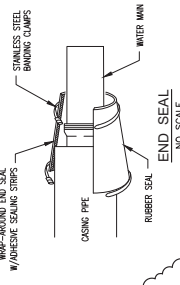
**TYPICAL RETAINING GLAND RESTRAINT**  
 NO SCALE

- NOTE:**
- 1) FITTINGS RESTRAINTS SHALL BE GALV-IRON, WEL-LITE, OR APPROVED GALV. WITH STAINLESS STEEL BOLTS, NUTS, & HARDWARE DESIGNED FOR PVC PIPE.
  - 2) ALL FITTINGS SHALL HAVE MECHANICAL JOINT ENDS, RESTRAINED WITH LBA.

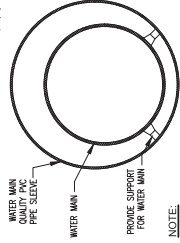


**ANCHORAGE OF FITTINGS IN A VERTICAL PLANE**  
 NO SCALE

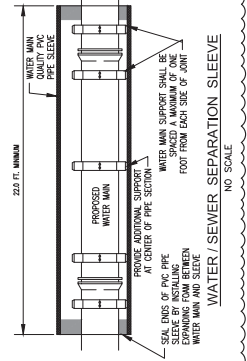
- NOTES:**
- 1) MINIMUM 3/4" DIA. ALL TRENCH BARS REQUIRED FOR 12" DIAMETER AND SMALLER PIPES.
  - 2) ANCHORING PIPE SET SYSTEM GLANDS FOR OTHER TYPE ANCHORING FITTINGS MAY BE SUBSTITUTED WITH ENGINEER'S PROOF APPROVAL.
  - 3) ALL BOLTS, NUTS & HARDWARE SHALL BE STAINLESS STEEL.
  - 4) ALL FITTINGS RESTRAINTS SHALL BE GALV-IRON 6000 SERIES WITH STAINLESS STEEL BOLTS, NUTS & HARDWARE.



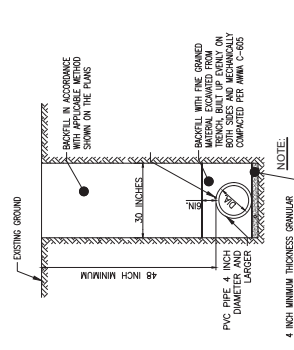
**END SEAL**  
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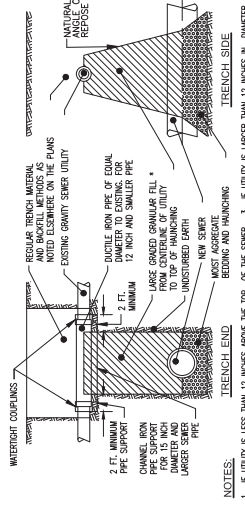
**PIPING SUPPORTS**  
 NO SCALE



**WATER/SEWER SEPARATION SLEEVE**  
 NO SCALE

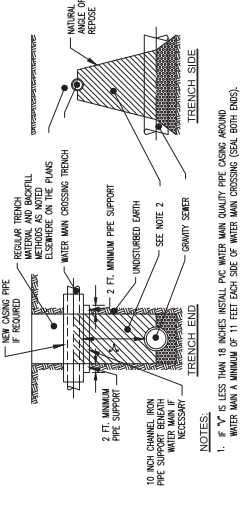


**WATER MAIN TRENCH DETAIL**  
 NO SCALE



- NOTES:**
1. IF UTILITY IS LESS THAN 12 INCHES ABOVE THE TOP OF THE SEWER, 3. IF UTILITY IS LARGER THAN 12 INCHES IN DIAMETER, UTILIZE REMOVED CONCRETE FOR UTILITY SEWER REPAIR AND REINFORCE TO 12 INCH CHANNEL IRON PIPE SUPPORT FOR UTILITY SEWER.
  2. CONTRACTOR SHALL CHECK THE CONDITION OF THE GRAVITY SEWER AND EACH PREVIOUS AND OF CONSTRUCTION AND THAT NO SOIL HAS ENTERED THE UTILITY.

\* 3 INCH AGGREGATE (D.O.T. GRANULAR DA-1) OR OVERSIZE RIVER SAND (FIELD TYP. STONE SIZE) NO SCALE



**WATER MAIN CROSSING GRAVITY SEWER**  
 NO SCALE

- NOTES:**
1. IF "Y" IS LESS THAN 18 INCHES INSTALL PVC WATER MAIN QUALITY PIPE CASING AROUND WATER MAIN A MINIMUM OF 11 FEET EACH SIDE OF WATER MAIN CROSSING (SEAL BOTH ENDS).
  2. IF GRANULAR BACKFILL EXISTS BETWEEN WATER MAIN AND SEWER REMOVE EXISTING GRANULAR MATERIAL AND INSTALL CONTROLLED LOW STRENGTH FLOWABLE FILL MATERIAL.



**Famsworth GROUP**

2709 MAGRAW DRIVE  
ECONOMY, ILLINOIS 61704  
(309) 695-9457 / FMSG.FY.COM

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J. DATE: DESCRIPTION: DRAWN BY: CHECKED BY: APPROVED BY: PROJECT NUMBER:

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Subdivision Phase 2

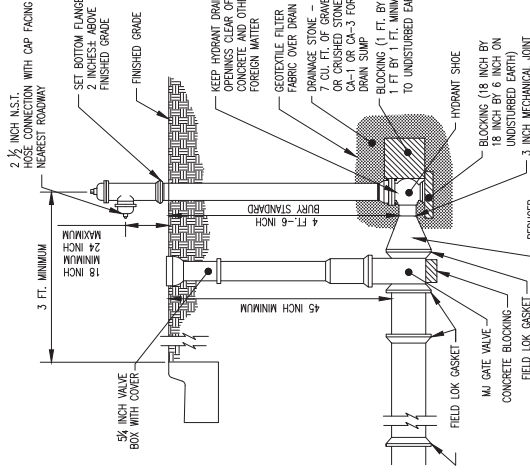
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SHEET TITLE: WATERMAIN DETAILS

SHEET NUMBER

**C5.6**

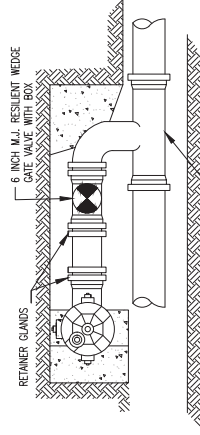
PROJECT NO.: 0211884.00



**NOTES:**

1. FLUSHING HYDRANTS SHALL BE DRY BARREL, STANDARD COMPRESSION, TWO TWO PIECE STANDPIPE WITH BREAK AWAY DESIGN.
2. FLUSHING HYDRANTS SHALL BE INSTALLED PLUMB.
3. HYDRANT SHALL CONFORM TO ANWA STANDARD C-502 AND SHALL HAVE A 2 1/2 INCH INTERNAL VALVE, AND A 2 1/2 INCH NST HOSE CONNECTION.
4. CONCRETE BASE AND BLOCKING MATERIAL SHALL NOT BLOCK OR OBSTRUCT HYDRANT DRAIN.
5. FLUSHING HYDRANT SHALL BE LOCATED BETWEEN SIDEWALK AND CURB IF POSSIBLE.
6. A STANDARD FLUSHING HYDRANT ASSEMBLY SHALL CONSIST OF A HYDRANT HAVING A MECHANICAL JOINT INLET CONNECTION MATCHING A MECHANICAL JOINT REDUCER AND A RESILIENT WEDGE VALVE WITH MECHANICAL JOINT ENDS.

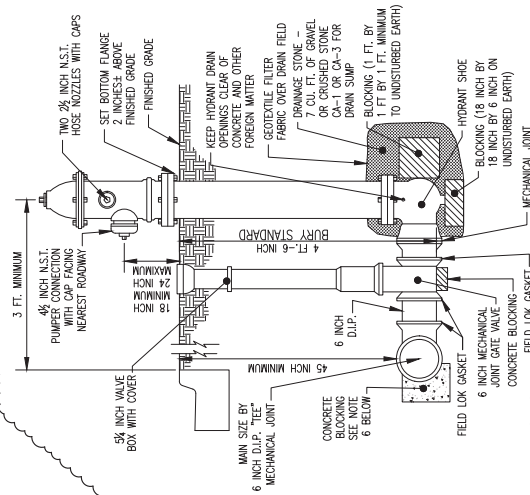
**FLUSHING HYDRANT**  
NO SCALE



**NOTES:**

1. FOR USE WHEN SPACE LIMITATIONS PREVENT HYDRANT PLACEMENT.
2. ALL OTHER HYDRANT DETAILS APPLY.

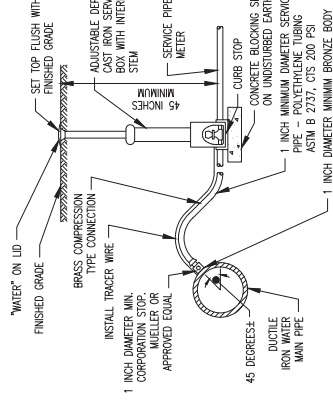
**PARALLEL MOUNT HYDRANT**  
NO SCALE



**NOTES:**

1. FIRE HYDRANTS SHALL BE DRY BARREL, STANDARD COMPRESSION, TWO TWO PIECE STANDPIPE WITH BREAK AWAY DESIGN.
2. FIRE HYDRANTS SHALL BE INSTALLED PLUMB.
3. HYDRANT SHALL CONFORM TO ANWA STANDARD C-502 AND SHALL HAVE A 4 1/2 INCH INTERNAL VALVE, 4 1/2 INCH NST PUMP CONNECTION NOZZLE AND TWO 2 1/2 INCH NST HOSE NOZZLES.
4. CONCRETE BASE AND BLOCKING MATERIAL SHALL NOT BLOCK OR OBSTRUCT HYDRANT DRAIN.
5. FIRE HYDRANT SHALL BE LOCATED BETWEEN SIDEWALK AND CURB IF POSSIBLE.
6. A STANDARD HYDRANT ASSEMBLY SHALL CONSIST OF A HYDRANT HAVING A MECHANICAL JOINT INLET CONNECTION MATCHING A RESILIENT WEDGE VALVE WITH MECHANICAL JOINT ENDS.
7. FIRE HYDRANTS SHALL OPEN TO THE RIGHT.

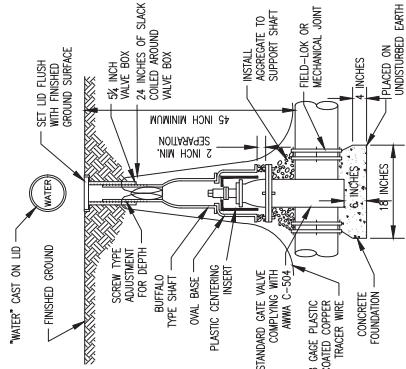
**FIRE HYDRANT**  
NO SCALE



**NOTES:**

- TRENCH BACKFILL SHALL BE CAREFULLY PLACED AND HAND TAMPED.

**WATER SERVICE CORPORATION STOP AND CURB STOP WITH BOX AND SERVICE TUBING**  
NO SCALE



**NOTES:**

- TRACER WIRE TO BE LAID ABOVE OR TAPPED TO PIPE SECTIONS

**VALVE WITH VALVE BOX**  
NO SCALE



**Famsworth GROUP**

2709 MCGRAW DRIVE  
E. COMMERCE, ILLINOIS 61104  
(815) 653-9433 / info@famsworth.com

www.famsworth.com  
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PROJECT: THORNWOOD LSRD SUBDIVISION PHASE 2  
DATE: 07/22/2022  
DESCRIPTION: CIVIL/MECHANICAL/PAVEMENT REVIEW  
DRAWN BY: J. W. WILSON  
CHECKED BY: J. W. WILSON  
DATE: 07/22/2022

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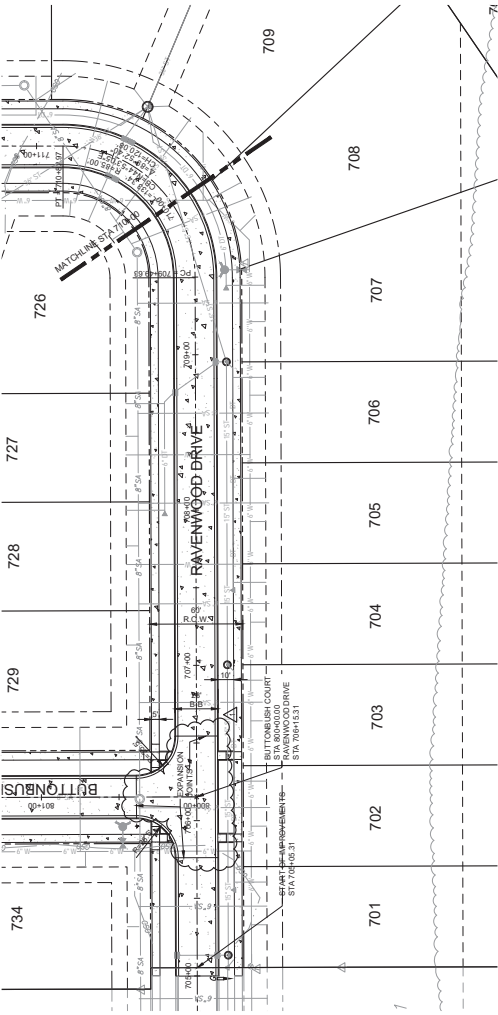
PROJECT: THORNWOOD LSRD SUBDIVISION PHASE 2

DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE: STREET PLANS AND PROFILES - RAVENWOOD DRIVE AND BUTTONBUSH COURT

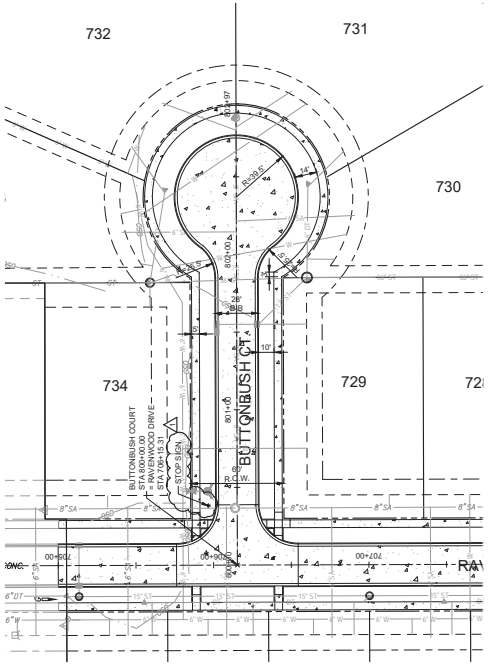
Sheet 1 of 2

**C6.1**

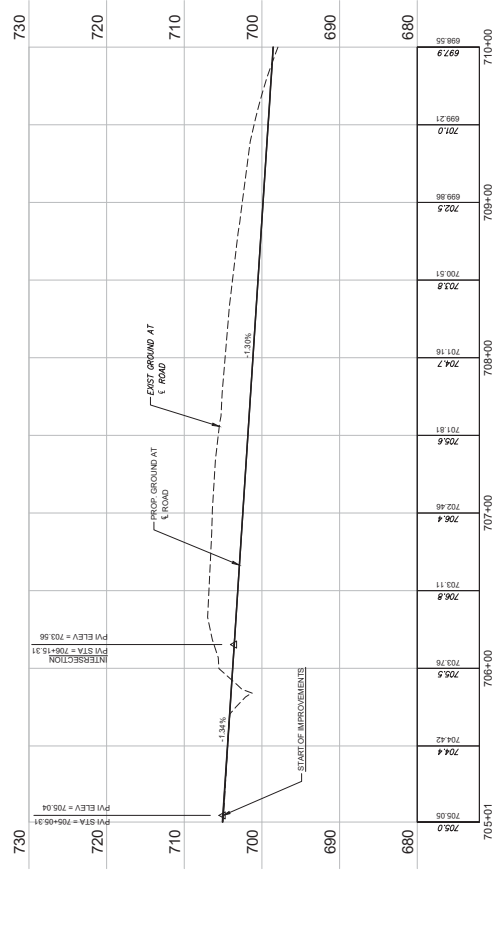
PROJECT NO.: 0211884.00



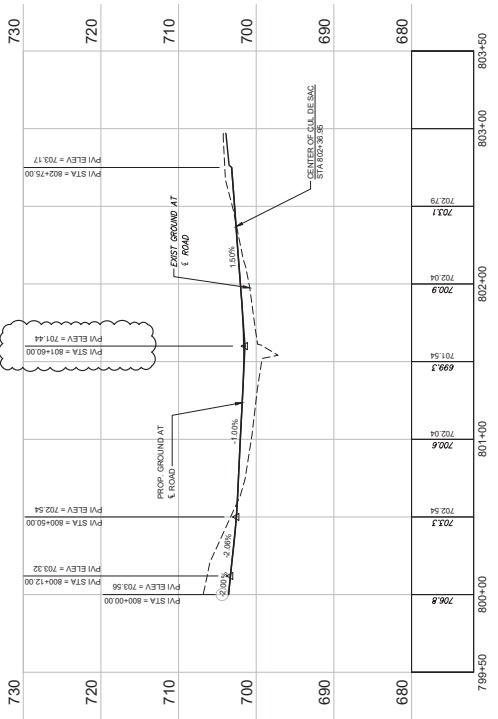
**4 RAVENWOOD DRIVE PLAN**  
Scale: 1"=40'



**2 BUTTONBUSH COURT PLAN**  
Scale: 1"=40'



**3 RAVENWOOD DRIVE PROFILE**  
Scale: H: 1"=40' V: 1"=8'



**1 BUTTONBUSH COURT PROFILE**  
Scale: H: 1"=40' V: 1"=8'



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 2709 MAGRAW DRIVE  
 ELLICOTTVILLE, ILLINOIS 61704  
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 1. 08/07/2022 CONSTRUCTION PERMITS REVIEW

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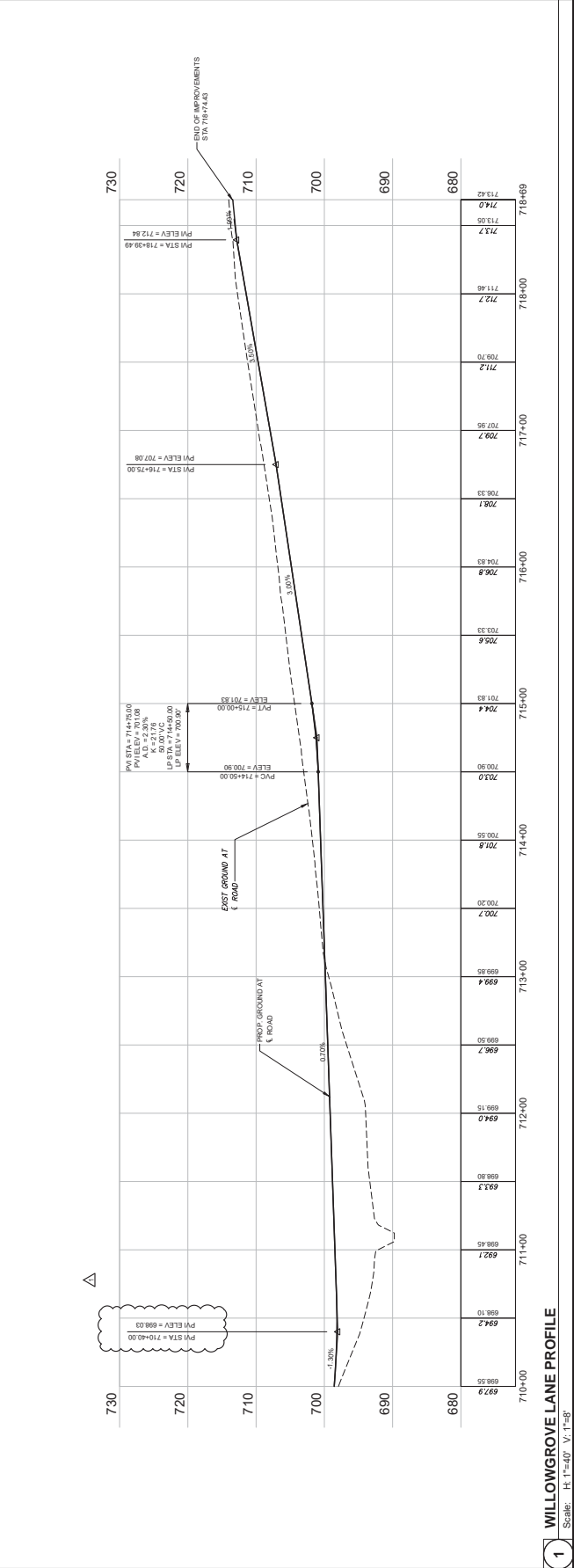
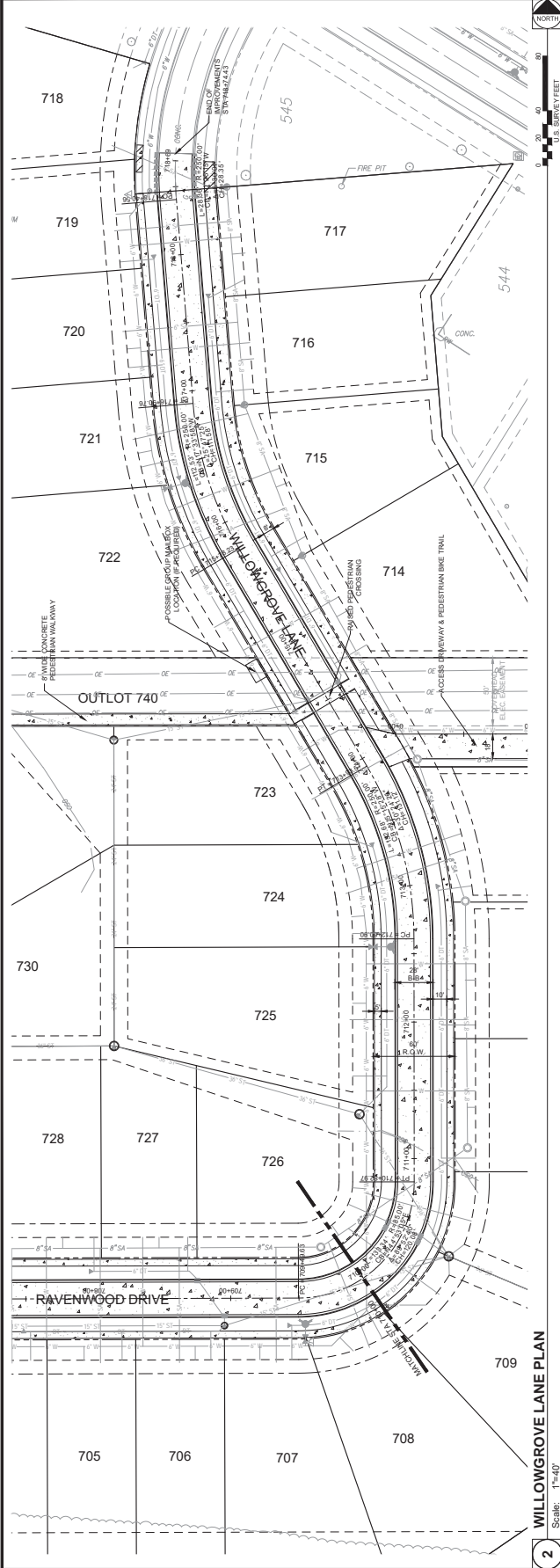
DATE: 07/22/2022  
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 DRAWN: AEO/OME  
 REVIEWED: CNF/OME  
 FIELD BOOK NO.: CHA0128  
 SHEET TITLE:

**STREET PLAN AND  
 PROFILE -  
 WILLOWGROVE LANE**

SHEET NUMBER

**C6.2**

PROJECT NO.: 0211884.00





**Famsworth**  
GROUP

2709 MAGRAW DRIVE  
ECONOMINGTON, ILLINOIS 61704  
(309) 663-8433 / info@fams.com

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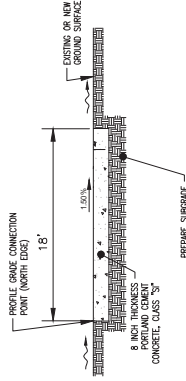
DRAWN: AEO/OME  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE:

EMERGENCY ACCESS  
DRIVE PLAN AND  
PROFILE

SHEET NUMBER:

**C6.3**

PROJECT NO.: 0211884.00



REMOVE CURB AND  
REPLACE WITH  
8 INCH THICKNESS  
PORTLAND CEMENT  
CONCRETE, CLASS "B"

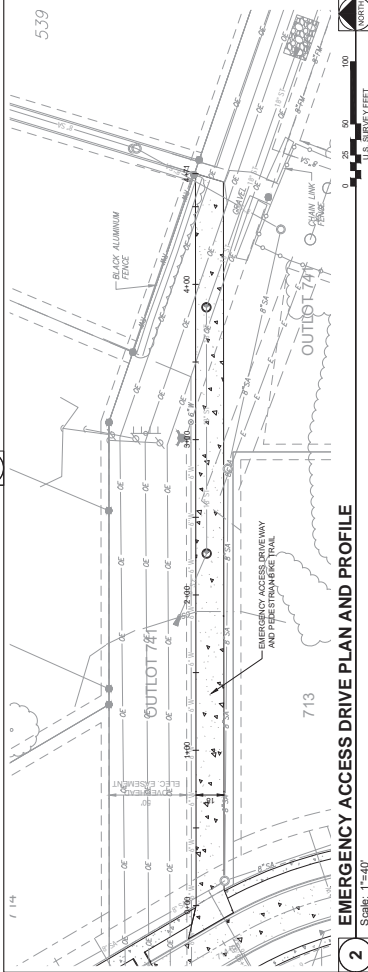
REMOVE CURB AND  
REPLACE WITH  
FOR DOT STD SPICES  
NO LIME STABILIZATION  
REPAIR TO EXISTING SURFACE  
DUE TO PROXIMITY OF  
EXISTING HOLES

NOTES:

1. 1/2 INCH THICKNESS PRECASTED EXPANSION JOINT SHALL BE PLACED AT MAXIMUM 100 FOOT INTERVALS.
2. CROSS LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 10'

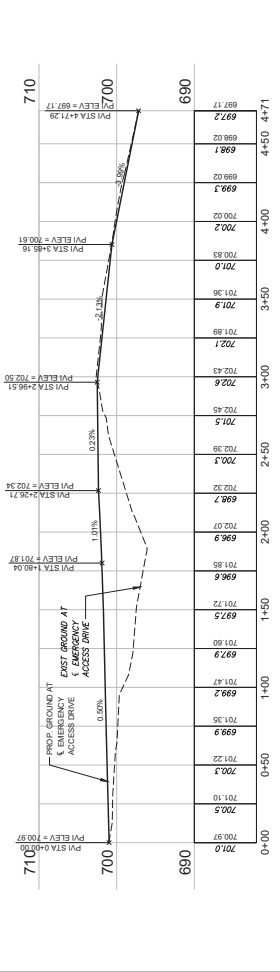
**3 EMERGENCY ACCESS DRIVE CROSS-SECTION**

Scale: NTS



**2 EMERGENCY ACCESS DRIVE PLAN AND PROFILE**

Scale: 1"=40'



**1 EMERGENCY ACCESS DRIVE PLAN AND PROFILE**

Scale: H: 1"=40' V: 1"=8'

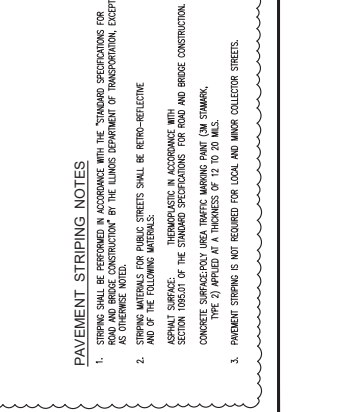
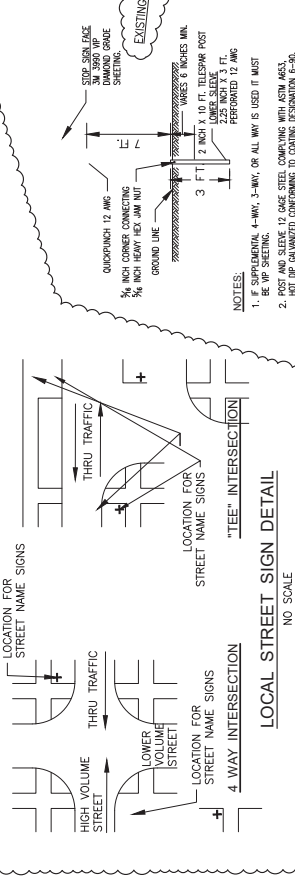
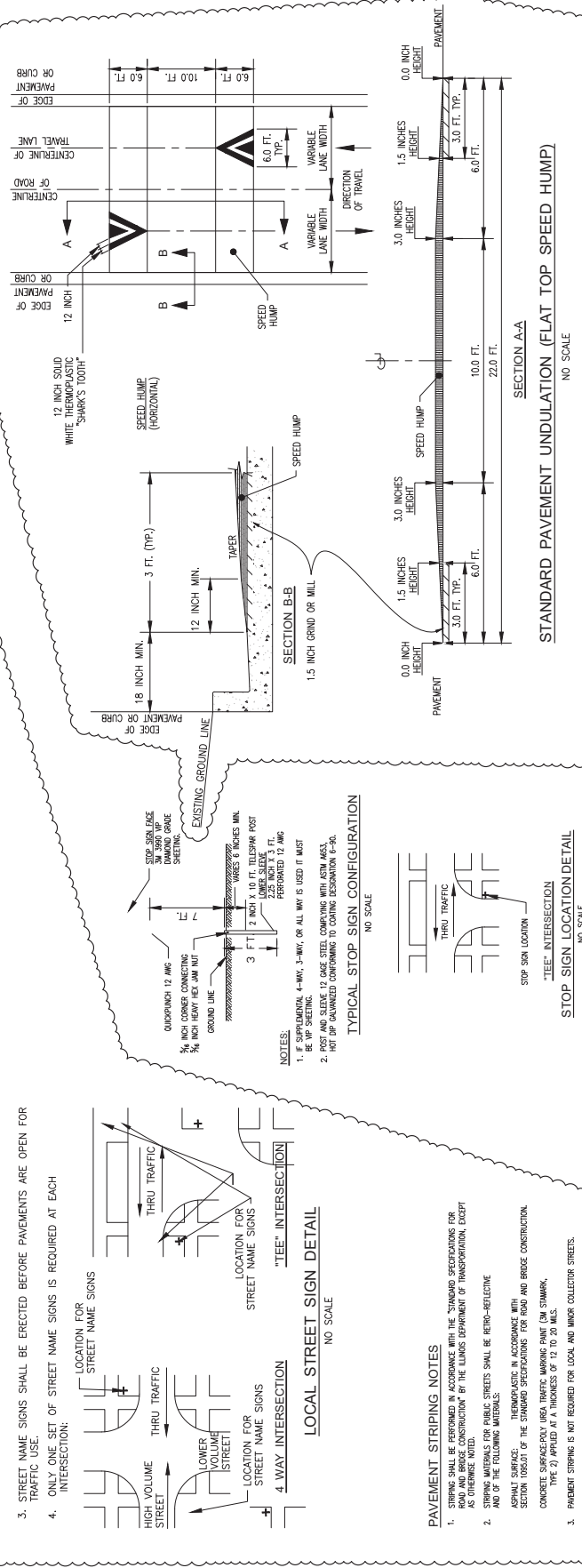
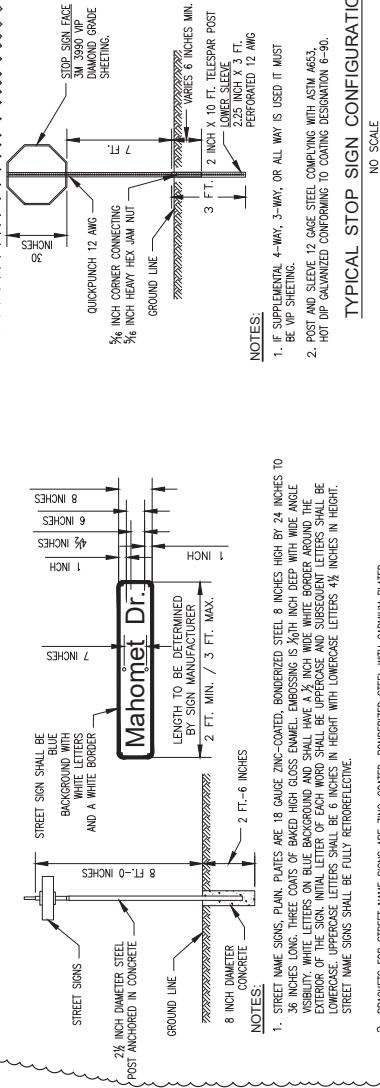
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Mahomet, Illinois  
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REVIEWED: CNF/DME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE: PAVING DETAILS

**C6.4**

PROJECT NO.: 0211884.00



**PAVEMENT STRIPING NOTES**

- STRIPING SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, EXCEPT AS OTHERWISE NOTED.
- ALL PAVEMENT STRIPING SHALL BE RETRO-REFLECTIVE.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.02 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.03 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.04 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.05 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.06 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.07 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.08 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.09 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.10 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.11 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

CONCRETE BRIDGE DECK SURF SHALL BE ACCORDANT WITH SECTION 706.12 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



**Famsworth GROUP**

2709 MCGRAW DRIVE  
BLOOMINGTON, ILLINOIS 61704  
(317) 603-9437 / info@famsworth.com

www.famsworth.com  
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Subdivision Phase 2

Mahomet, Illinois

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FIELD BOOK NO.: CHA0128  
SHEET TITLE: PAVING DETAILS

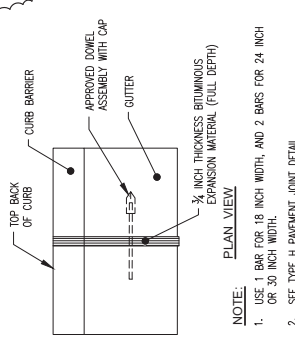
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PROJECT NO.: 0211884.00

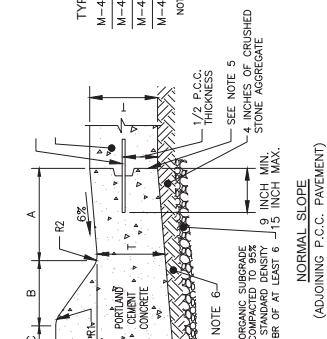
**PORTLAND CEMENT CONCRETE CURB NOTES**

- CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 606 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE REQUIREMENTS OF NOTES AND DETAILS CONTAINED IN THESE PLANS.
- PORTLAND CEMENT CONCRETE FOR CURB CONSTRUCTION SHALL BE A MINIMUM OF SIX (6) BAG MIX WITH 5 PERCENT (5%) TO 8 PERCENT (8%) EXTRANEOUS AIR. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN SEVEN (7) DAYS OF 3,500 P.S.I. THE MAXIMUM SLUMP SHALL BE THREE (3) INCHES.
- CONTRACTOR SHALL SUBMIT THE PORTLAND CEMENT CONCRETE CURB MIX DESIGN TO THE VILLAGE ENGINEER FOR APPROVAL. THE MIX SHALL BE BLOT APPROVED. FAILURE TO MEET THE REQUIREMENTS SHALL BE CAUSE TO REJECT THE CURB AND GUTTER AND REQUIRE REMOVAL AND REPLACEMENT.
- THE SPECIFIED CURB AND GUTTER MAY BE FORMED MONOLITHICALLY WITH PORTLAND CEMENT CONCRETE. THE PORTLAND CEMENT CONCRETE PAVEMENT WITH A DOWN SLOPE CONSTRUCTION JOINT, THE DEPTH OF THE CURB AND GUTTER SHALL MATCH THE ADJACENT PAVEMENT.
- ALL STICKS, ROOTS, TOPSOIL AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE SUBGRADE. THE SUBGRADE SHALL BE MECHANICALLY COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR DENSITY. ALL DEFICIENT AREAS IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH COMPACTED AGGREGATE OR CLAY MATERIAL SUITABLE TO THE ENGINEER.
- FORMS, STRING AND LASER GRADE CONTROL SHALL BE SET TRUE TO LINE AND GRADE INDICATED ON THESE PLANS AND SHALL BE CHECKED BY THE ENGINEER PRIOR TO PLACEMENT OF ANY PORTLAND CEMENT CONCRETE.
- COAT FORM CONTACT SURFACES WITH FORM-COATING COMPOUND BEFORE PLACING REINFORCEMENT BARS OR FORMS. FORMS SHALL BE BRANDED TO FRESH CONCRETE. FORMS SHALL BE BRANDED TO FRESH CONCRETE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COAT STEEL FORMS WITH NON-STAINING RUST PREVENTATIVE FORM OIL OR OTHERWISE PROTECT AGAINST RUSTING. RUST STAINED STEEL FORM WORK IS NOT ACCEPTABLE.
- ISOLATION JOINTS, EXPANSION JOINTS, CONSTRUCTION JOINTS, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN IN THE PLANS AND IN ACCORDANCE WITH THE DETAILS FOR EACH JOINT TYPE.

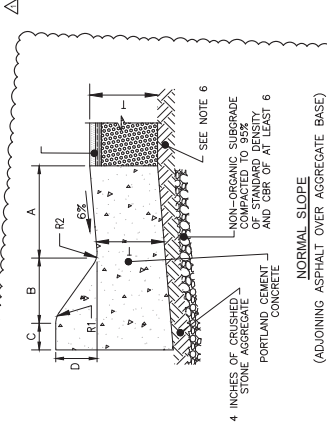
- EXPANSION JOINTS AND ISOLATION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED IN THE LOCATIONS INDICATED ON THE PLANS. ISOLATION JOINTS SHALL BE PLACED IN THE LOCATIONS INDICATED ON THE PLANS. EXPANSION JOINTS SHALL BE CONSTRUCTED OF ¾ INCH EXPANSION MATERIAL PLACED FULL DEPTH THROUGH THE PAVEMENT AND COMPRESSED ¾ INCHES FROM THE SURFACE WITH 12 INCH LONG DOWELS ON 12 INCH CENTERS PLACED AT MID-DEPTH IN THE PORTLAND CEMENT CONCRETE PAVEMENT. DOWEL CAPS SHALL BE PROVIDED ON ONE END OF THE DOWEL AND COATED WITH AN APPROVED JOINT SEALANT. EXPANSION MATERIAL SHALL BE PRE-FORMED BITUMINOUS IMPREGATED FIBER BOARD OF THE INDICATED THICKNESS AND SHALL CONFORM TO THE CURB CROSS SECTION WITH A ¾ INCH DEPRESSION WITH BACKER ROD OR BOND BREAKER AT THE SURFACE FOR JOINT SEALANT. ISOLATION JOINTS SHALL BE CONSTRUCTED AS EXPANSION JOINTS EXCEPT WITHOUT DOWELS.
- DOWEL BARS SHALL BE PLAIN ROUND BULLET-STEEL BARS MEETING THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR BULLET-STEEL CONCRETE REINFORCING BARS", ASTM DESIGNATION A-15. THE FINISHED BARS SHALL BE FREE FROM BURRS OR OUT-OF-ROUND ENDS WHICH WOULD PREVENT EASY SURFACE IN THE DOWEL CAPS. ALL EXPOSED BAR SURFACE OUTSIDE OF THE CAP ON THE SURFACE SIDE SHALL BE FULLY COATED WITH GREASE.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AND LOCATED IN ACCORDANCE WITH THE NOTES AND DETAILS SHOWN IN THE PLANS. CURB TRANSVERSE JOINTS (CONSTRUCTION JOINTS) SHALL BE PLACED AT A MAXIMUM OF 20 FOOT INTERVALS FOR ADJACENT BITUMINOUS PAVEMENT OR SHALL BE PLACED TO CONCLUDE WITH ADJACENT PORTLAND CEMENT CONCRETE PAVEMENT JOINTS AND NOT EXCEEDING A MAXIMUM OF 15 FOOT INTERVALS. CONSTRUCTION JOINTS SHALL BE 2 INCH DEEP SAWCUTS MADE WITH A ¾ INCH WIDE CONVENTIONAL BLADE WITHIN EIGHT (8) HOURS OF CONCRETE PLACEMENT.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN IN THE PLANS AND SHALL BE LOCATED CONSIDER WITH PLANNED LOCATIONS OF CONTRACTION JOINTS. CONSTRUCTION JOINTS SHALL BE PLACED AT A MAXIMUM OF 20 FOOT INTERVALS FOR ADJACENT PORTLAND CEMENT CONCRETE PAVEMENT JOINTS AND NOT EXCEEDING A MAXIMUM OF 15 FOOT INTERVALS. CONSTRUCTION JOINTS SHALL BE 2 INCH DEEP SAWCUTS MADE WITH A ¾ INCH WIDE CONVENTIONAL BLADE WITHIN EIGHT (8) HOURS OF CONCRETE PLACEMENT.
- CONTRACTOR SHALL MOISTEN THE SUBGRADE BEFORE PLACING CONCRETE.
- ALL CONCRETE USED FOR CURB CONSTRUCTION SHALL BE MECHANICALLY VIBRATED AT TIME OF PLACEMENT FOR CONSOLIDATION AND TO REMOVE VOIDS AND AIR POCKETS.
- CURBS SHALL BE CONSTRUCTED USING A CURB FORM OR MULE OF THE REQUIRED CROSS SECTION. HAND FORMED (DARWIN) CURB WILL NOT BE ACCEPTED.
- ALL BACK OF CURBS, GUTTER EDGES, END OF CURBS THAT ABUT BITUMINOUS EXPANSION MATERIAL OR FORMS SHALL BE EDGED WITH A ¾ INCH RUBUS ENKER. CONCRETE THAT ABUTS OTHER CURB OR IS "SLIP-FORMED" WITHOUT THE USE OF FORMS NEED NOT BE EDGED.
- WATER SHALL NOT BE ADDED TO THE SURFACE OF THE CONCRETE FOR FINISHING PURPOSES.
- CURBS SHALL HAVE A HEAVY BROOMED FINISH PARALLEL TO THE DIRECTION OF GUTTER FLOW.
- CURBS SHALL BE CURED USING POLYETHYLENE FILM OR AN APPROVED CURING COMPOUND APPLIED UNIFORMLY TO ALL EXPOSED CURB SURFACES, INCLUDING THE BACK OF CURB DURING SLIP FORMING. CURBS SHALL BE PROVIDED WITH HOT OR COLD WEATHER PROTECTION WHEN WARRANTED BY WEATHER CONDITIONS AND AS DIRECTED BY THE ENGINEER.
- WHEN CURING COMPOUND IS UTILIZED IT SHALL BE APPLIED WITHIN 30 MINUTES OF CONCRETE PLACEMENT.
- FORMS SHALL NOT BE REMOVED FOR 24 HOURS. CARE SHALL BE EXERCISED WHEN REMOVING FORMS TO AVOID DAMAGE TO THE CURB SURFACE. ALL VISIBLE VOIDS AND HONEYCOMBS ¾ INCH IN DIAMETER OR LARGER SHALL BE REMOVED. ALL VISIBLE VOIDS AND HONEYCOMBS ¾ INCH IN DIAMETER OR LARGER SHALL BE FILLED IN WITH MORTAR OR GROUT OR BRUSHED SMOOTH IMMEDIATELY AFTER FORM REMOVAL.
- PROTECT EXISTING PORTLAND CEMENT CONCRETE AND BITUMINOUS SURFACES FROM DAMAGE DURING CONSTRUCTION OPERATIONS. TRAFFIC, INCLUDING CONSTRUCTION EQUIPMENT, SHALL NOT BE ALLOWED TO OPERATE AID OR OVER CURBS. VIBRATING SCREENS SHALL NOT RUN ON THE EDGE OF NEW CURBS UNTIL CONCRETE HAS CURED AT LEAST 72 HOURS.
- AT THE TIME THAT CURB AND GUTTER IS POURED THE TOP OF THE CURB SHALL BE MARKED WITH AN "S" FOR SEWER AND "M" FOR MOUNTABLE TO INDICATE THE APPROXIMATE LOCATIONS OF THE SANITARY SEWER AND PUBLIC WATER SERVICE LINES EXTENDED TO EACH LOT.
- CURBS WHICH ARE POURED AND DO NOT CONFORM TO ALL REQUIREMENTS OF THESE SPECIFICATIONS WILL BE REJECTED.
- CONVENTIONAL SAWCUTS SHALL BE MADE WITHIN EIGHT (8) HOURS OF PLACEMENT OF THE CONCRETE. SEE APPLICABLE ADMINISTRATIVE RULE FOR SAWCUT MARKING.



**NOTE:**  
1. USE 1 BAR FOR 18 INCH WIDTH AND 2 BARS FOR 24 INCH OR 30 INCH WIDTH.  
2. SEE TYPE H PAVEMENT JOINT DETAIL.



**NOTE:**  
1. 'T' IS THE SPECIFIED TOTAL PAVEMENT THICKNESS AS INDICATED ON THE PLANS.  
2. PROVIDE TRANSVERSE CONTRACTION JOINTS AT 15 FT. MAXIMUM INTERVALS. MATCHING CONCRETE SUBWALK JOINTS EACH SIDE.  
3. WHEN DEPRESSURE MOUNTABLE CURB IS CONSTRUCTED FOR SIDEWALK BARS THE BACK SLOPE OF THE PAN SHALL BE REDUCED TO 0.3% MAXIMUM. THE FRONT SLOPE OF THE PAN SHALL BE REDUCED FROM 0% TO 0.3%.



**NOTE:**  
5. IF 'T' IS GREATER THAN 7 INCHES USE NUMBER 6 DEFORMED THE BARS DRILLED AND GROUTED AT 30 INCHES ON CENTERS. IF 'T' IS LESS THAN 7 INCHES USE NUMBER 4 DEFORMED THE BARS DRILLED AND GROUTED AT 30 INCH ON CENTERS. THE BARS SHALL BE PLACED MID-DEPTH OF PORTLAND CEMENT CONCRETE.  
6. 0A-6 OR 0A-10 CRUSHED STONE SPREAD, SHAPED AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY. SEE PAVEMENT DETAILS FOR SPECIFIC REQUIREMENTS.  
7. CONSTRUCTION JOINT WHEN PAVEMENT AND CURB ARE CAST SEPARATELY.

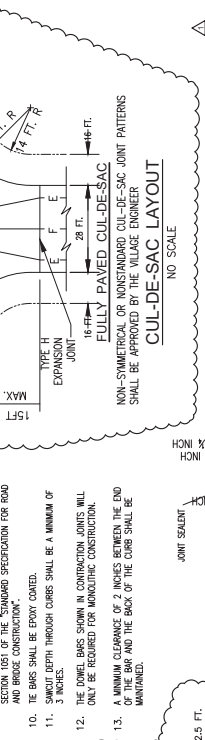
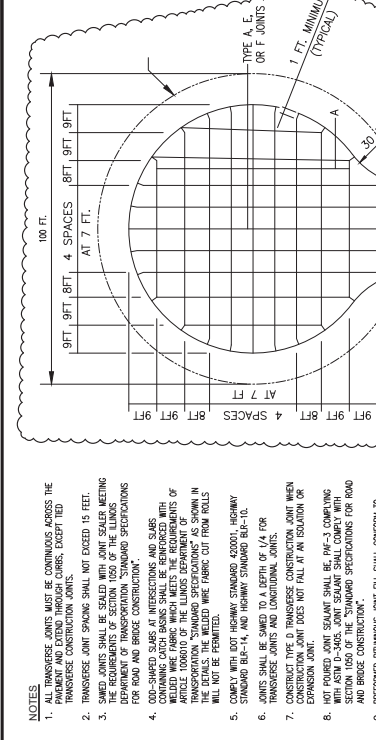
TABLE OF DIMENSIONS (MOUNTABLE CURBS)  
NOTE: DIMENSIONS SHOWN ARE IN INCHES

TYPE	A	B	C	D	R1	R2
M-4.12	12	7	1	4	3	1
M-4.18	18	7	1	4	3	1
M-4.24	24	7	1	4	3	1
M-4.30	30	7	1	4	3	1

**TYPE "M" PORTLAND CEMENT CONCRETE CURB AND GUTTERS**

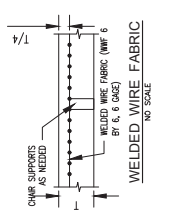
NO. SCALE

- THE STANDARD CURB FOR STREET PAVEMENTS SHALL BE M-4.18. USE OF OTHER CURB TYPES SHALL BE APPROVED IN ADVANCE BY THE VILLAGE ENGINEER.

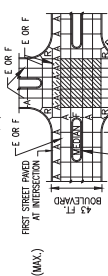
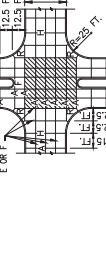
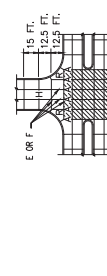
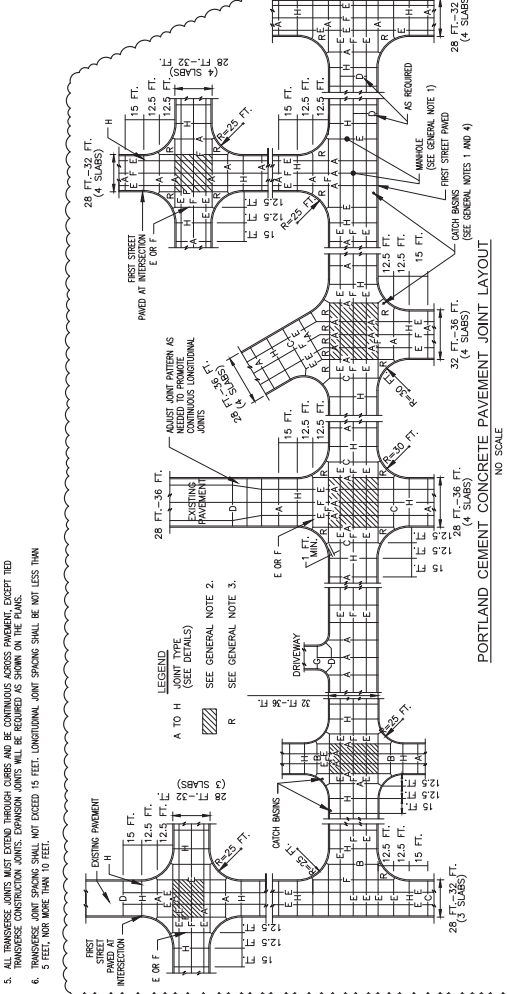


**DOWEL BAR TABLE**

PAVEMENT THICKNESS	DOWEL BAR DIAMETER
10 OR GREATER	1 1/2
B THRU 9.99	1 3/4
6.6 THRU 7.99	1
LESS THAN 6.6	3/4



- GENERAL NOTES**
- ALL INLETS AND MANHOLE CASTINGS SHALL BE SEPARATED FROM THE PAVEMENT AS SHOWN IN THE DETAILS. MANHOLE CASTINGS WITHIN THE PAVEMENT LIMITS SHALL BE SEPARATED FROM THE PAVEMENT AS SHOWN IN THE DETAILS.
  - PAVEMENT THICKNESS AT THE INTERSECTION OF FOUR-LEGGED INTERSECTIONS SHALL BE INCREASED BY 1 INCH OVER THAT OF THE THICKEST ADJACENT PAVEMENT STRUCTURE FOR ALL COLLECTOR AND ARTERIAL STREETS.
  - ODD SHAPED SLABS AT INTERSECTIONS AND SLABS CONTAINING CATCH BASINS SHALL BE REINFORCED WITH WELDED WIRE FABRIC (WFF) BY 6, 6 GAGES.
  - WHEN A JOINT FALLS WITHIN 5 FEET OF OR CONTACTS BASINS, MANHOLES, OR OTHER STRUCTURES, SHORTEN ONE OR MORE PANELS OTHER SIDE OF OPENING TO PERMIT JOINT TO FALL IN THE CORNERS OF THE BOX OUT.
  - ALL TRANSVERSE JOINTS MUST EXTEND THROUGH CURBS AND BE CONTINUOUS ACROSS PAVEMENT, EXCEPT FOR TRANSVERSE CONSTRUCTION JOINTS. EXPANSION JOINTS WILL BE REQUIRED AS SHOWN ON THE PLANS.
  - TRANSVERSE JOINT SPACING SHALL NOT EXCEED 15 FEET. LONGITUDINAL JOINT SPACING SHALL BE NOT LESS THAN 5 FEET, NOR MORE THAN 10 FEET.



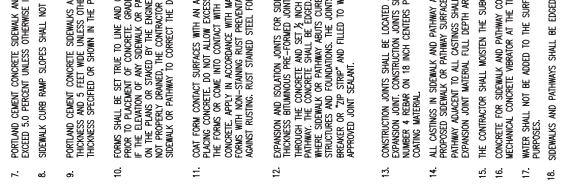
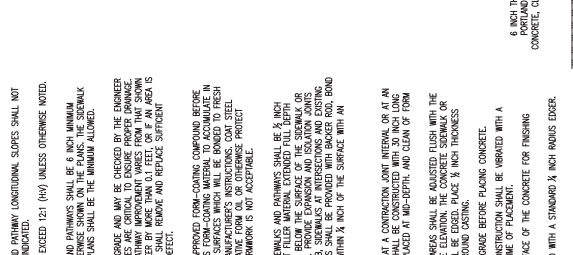
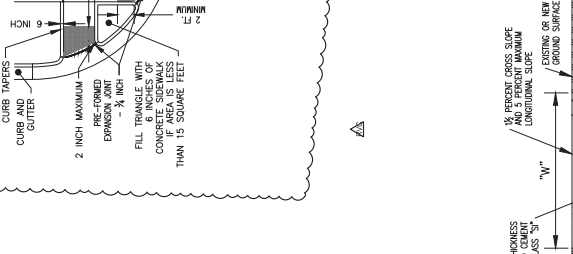
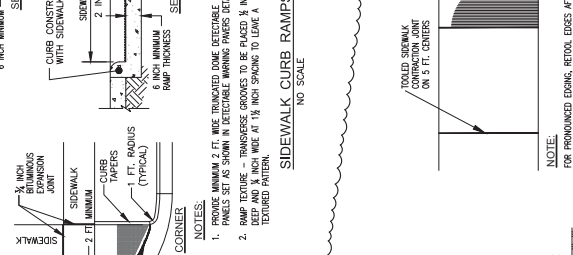
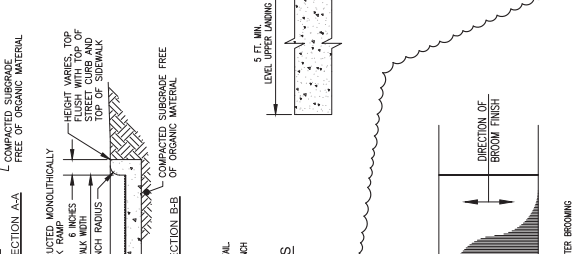
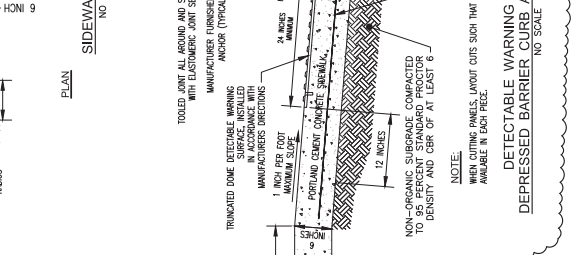
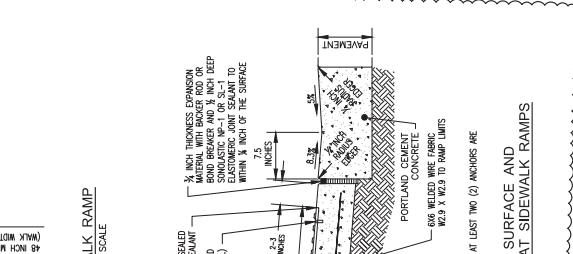
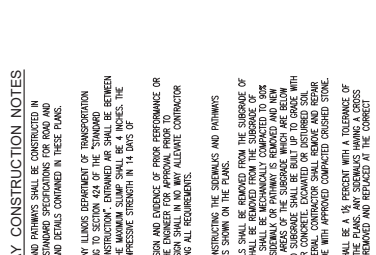
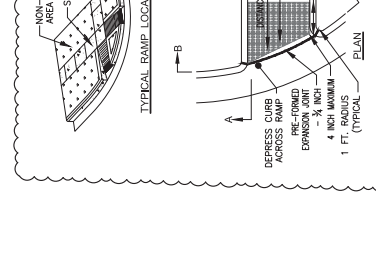
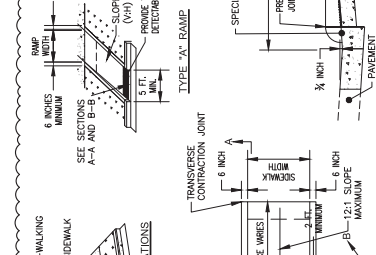
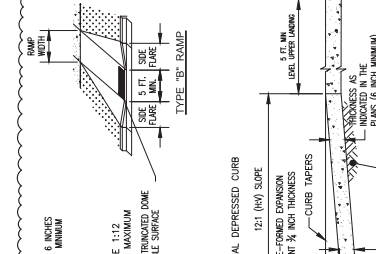
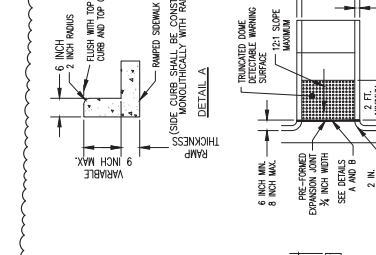
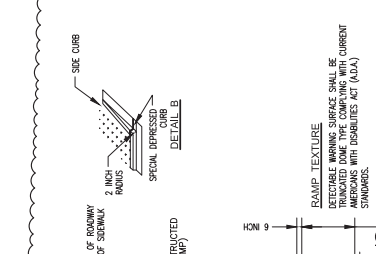


## SIDEWALK AND PATHWAY CONSTRUCTION NOTES

- PORTLAND CEMENT CONCRETE SIDEWALKS AND PATHWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 424 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE NOTES AND DETAILS CONTAINED IN THESE PLANS.
- PORTLAND CEMENT CONCRETE SHALL BE ANY ILLINOIS DEPARTMENT OF TRANSPORTATION APPROVED MIX FOR SIDEWALKS CONFORMING TO SECTION 424 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE MIX DESIGN SHALL BE BETWEEN 5 PERCENT (5%) AND 8 PERCENT (8%) UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 3,000 PSI.
- THE PERMANENT SURFACE SHALL BE FINISHED TO THE FINISH ELEVATION OF THE SIDEWALK OR PATHWAY. THE FINISH ELEVATION SHALL BE AS SHOWN ON THE PLANS. ANY SLOPE CONTRADICTION IN THE FINISH ELEVATION SHALL BE CORRECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH ELEVATION OF THE SIDEWALK OR PATHWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH ELEVATION OF THE SIDEWALK OR PATHWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH ELEVATION OF THE SIDEWALK OR PATHWAY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SIDEWALKS AND PATHWAYS ACCORDING TO THE ALIGNMENT AND GRADES SHOWN ON THE PLANS.
- ALL STOPS, ROOTS AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE SURFACE OF THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
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- PORTLAND CEMENT CONCRETE SIDEWALKS AND PATHWAYS SHALL BE 6 INCH MINIMUM THICKNESS AND 5 FEET WIDE UNLESS OTHERWISE SHOWN ON THE PLANS. THE SIDEWALK THICKNESS SPECIFIED OR SHOWN IN THE PLANS SHALL BE THE MINIMUM ALLOWED.
- FORMS SHALL BE SET TRUE TO LINE AND GRADE AND MAY BE CELESTED BY THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE. FORMS ARE CRITICAL TO ENSURE PROPER FINISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
- EXPANSION AND CONTRACTION JOINTS FOR SIDEWALKS AND PATHWAYS SHALL BE 1/2 INCH THICKNESS BRIMMONS PRE-FORMED JOINT FILLER MATERIAL. EXPANDED FULL DEPTH JOINTS SHALL BE USED UNLESS OTHERWISE NOTED ON THE PLANS. ANY SIDEWALKS PLACED AT A CORNER SHALL BE SET TRUE TO LINE AND GRADE AND MAY BE CELESTED BY THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE. FORMS ARE CRITICAL TO ENSURE PROPER FINISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
- CONSTRUCTION JOINTS SHALL BE LOCATED AT A CONTRACTION JOINT INTERVAL OF AT AN INTERVAL NOT TO EXCEED 121' (40') UNLESS OTHERWISE NOTED. JOINTS SHALL BE LOCATED AT 18 INCH CENTERS PLACED AT MID-DEPTH AND CLEAN OF LOOSE CONCRETE MATERIAL.
- ALL CASING IN SIDEWALK AND PATHWAY AREAS SHALL BE ADJUSTED FLUSH WITH THE FINISH SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
- CONCRETE FOR SIDEWALK AND PATHWAY CONSTRUCTION SHALL BE VIBRATED WITH A MECHANICAL CONCRETE VIBRATOR AT THE TIME OF PLACEMENT.
- SIDEWALKS AND PATHWAYS SHALL BE EDED WITH A STANDARD 1/2 INCH RADII EDGER.
- SIDEWALKS AND PATHWAYS SHALL HAVE A LIGHT BROOMED FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- CONSTRUCTION JOINTS (CONTRACT JOINTS) SHALL BE HANDED OVER WITH A 1 INCH DEPTH EXPANSION JOINT FILLER MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
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## GENERAL DETECTABLE WARNING PANEL NOTES

- ALL DETECTABLE WARNING PANELS SHALL CONFORM TO ANSI A117.1 - 1988 ACCESSIBILITY GUIDELINES FOR BUILDINGS AND PLACES OF PUBLIC ACCENT AND MANUFACTURER'S CONSTRUCTION COMPLIANCE WITH ALL APPLICABLE STANDARDS TO THE ENGINEER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 4.1 AND 4.7 OF THE AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG) AS AMENDED AND WITH SECTION 1108 OF THE ARCHITECTURAL AND BARriers COMPLIANCE BOARD'S GUIDELINES FOR ACCESSIBLE PUBLIC RIGHTS-OF-WAY.
- TRANSPARENCY DETECTABLE WARNING PANEL SHALL HAVE A BASE DIMENSION OF 6.0 INCHES (3.0 INCH) AND A CENTER-TO-CENTER DIMENSION OF 24 INCHES (24 INCH) MINIMUM TO 24 INCHES (24 INCH) MAXIMUM.
- DETECTABLE WARNING SURFACES SHALL BE DARK RED PANELS TO CONTRAST USUALLY WITH ADJACENT LIGHT COLORED SURFACES AND SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE. SURFACES SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE. SURFACES SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE. SURFACES SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE.
- DETECTABLE WARNING PANELS SHALL BE PLACED AT THE END OF THE SIDEWALK, RAMP, OR CROSSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.
- TRANSPARENCY DETECTABLE WARNING PANEL SHALL BE LOCATED SO THAT THE EDGE NEAREST THE SIDEWALK LINE IS NO LESS THAN 6 INCHES AND NO MORE THAN 8 INCHES FROM THE END OF THE SIDEWALK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STANDARD PROPERTIES OF ALL MATERIALS TO BE USED IN THE SIDEWALKS AND PATHWAYS.





**Farnsworth**  
GROUP

2709 MCGRAW DRIVE  
ECONOMY, ILLINOIS 61704  
(815) 455-9437 / info@fng.com

www.fng.com  
Engineers | Architects | Surveyors | Scientists  
DATE: 07/22/2022  
PROJECT: THORNWOOD LSRD  
SUBDIVISION PHASE 2  
DRAWN: AEO/CMC  
CHECKED: CNF/CFM  
FIELD BOOK NO.: CHA0138  
SHEET TITLE: CROSS SECTIONS - RAVENWOOD DRIVE

Permit Set  
NOT FOR CONSTRUCTION

Thornwood LSRD  
Subdivision Phase 2

Mahomet, Illinois

DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/CMC  
REVIEWED: CNF/CFM  
FIELD BOOK NO.: CHA0138  
SHEET TITLE: CROSS SECTIONS - RAVENWOOD DRIVE

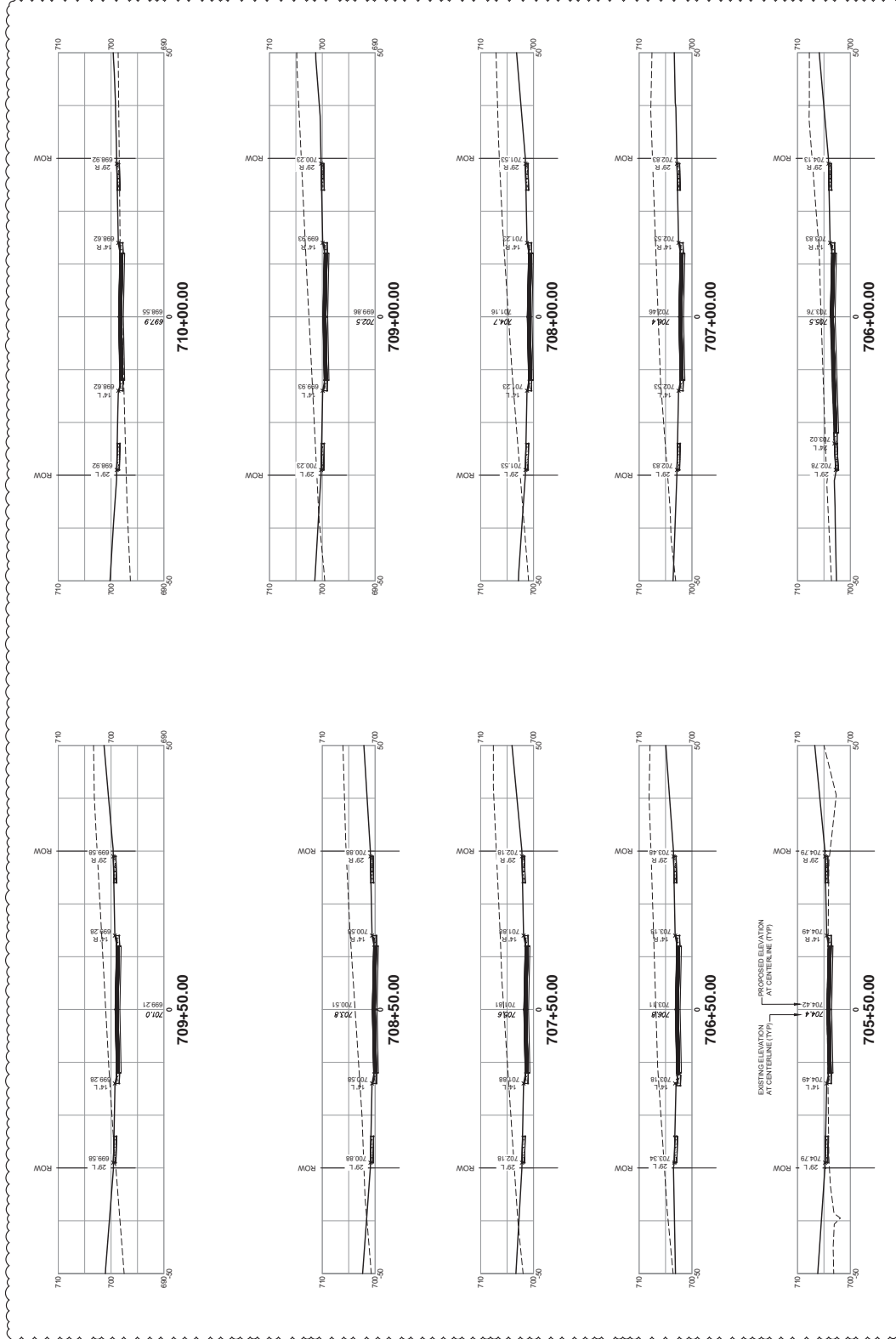
CROSS SECTIONS -  
RAVENWOOD DRIVE

SHEET NUMBER

**C7.1**

PROJECT NO.:

021184.00



1 CROSS SECTIONS - RAVENWOOD DRIVE  
Scale: 1/4"=10' V=1"=10'



**Farnsworth**  
GROUP

2709 MAGRAVY DRIVE  
ECONOMY, ILLINOIS 61704  
(815) 635-8437 / fngroup.com

www.fv.com  
Engineers | Architects | Surveyors | Scientists

DATE: 07/22/2022  
DESCRIPTION: THORNEWOOD LSRD  
PROJECT: THORNEWOOD LSRD  
DRAWN: AEO/CMC  
CHECKED: CNF/CMC  
DATE: 08/07/2022  
DESCRIPTION: PERMITS  
PROJECT: THORNEWOOD LSRD

Permit Set  
NOT FOR CONSTRUCTION

PROJECT

Thornewood LSRD  
Subdivision Phase 2

Mahomet, Illinois

DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/CMC  
REVIEWED: CNF/CMC  
FIELD BOOK NO.: CHA0128

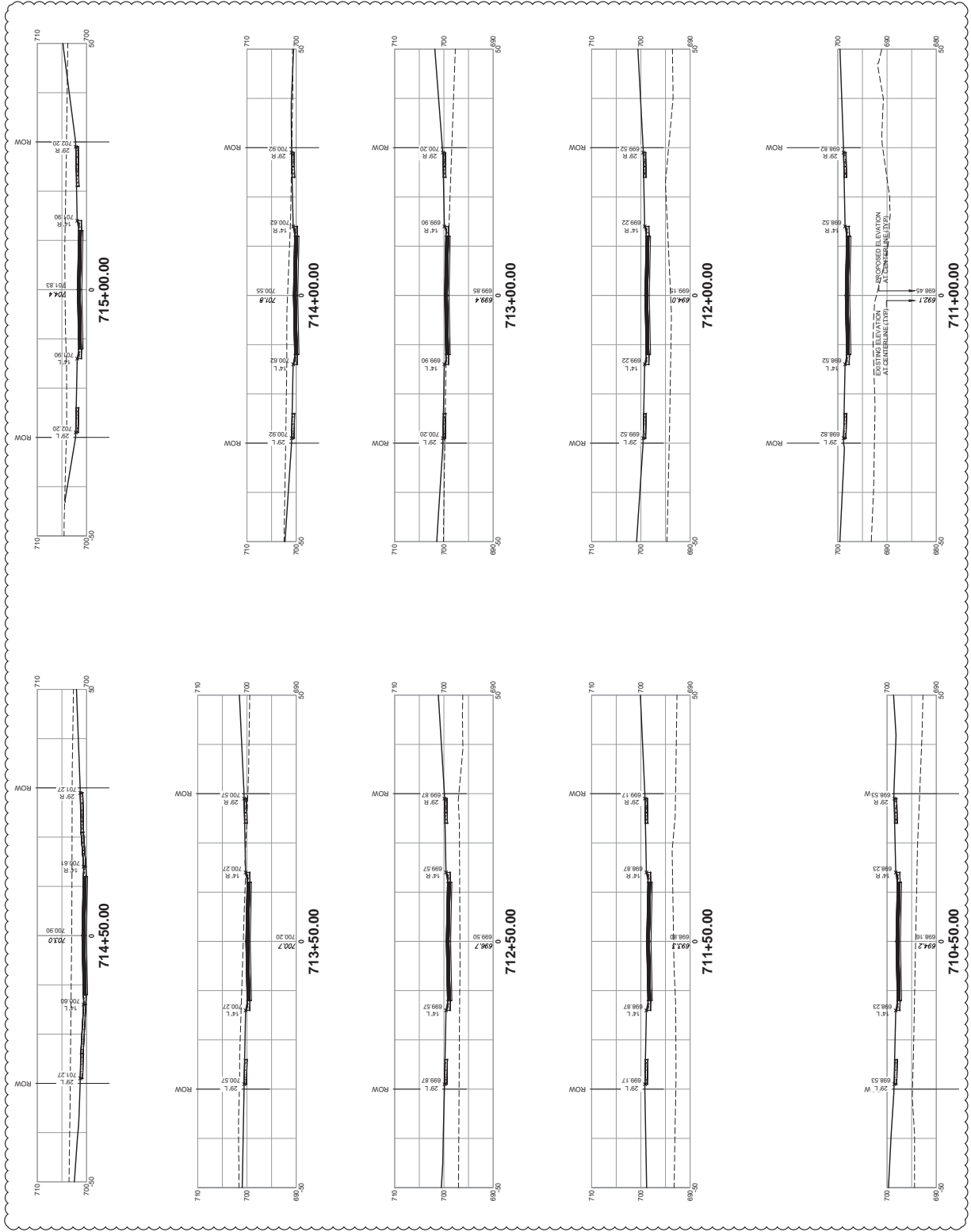
SHEET TITLE

CROSS SECTIONS -  
WILLOWGROVE LANE

SHEET NUMBER

C7.2

PROJECT NO.: 0211884.00



1 CROSS SECTIONS - WILLOWGROVE LANE  
Scale: 1"=50' V=1"=10'



**Farnsworth**  
GROUP

2709 MAGRAW DRIVE  
ECONOMY, ILLINOIS 61704  
(815) 635-8433 / fng@fng.com

www.fng.com  
Engineers | Architects | Surveyors | Scientists

DATE: 08/07/2022  
DESCRIPTION: PERMIT REVIEW

DATE: 08/07/2022  
DESCRIPTION: PERMIT REVIEW

DATE: 08/07/2022  
DESCRIPTION: PERMIT REVIEW

DATE: 08/07/2022  
DESCRIPTION: PERMIT REVIEW

Permit Set  
NOT FOR CONSTRUCTION

PROJECT

Thornewood LSRD  
Subdivision Phase 2

Mahomet, Illinois

DATE: 07/22/2022

DESIGNED: NCP

DRAWN: AEO/CM

REVIEWED: CNF/CM

FIELD BOOK NO.: CHA0128

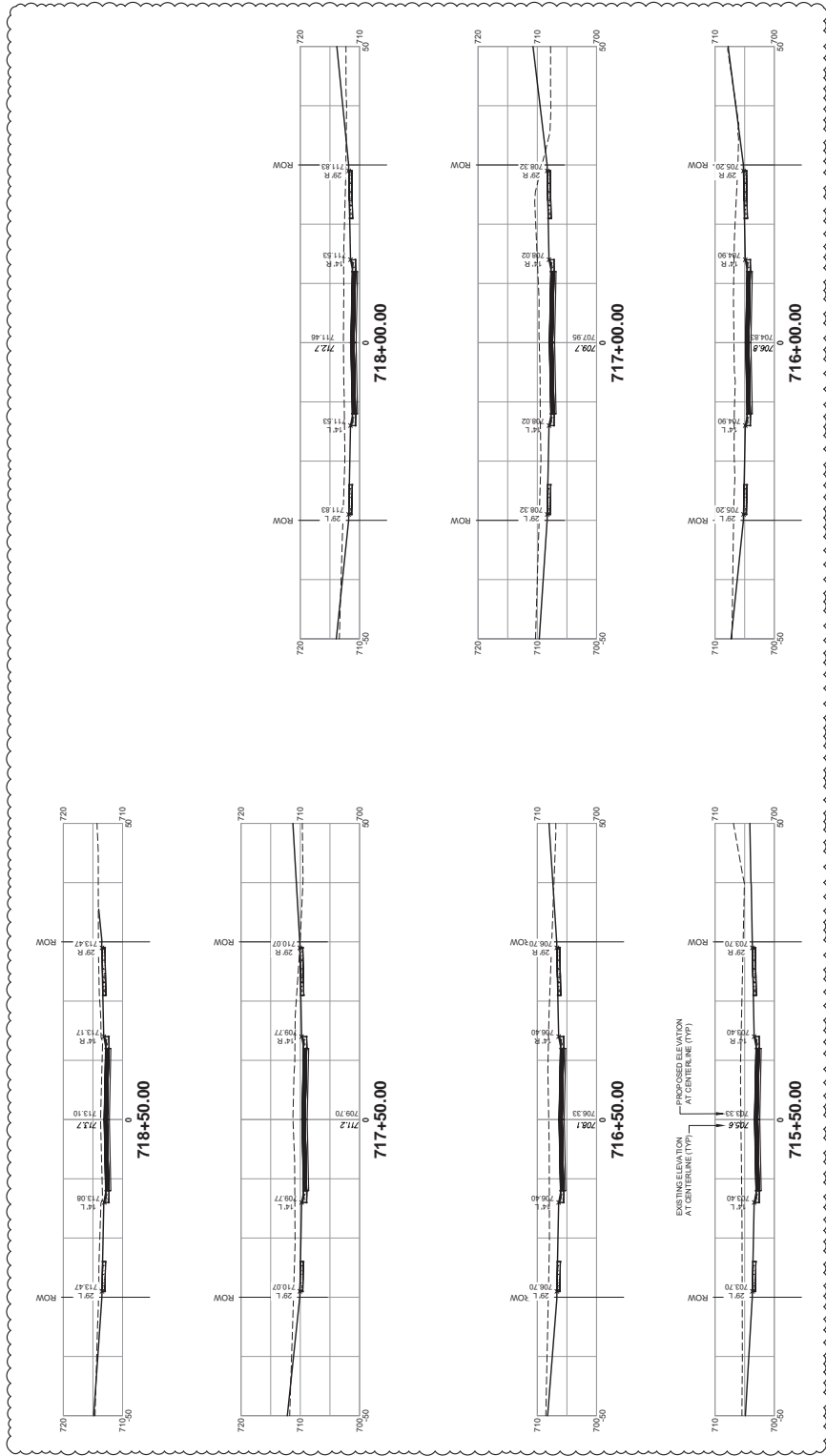
SHEET TITLE:

CROSS SECTIONS -  
WILLOWGROVE LANE

SHEET NUMBER

C7.3

PROJECT NO.: 0211884.00



1 CROSS SECTIONS - WILLOWGROVE LANE  
Scale: H=1"=50' V=1"=10'



**Farnsworth**  
GROUP

2709 MAGRAW DRIVE  
ECONOMY, ILLINOIS 61704  
(815) 635-8433 / fng@fng.com

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Engineers | Architects | Surveyors | Scientists

DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/CMC  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE: CROSS SECTIONS - BUTTONBUSH COURT

Permit Set  
NOT FOR CONSTRUCTION

Thornwood LSRD  
Subdivision Phase 2

Mahomet, Illinois

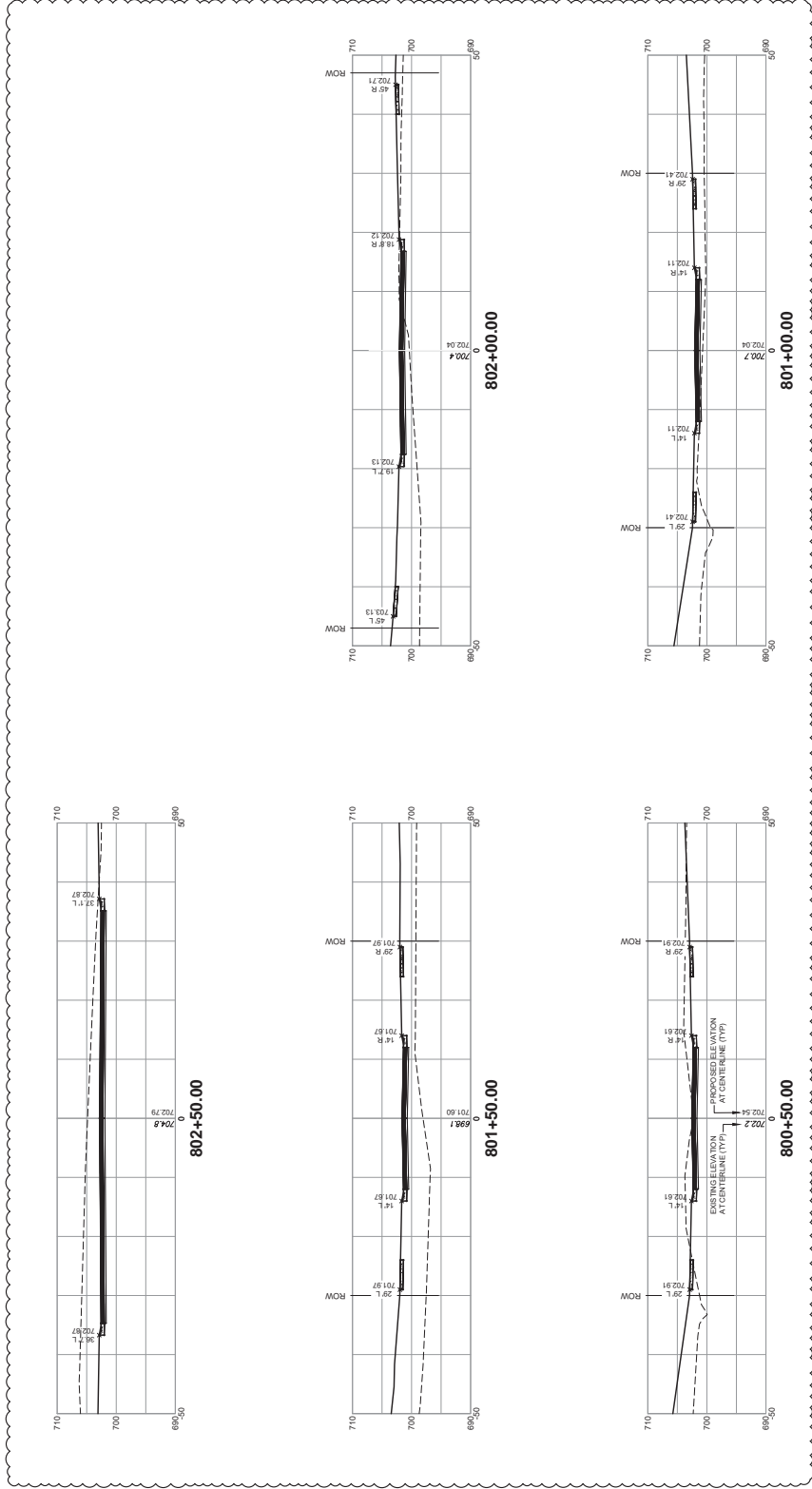
DATE: 07/22/2022  
DESIGNED: NCP  
DRAWN: AEO/CMC  
REVIEWED: CNF/OME  
FIELD BOOK NO.: CHA0128  
SHEET TITLE: CROSS SECTIONS - BUTTONBUSH COURT

CROSS SECTIONS -  
BUTTONBUSH COURT

SHEET NUMBER

C7.4

PROJECT NO.: 0211884.00



1 CROSS SECTIONS - BUTTONBUSH COURT

Scale: H=1"=50' V=1"=10'



**A RESOLUTION FOR BOARD OF TRUSTEES**  
**CONCERNING THE CONSTRUCTION PLANS FOR**  
**THORNEWOOD LSRD SUBDIVISION PHASE 2**  
**VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS**

- WHEREAS,** the Board of Trustees of the Village of Mahomet, pursuant to the authority conferred by the Statutes of the State of Illinois, has established certain standards and procedures for review and approval of subdivisions within the Corporate Limits of the Village of Mahomet, Illinois and within one and one-half miles thereof; and,
- WHEREAS,** the developer of the proposed **Thornewood LSRD Subdivision Phase 2** submitted certain documents, including Construction Plans, for review and approval by the Village of Mahomet; and,
- WHEREAS,** a Preliminary Plat for **Thornewood LSRD Subdivision** was approved February 23, 2021 by the Village of Mahomet Board of Trustees; and
- WHEREAS,** the developer submitted all required supporting documents per Ordinance; and,
- WHEREAS,** Village staff reviewed the Construction Plans and various documents submitted for **Thornewood LSRD Subdivision Phase 2** and found that subject to minor modifications, they comply with the Subdivision and Stormwater Management Ordinance requirements; and,
- WHEREAS,** Village authorizes Sangamon Valley Public Water District to provide water and sanitary sewer service to this subdivision and on August 22, 2022 Sangamon Valley Public Water District approved the plans, committing to owning the water and sanitary sewer mains and serving the planned residences; and,
- WHEREAS,** the Board of Trustees met and reviewed the Construction Plans and various other documents submitted and found that they are, with minor modifications, generally satisfactory in the prescribed form.

**BE IT THEREFORE RESOLVED** this 27<sup>th</sup> day of September, 2022, by the Board of Trustees of the Village of Mahomet, that:

- A. The Board of Trustees does hereby **APPROVE / DISAPPROVE** of the Construction Plans for the **Thornewood LSRD Subdivision Phase 2** upon completion of modifications identified by the Village staff and does hereby authorize the Chairman to sign the Certificate of Approval of said Plans upon completion of said modifications.
- B. The approvals above are further subject to the following conditions:
- 1) *Submission of all supporting documentation in proper form*
  - 2) *Revision of the Construction Plans to incorporate Village Staff technical review comments.*

3) *Approval by Sangamon Valley Public Water District.*

- C. The approval of the Construction Plans is further subject to the review and approval of supporting documents as applicable by other relevant agencies and utility service providers.
- D. In the event that the modifications to the Construction Plans are not completed, the outside agency reviews are not completed, all supporting documents are not submitted in final form, or the conditions set forth above are not met within sixty (60) days from the date of approval by the Board of Trustees, the approvals herein shall be null and void.

---

Village President, Sean Widener  
Village of Mahomet

Attest:

---

Village Clerk, Amanda Andersen



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Clark Street Right-of-Way Vacation</b>	<b>DEPARTMENT:</b> Community Development / Engineering
<b>AGENDA SECTION: Planning and Development</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> (X) Vacation Plat (X) Ordinance	<b>DATE: for BOT Study Session September 20, 2022</b>

**INTRODUCTION:**

The Board is asked to consider a right-of-way vacation along Clark Street adjacent to Borchers's Subdivision.

**BACKGROUND:**

As part of determining appropriate public improvements for Kimball Subdivision, located on the north side of Clark Street, the Village Board approved waivers and related constrictions which allowed Clark Street to terminate in a cul-de-sac instead of continuing and eventually connecting through Fox Run Subdivision. This area of Clark Street services commercial properties and therefore a roadway connection through a single-family residential neighborhood would not be desirable. Kimball Subdivision has been recorded with right-of-way to accommodate a cul-de-sac. This right-of-way vacation proposal is to direct a portion of the 29-foot wide ½ right-of-way, that was dedicated with Borchers Subdivision in 1998, to the property owner adjacent to the west. The area to be vacated is located west of the Clark Street cul-de-sac location and includes 600 linear feet of right-of-way. A portion of the right-of-way west of the Clark Street cul-de-sac will remain as public right-of-way to serve as a snow-hold for maintenance activities in the area. The vacated right-of-way would then become private property and the property owner's responsibility to maintain. The vacated area would serve as the roadway frontage for the western most lot in Borchers's Subdivision. Existing easements will be maintained on the property subject to this vacation.

**DISCUSSION OF ALTERNATIVES:**

1. Vacate – Staff Recommended Action - A portion of the vacated right-of-way would be directed to the adjacent property owner to the west and align with the Board action to terminate Clark Street in a cul-de-sac.
2. Do not Vacate – The 29-foot wide ½ right-of-way located west of the Clark Street cul-de-sac would remain and would continue to be the responsibility of the Village to maintain.

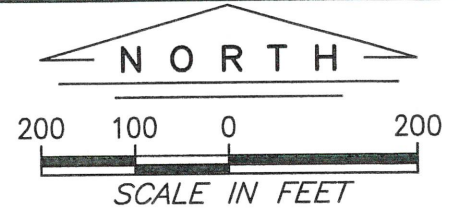
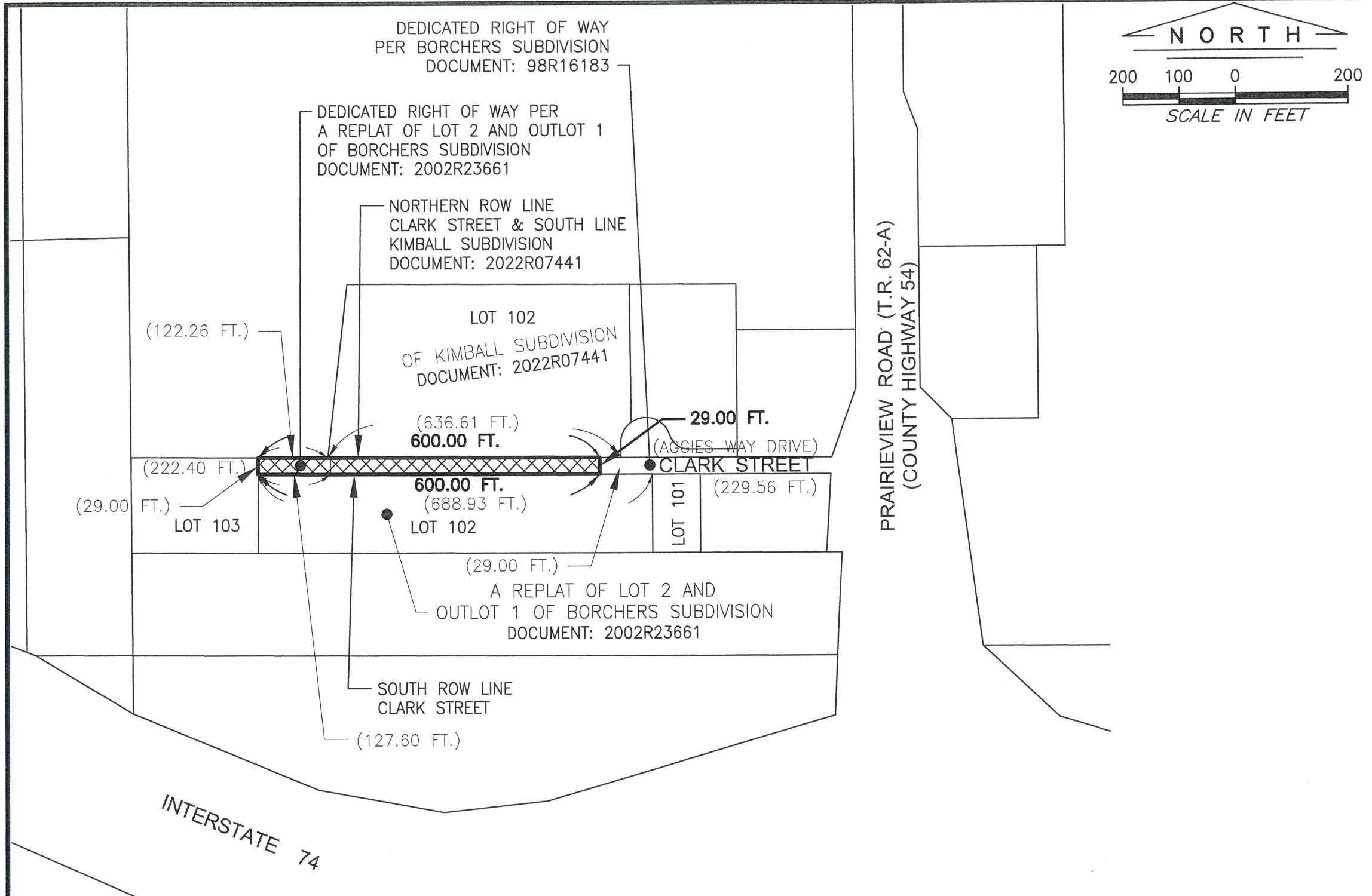
**COMMUNITY INPUT:** The adjacent property owner to the west has been contacted and is agreeable to the proposed right-of-way vacation which will provide roadway frontage to the western most lot in Borchers's Subdivision.

**BUDGET IMPACT:** The Village would no longer be responsible for maintaining the vacated right-of-way.

**STAFF IMPACT:** None.

**RECOMMENDED ACTION:** Given little public benefit of retaining the right-of-way, staff recommends the vacation of the right-of-way per the attached draft ordinance. Staff recommends the Board act to vacate the right-of-way while retaining utility easements and transferring ownership of the land area to the adjacent private property to the west as indicated on the attached ordinance.

<b>DEPARTMENT HEAD APPROVAL:</b> /s/ Kelly Pfeifer /s/ Ellen Hedrick	<b>VILLAGE ADMINISTRATOR:</b> /s/ Patrick Brown
--	--



- LEGEND**
- RIGHT-OF-WAY VACATION LINE
  - ▨ RIGHT-OF-WAY VACATION AREA
  - ( ) RECORD MEASUREMENT AND/OR DATA

**RIGHT-OF-WAY VACATION**

AREA: 17,405 SQUARE FEET ±

SIGNED AND SEALED AUGUST 26, 2022

*Edward L. Clancy*

EDWARD L. CLANCY, L.S., P.E., PRESIDENT  
**BERNS, CLANCY AND ASSOCIATES, P.C.**  
 ILLINOIS PROFESSIONAL LAND SURVEYOR 2207  
 LICENSE EXPIRATION: NOVEMBER 30, 2022  
 URBANA, CHAMPAIGN COUNTY, ILLINOIS  
 ILLINOIS PROFESSIONAL DESIGN FIRM 2999  
 LICENSE EXPIRATION: APRIL 30, 2023

PLAT AND DESCRIPTION OF  
 PUBLIC STREET RIGHT-OF-WAY VACATION  
 IN A PART OF THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>  
 OF SECTION 13,  
 TOWNSHIP 20 NORTH, RANGE 7 EAST,  
 THIRD PRINCIPAL MERIDIAN,  
 VILLAGE OF MAHOMET,  
 CHAMPAIGN COUNTY, ILLINOIS



**BERNS, CLANCY AND ASSOCIATES**  
 ENGINEERS • SURVEYORS • PLANNERS  
 405 EAST MAIN STREET - POST OFFICE BOX 755  
 URBANA, ILLINOIS 61803-0755  
 PHONE: (217) 384-1144 - FAX: (217) 384-3355

FILE: 508-611.DWG	DATE: 082622	SHEET 1 OF 2
JOB: 508-611		

# SURVEYOR'S REPORT

I, EDWARD L. CLANCY, ILLINOIS PROFESSIONAL LAND SURVEYOR 2207 AND PRESIDENT OF BERNS, CLANCY AND ASSOCIATES, P.C. DO HEREBY STATE THAT AT THE REQUEST OF AND FOR THE EXCLUSIVE BENEFIT OF THE VILLAGE OF MAHOMET, I PREPARED THE FOLLOWING DESCRIPTIONS AND ACCOMPANYING PLAT OF PUBLIC STREET RIGHT-OF-WAY TO BE VACATED IN A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

## RIGHT-OF-WAY VACATION:

THE WEST 600.00 FEET OF THE EXISTING CLARK STREET (AUGGIES WAY DRIVE)  
RIGHT-OF-WAY AS DEDICATED ON THE FOLLOWING DOCUMENTS:

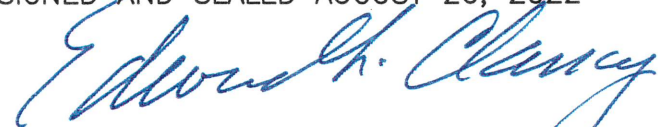
RIGHT OF WAY DEDICATED ON THE FINAL PLAT FOR BORCHERS SUBDIVISION IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS AS RECORDED AS DOCUMENT NUMBER 98R16183, IN THE CHAMPAIGN COUNTY RECORDER.

AND ALSO:

RIGHT-OF-WAY DEDICATED ON THE FINAL PLAT FOR A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 20 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS AS RECORDED AS DOCUMENT NUMBER 2002R23661, IN THE OFFICE OF THE CHAMPAIGN COUNTY RECORDER.

THE ABOVE DESCRIBED RIGHT-OF-WAY VACATION CONTAINS 17,405 SQUARE FEET, MORE OR LESS, ALL AS SHOWN ON THE ACCOMPANYING PLAT OF RIGHT-OF-WAY, ALL SITUATED IN THE VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS.

SIGNED AND SEALED AUGUST 26, 2022



EDWARD L. CLANCY, L.S., P.E., PRESIDENT  
**BERNS, CLANCY AND ASSOCIATES, P.C.**  
ILLINOIS PROFESSIONAL LAND SURVEYOR 2207  
LICENSE EXPIRATION: NOVEMBER 30, 2022  
URBANA, CHAMPAIGN COUNTY, ILLINOIS  
ILLINOIS PROFESSIONAL DESIGN FIRM 2999  
LICENSE EXPIRATION: APRIL 30, 2023



# GENERAL NOTES

ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF, UNLESS NOTED OTHERWISE.

ALL SURFACE, SUBSURFACE, BUILDING IMPROVEMENTS AND UTILITY SERVICE LINES ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.

BASE DATA FROM CHAMPAIGN COUNTY GIS CONSORTIUM TAX PARCELS RECEIVED OCTOBER 31, 2017 AND UPDATED WITH SUBDIVISION PLATS RECORDED IN THE OFFICE OF THE RECORDER OF CHAMPAIGN COUNTY, ILLINOIS.

PLAT AND DESCRIPTION OF  
PUBLIC STREET RIGHT-OF-WAY VACATION  
IN A PART OF THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>  
OF SECTION 13,  
TOWNSHIP 20 NORTH, RANGE 7 EAST,  
THIRD PRINCIPAL MERIDIAN,  
VILLAGE OF MAHOMET,  
CHAMPAIGN COUNTY, ILLINOIS



**BERNS, CLANCY AND ASSOCIATES**  
ENGINEERS • SURVEYORS • PLANNERS  
405 EAST MAIN STREET - POST OFFICE BOX 755  
URBANA, ILLINOIS 61803-0755  
PHONE: (217) 384-1144 - FAX: (217) 384-3355

FILE: 508-611  
JOB: 508-611

DATE:  
082622

SHEET 2 OF 2

## **COVER SHEET**

**ORDINANCE NO. 22-09-\_\_**

**ORDINANCE VACATING PART OF CLARK STREET  
IN THE VILLAGE OF MAHOMET, ILLINOIS**

Prepared by and Return to:  
JOSEPH P. CHAMLEY  
EVANS, FROEHLICH, BETH & CHAMLEY  
44 Main Street, Suite 310  
Champaign, IL 61820  
PH: 217/359-6494  
FX: 217/359-6468

**ORDINANCE NO. 22-09-\_\_**  
**ORDINANCE VACATING PART OF CLARK STREET**  
**IN THE VILLAGE OF MAHOMET, ILLINOIS**



**WHEREAS**, the President and Board of Trustees (the “**Corporate Authorities**”) of the Village of Mahomet, Champaign County, Illinois, (the “**Village**”) under and pursuant to Section 11-91-1 of the Illinois Municipal Code (65 ILCS 5/11-91-1) (collectively, the “**Act**”), are authorized to vacate any right-of-way, or part thereof, dedicated for street or alley purposes within any incorporated area of the Village; and

**WHEREAS**, The Village has received a request from Seven Holdings, LLC, the owner of property described as: Lot 103 of Replat of Lot 2 and Outlot 1 of Borchers Subdivision, as per Plat recorded July 25, 2002 as Document No. 2002R23661, situated in Champaign County, Illinois (PIN 15-13-13-306-006) (“**Lot 103**”) to vacate part of Clark Street. Lot 103 is adjacent to Clark Street; and

**WHEREAS**, the part of Clark Street proposed to be vacated is fully described in the Plat and Description of Public Street Right-of-Way Vacation prepared by Berns, Clancy and Associates of Urbana, Illinois by Edward L. Clancy, Illinois Professional Land Surveyor No. 2207, dated 8/26/22 as designated on the attached Exhibit as “**Right-of-Way Vacation Area**” attached hereto and incorporated herein by reference as though fully set forth.

**WHEREAS**, the owners of land adjacent to Clark Street have no objection to vacation of part of Clark Street because said owners have other access to their land; and

**WHEREAS**, Clark Street is within the corporate limits of the Village of Mahomet; and

**WHEREAS**, the Village has determined that the costs to the Village to maintain Clark Street greatly outweigh the benefits to the Village, adjacent land owners or Village citizens; and

**WHEREAS**, subject to the reservation of certain easements as provided in Section 3 of this Ordinance below, the President and Board of Trustees hereby find and determine that the public interest will be subserved by vacating whatever interest the Village may have in the Right-of-Way Vacation Area.

**BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF  
THE VILLAGE OF MAHOMET, CHAMPAIGN COUNTY, ILLINOIS, as follows:**

**Section 1. Incorporation of Preambles.** The Corporate Authorities hereby find and determine that all of the recitals contained in the preambles to this Ordinance are full, complete, true and correct and hereby incorporate them into this Ordinance by this reference thereto.

**Section 2. Vacation of Right-of-Way Vacation Area.** Under and pursuant to the Act, the Corporate Authorities hereby vacate, subject to the reservation of certain easements as provided in Section 3 of this Ordinance below, the Right-of-Way Vacation Area as designated on the attached Exhibit, which is incorporated by reference.

**Section 3. Reservation of Easements.** In connection with vacating the Right-of-Way Vacation Area, the Corporate Authorities hereby reserve unto the Village, its successors and assigns (including any other utility or telecommunications provider licensed or franchised by the Village): (i) a perpetual general utility easement to survey, construct, install, operate, maintain, test, inspect, repair, remove, replace, use and control any public utility including but not limited to, sanitary sewers, storm sewers, natural gas, electrical, telephone, telecommunications, cable television, water, drainage and other utility fixtures, together with all appurtenant and related fixtures, systems and other equipment, in, under, upon, across, through, over and above, said area to be vacated; as well as reserving for the benefit of any other public or private entity, with respect to public or private facilities or improvements, or maintenance or operations easements related thereto, concerning said and other utilities; and (ii) a perpetual access easement with the express authority, but not obligation on the part of the Village, for the Village to install (at the expense of the Village) a multi-purpose permanent improvement pathway of up to 18' in width generally running east and west on said vacated right-of-way. If the Village installs said multi-purpose pathway, no person or party shall restrict access to said multi-purpose pathway, which shall be controlled and maintained by the Village.

**Section 4. Compensation.** That it is hereby determined that compensation in the amount of \$10.00 shall be due the Village from the owners of Lot 103 (PIN 15-13-13-306-006) as a result of said vacation and no other damages are owing to or by the owners of any of the property abutting upon said Right-of-Way Vacation Area hereinabove described and herein vacated.

**Section 5. Title Upon Vacation.** Upon the effective date of this Ordinance as provided in Section 6 of this Ordinance below, title to the Right-of-Way Vacation Area shall, subject to the reservation of the easements as provided in Section 3 of this Ordinance above, vest in Seven Holdings, LLC, the present owner of the land described below. As required by the Act, the legal description and/or permanent index number of the particular parcel of property acquiring title to the vacated Right-of-Way Vacation Area is as follows:

Lot 103 of Replat of Lot 2 and Outlot 1 of Borchers Subdivision, as per Plat recorded July 25, 2002 as Document No. 2002R23661, situated in Champaign County, Illinois (PIN 15-13-13-306-006)

Said transfer of rights to Seven Holdings, LLC shall be subject to the following additional restrictions, which shall run with the land:

- (i) Other than as specifically authorized herein, no other structures or development shall be permitted on said Right-of-Way Vacation Area; and,
- (ii) The terms, conditions, rights and obligations of this Ordinance shall be binding on all of the parties and all of the heirs, legatees, successors-in-interest, assigns and transferees of any of the parties and shall run with the land.

**Section 6. Effective Date.** Following its passage and approval as required by law, this Ordinance shall not become effective unless and until a certified copy of this Ordinance is filed or recorded in the office of the Recorder of Deeds in Champaign County, Illinois.

This Ordinance is hereby passed by the affirmative vote of at least three-fourths (3/4ths) of the members of the Board of Trustees of the Village of Mahomet, Illinois then holding office at a regular meeting on the date set forth below upon roll call vote as follows:

Upon motion by Trustee \_\_\_\_\_, seconded by Trustee \_\_\_\_\_, passed by the President and Board of Trustees of the Village of Mahomet, Illinois this \_\_\_\_\_ day of September, 2022, by roll call vote, as follows:

Voting "aye" (names): \_\_\_\_\_

\_\_\_\_\_

Voting "nay" (names) \_\_\_\_\_

Absent (names) \_\_\_\_\_

APPROVED this \_\_\_\_\_ day of September, A.D. 2022.

\_\_\_\_\_  
Village President

(SEAL)  
Attest:

\_\_\_\_\_  
Village Clerk

STATE OF ILLINOIS                    )  
COUNTY OF CHAMPAIGN            ) SS  
VILLAGE OF MAHOMET                )



**CERTIFICATION OF ORDINANCE**

I, the undersigned, do hereby certify that I am the duly selected, qualified and acting Village Clerk of the Village of Mahomet, Champaign County, Illinois (the “**Municipality**”), and as such official I am the keeper of the records and files of the Municipality and of the President and Board of Trustees (the “**Corporate Authorities**”).

I do further certify that the foregoing constitutes a full, true and complete excerpt from the proceedings of the meeting of the Corporate Authorities held on September   , 2022, insofar as same relates to the adoption of:

**ORDINANCE NO. 22-09-\_\_**  
**ORDINANCE VACATING PART OF CLARK STREET**  
**IN THE VILLAGE OF MAHOMET, ILLINOIS**

a true, correct and complete copy of which ordinance (the “**Ordinance**”) as adopted at such meeting appears in the proceedings of the minutes of such meeting and is hereto attached. The Ordinance was adopted and approved by the vote and on the date therein set forth.

I do further certify that the deliberations of the Corporate Authorities on the adoption of such Ordinance were taken openly, that the vote on the adoption of such Ordinance was taken openly and was preceded by a public recital of the nature of the matter being considered and such other information as would inform the public of the business being conducted, that such meeting was held at a specified time and place convenient to the public, that notice of such meeting was duly given to all of the news media requesting such notice, that the agenda for the meeting was duly posted at the Village Administrative Office and so that each page of the agenda was continuously visible for public review and inspection in a Village Administrative Office window 24/7 at least 48 hours prior to the meeting, that such meeting was called and held in strict compliance with the provisions of the open meetings laws of the State of Illinois, as amended, and the Illinois Municipal Code, as amended, and that the Corporate Authorities have complied with all of the applicable provisions of such open meeting laws and such Code and their procedural rules in the adoption of such Ordinance.

IN WITNESS WHEREOF, I hereunto affix my official signature and the seal of the Village of Mahomet, Illinois, this September   , 2022.

(SEAL)

\_\_\_\_\_  
Village Clerk



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Amendment to Certificate of Owner for Replat of lot 2 and outlot 1 of Borchers Subdivision</b>	<b>DEPARTMENT: Community Development</b>
<b>AGENDA SECTION: Planning and Development</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> (X) Amendment to Certificate of Owner (X) Resolution	<b>DATE: for BOT Study Session September 20, 2022</b>

**INTRODUCTION:**

The Board is asked to consider an amendment to the Certificate of Owner for the Borchers Subdivision (Replat of lot 2 and outlot 1).

**BACKGROUND:**

As part of determining appropriate public improvements for Kimball Subdivision, located on the north side of Clark Street, the Village Board approved waivers and related construction plans which allowed Clark Street to terminate in a cul-de-sac without sidewalks.

With the termination, and the requested vacation of the right of way, the board is asked to support a covenant amendment that removes the “deferrals” of the construction of sidewalks and half street roadway improvements from the property immediately adjacent to, south of, Kimball Subdivision.

This is the last action to “finish” the board’s intent to support Clark Street ending in the cul-de-sac constructed as part of Kimball Subdivision.

**COMMUNITY INPUT:** None

**BUDGET IMPACT:** None

**STAFF IMPACT:** None.

**PRIOR BOARD ACTION:** Approval of Kimball Subdivision plat with waivers, January 2022

**RECOMMENDED ACTION:** Given the waivers for Kimball Subdivision, the deferrals are no longer needed. Staff recommends the Board approve the covenant amendment by adoption of the attached resolution.

<b>DEPARTMENT HEAD APPROVAL:</b> /s/ Kelly Pfeifer /s/ Ellen Hedrick	<b>VILLAGE ADMINISTRATOR:</b> /s/ Patrick Brown
--	--



RESOLUTION NO. 22-09-\_\_\_\_\_

A RESOLUTION APPROVING AN  
AMENDMENT TO THE CERTIFICATE OF OWNER FOR A REPLAT OF LOT 2  
AND OUTLOT 1 OF BORCHERS SUBDIVISION RECORDED JULY 25, 2002 AS  
DOCUMENT NO. 2002R23661

BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF  
THE VILLAGE OF MAHOMET, ILLINOIS, as follows:

SECTION 1. That the AMENDMENT TO THE CERTIFICATE OF OWNER  
FOR A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION  
RECORDED JULY 25, 2002 AS DOCUMENT NO. 2002R23661, a copy of which is  
attached hereto, be approved.

SECTION 2. That the Village staff are authorized and directed to advise the  
owners of this approval and to authorize the recording of said Amendment. A copy of  
this Resolution may be affixed to said Amendment to demonstrate the Village's approval.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

APPROVED: \_\_\_\_\_  
PRESIDENT, BOARD OF TRUSTEES  
VILLAGE OF MAHOMET

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

Prepared by and return to:  
Joseph P. Chamley  
Attorney for Village of Mahomet  
44 Main Street, Suite 310  
Champaign, IL 61820  
217/359-6494

Above Space for Recorder's Use Only

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**AMENDMENT TO THE CERTIFICATE OF OWNER FOR A REPLAT OF LOT 2 AND  
OUTLOT 1 OF BORCHERS SUBDIVISION RECORDED JULY 25, 2002 AS  
DOCUMENT NO. 2002R23661  
Mahomet, Champaign County, Illinois**

---

STATE OF ILLINOIS                    )  
  )            SS  
COUNTY OF CHAMPAIGN            )

**AMENDMENT TO CERTIFICATE OF OWNER**

**KNOW ALL PERSONS BY THESE PRESENTS**, that the undersigned, SEVEN HOLDINGS, LLC, as the owner of the following real estate:

Lot 102 and Lot 103 of a replat of Lot 2 and Outlot 1 of Borchers Subdivision recorded as Document No. 2002R23661 in the Office of the Recorder of Champaign County, Illinois;

And, AUTOMATED STORAGE SOLUTIONS, LLC, as the owner of the following real estate:

Lot 101 of a replat of Lot 2 and Outlot 1 of Borchers Subdivision recorded as Document No. 2002R23661 in the Office of the Recorder of Champaign County, Illinois;

hereby amend the CERTIFICATE OF OWNER FOR A REPLAT OF LOT 2 AND OUTLOT 1 OF BORCHERS SUBDIVISION RECORDED JULY 25, 2002 AS DOCUMENT NO. 2002R23661 by deleting the following paragraphs:

**Sidewalks.** Each lot owner shall be responsible for installing, at his or her own expense, sidewalks along the frontage of his or her lot at the time of lot construction or when lawfully required to do so by Village of Mahomet officials, since such construction was deferred by the Village of Mahomet when approving the subdivision plat. The construction of these sidewalks shall be in accordance with the Village of Mahomet Subdivision Ordinance, and shall be completed within six (6) months of the date of receipt by the Owner of the request from said governmental officials. The construction of the sidewalk shall be at the sole cost and expense of the owner or owners of the lot or lots adjacent to which said sidewalk is constructed.

**Public Street Improvements.** The owner of Lot 102 shall be responsible for making public street roadway improvements, at his or her own expense, along the frontage of his or her lot, at the time of lot development construction, or at such time as additional development occurs as a part of future development of adjacent lands, or when lawfully required to do so by the Village of Mahomet officials, since such construction was deferred by the Village of Mahomet when approving the subdivision plat. The construction of these roadway improvements shall be in accordance with the specifications and requirements of the Village of Mahomet Subdivision Ordinance, and shall be completed within one (1) year of the date of receipt by the Owner of the request from said Village of Mahomet officials. The construction of the public street improvements shall be at the sole cost of the owner or owners of the lot or lots adjacent to which said public street is constructed.

It is the intention of this Amendment that no current or subsequent owner shall be required to install sidewalks or public street roadway improvements.

It is hereby provided that all conveyances of property hereafter made by the present or future owners of the lands within said above-described subdivision shall incorporate by reference this Amendment and all such conveyances shall be taken and understood as if incorporating in all such conveyances without repeating such amendment.

Dated at Mahomet, Illinois, this \_\_\_\_\_ day of September, 2022.

SEVEN HOLDINGS, LLC,  
an Illinois limited liability company

By: \_\_\_\_\_  
Chad Sieben, Manager

STATE OF ILLINOIS                    )  
  ) SS  
COUNTY OF CHAMPAIGN            )

On this \_\_\_\_\_ day of September, 2022, before me, the undersigned Notary Public, personally appeared Chad Sieben, Manager, of SEVEN HOLDINGS, LLC, an Illinois limited liability company, and known to me to be the managers or designated agent of the limited liability company that executed this instrument and acknowledged this instrument to be the free and voluntary act and deed of the limited liability company, by authority of statute, its articles of organization or its operating agreement, for the uses and purposes therein mentioned, and on oath stated that he or she is authorized to execute this instrument and in fact executed this instrument on behalf of the limited liability company.

Witness my hand and Notarial Seal this \_\_\_\_ day of September, 2022.

\_\_\_\_\_  
Notary Public

AUTOMATED STORAGE SOLUTIONS, LLC,  
an Illinois limited liability company

By: \_\_\_\_\_  
Adam Kimball, Manager

STATE OF ILLINOIS            )  
  ) SS  
COUNTY OF CHAMPAIGN    )

On this \_\_\_\_\_ day of September, 2022, before me, the undersigned Notary Public, personally appeared Adam Kimball, Manager, of AUTOMATED STORAGE SOLUTIONS, LLC, an Illinois limited liability company, and known to me to be the managers or designated agent of the limited liability company that executed this instrument and acknowledged this instrument to be the free and voluntary act and deed of the limited liability company, by authority of statute, its articles of organization or its operating agreement, for the uses and purposes therein mentioned, and on oath stated that he or she is authorized to execute this instrument and in fact executed this instrument on behalf of the limited liability company.

Witness my hand and Notarial Seal this \_\_\_\_ day of September, 2022.

\_\_\_\_\_  
Notary Public



**BILLS NOT YET RECEIVED**

Mahomet Ace Hardware 9/2022	\$600.00
Verizon	\$1100.00
Ameren	\$20,000.00
MediaCom	\$245.00

**Automatic Debit**

Commerce Bank	\$8,451.18
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**BILLS ALREADY PAID IN SEPTEMBER**

Members AWWA Membership	\$238.00
BPC	\$73.17
Delta Dental	\$1,352.90
Health Alliance	\$35,083.98

**\*BILLS/PURCHASES BETWEEN \$10-25,000**

D-One Networks (Camera Install)	\$16,234.79
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**TOTAL AMOUNT OF WARRANTS AS OF 9.15.2022 TOTAL \$1,878,004.86**

## CHART OF ACCOUNTS

#01-00	GENERAL CORPORATE
#01-10	POLICE
#01-20	STREETS & ALLEY
#01-30	ADMINISTRATION
#01-40	COMMUNITY DEVELOPMENT
#01-45	ENGINEERING
#01-60	ESDA
#02-00	WATER OPERATIONS
#03-00	WASTEWATER OPERATIONS
#04-00	WASTEWATER CAPITAL IMPROVEMENT
#05-00	WATER CAPITAL IMPROVEMENT
#06-00	WATER/SEWER BOND FUND
#10-00	ECONOMIC DEVELOPMENT
#11-00	RECREATION
#12-00	PARKS
#16-00	MOTOR FUEL TAX
#17-00	IMRF
#18-00	POLICE PENSION
#19-00	SOCIAL SECURITY
#22-00	INSURANCE
#25-00	FORFEITED FUND/FEDERAL
#26-00	FORFEITURE FUND
#27-00	BOND ISSUE
#28-00	UTILITY TAX
1132-00	2012A & 2012B DEBT SERVICE-TIF
#33-00	TIF
#34-00	CRF/VRF
#35-00	TRANSPORTATION SYSTEM/CAPITAL IMPROVEMENT
#37-00	WWTP EXPANSION
#39-00	BOND ISSUE 2003-B
#40-00	E-PAY
#46-00	TRANSPORTATION/CONSTRUCTION
#47-00	TRANSPORTATION BOND
#48-00	FIBER

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included,
- Only unpaid invoices included,

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>All PRO WELDING SERVICE, INC.</b>							
26598	STORM GRATES	09/06/2022	01-20-7130 DRAINAGE	230.00	.00		
Total All PRO WELDING SERVICE, INC.:				230.00	.00		
<b>ALTORFER, INC.</b>							
T3990701	EQUIPMENT RENTAL	09/01/2022	01-20-7232 EQUIPMENT RENTAL	302.00	.00		
Total ALTORFER, INC.:				302.00	.00		
<b>ANDERSON'S OUTDOOR SPORTS &amp; TURF, LLC</b>							
5569	WEED CONTROL	09/01/2022	12-00-7405 PARK MAINT.IIMPROVEME	295.00	.00		
5572	WEED CONTROL,GRASS SEED	09/10/2022	01-30-7211 EQUIPMENT MAINT. & REP	289.50	.00		
Total ANDERSON'S OUTDOOR SPORTS & TURF, LLC:				584.50	.00		
<b>Anthony Kauffman</b>							
2022 RE Tax R	TAX REBATE	09/12/2022	01-30-7376 TAX REBATE-TAXES	629.42	.00		
Total Anthony Kauffman:				629.42	.00		
<b>AREA GARBAGE SERVICE</b>							
9.2022 -Admin	ADMIN	09/01/2022	01-30-7075 BUILDING MAINT	25.43	.00		
9.2022 -Admin	SIA	09/01/2022	01-20-7075 BUILDING MAINT	85.00	.00		
9.2022 -Admin	PD	09/01/2022	01-10-7075 BUILDING MAINT	39.08	.00		
9.2022 -Admin	WATER	09/01/2022	02-00-7080 BUILDING MAINTIGROUN	46.66	.00		
9.2022 -Admin	SEWER	09/01/2022	03-00-7080 BUILDING MAINTIGROUN	237.40	.00		
9.2022 -Parks	PARKS	09/01/2022	12-00-7391 UTILITIES	69.00	.00		
Total AREA GARBAGE SERVICE:				502.57	.00		
<b>Arthur Baroody</b>							
2022 RE Tax R	TAX REBATE	09/06/2022	01-30-7376 TAX REBATE-TAXES	718.84	.00		
Total Arthur Baroody:				718.84	.00		
<b>AXON ENTERPRJSE, INC.</b>							
JNUS092910	BATTERY PACK	08/17/2022	01-10-7315 POLICE CAMERA SYSTEM	158.46	00		
Total AXON ENTERPRISE, INC.:				158.46	.00		
<b>BARBECK COMMUNICATIONS GROUP, INC.</b>							
138003035-1	RADIOS	09/02/2022	01-20-7211 EQUIPMENT & VEHICLE M	200.00	00		
138003035-2	RADIOS	09/02/2022	01-20-7211 EQUIPMENT & VEHICLE M	15.06	00		
Total BARBECK COMMUNICATIONS GROUP, INC.:				215.05	00		
<b>BD BOYKIN ENTERPRISES, LLC</b>							
3435	DRYCLEANING	09/06/2022	01-10-7401 UNIFORMS	201.50	.00		
Total BO BOYKIN ENTERPRISES, LLC:				201.50	00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>BERNS, CLANCY AND ASS.</b>							
7.23-8.20,2022	SOUTH MAHOMET RD	09/06/2022	33-00-7142 ENGINEERING	14,463.49	.00		
8.31.2022	CD	09/02/2022	01-40-7142 ENGINEERING	665.50	.00		
8.31.2022	CD	09/02/2022	01-40-7145 PLANNING/DEVELOPMEN	2,691.61	.00		
8.31.2022	CD	09/02/2022	01-40-7145 PLANNING/DEVELOPMEN	679.00	.00		
8.31.2022	CO	09/02/2022	01-40-7145 PLANNING/DEVELOPMEN	790.50	.00		
8.31,2022	CD	09/02/2022	01-40-7142 ENGINEERING	358.00	.00		
8.31.2022	CD	09/02/2022	01-40-7145 PLANNING/DEVELOPMEN	649.00	.00		
8.31,2022	CD	09/02/2022	01-40-7142 ENGINEERING	2,432.50	.00		
8.31.2022	ENG	09/02/2022	01-45-7142 ENGINEERING CONSULT!	229.50	.00		
8.31.2022	ENG	09/02/2022	01-45-7142 ENGINEERING CONSULT!	620.00	.00		
Total BERNS, CLANCY AND ASS.:				23,579.10	.00		
<b>BINKLEY, GRACE ANN</b>							
8.25 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	00		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total BINKLEY, GRACE ANN:				40.00	00		
<b>Brad Allen</b>							
2022 RE Tax R	TAX REBATE	09/07/2022	01-30-7376 TAX REBATE-TAXES	604.99	.00		
Total Brad Allen:				604.99	.00		
<b>Brent Helmuth</b>							
RE Tax Rebate	TAX REBATE	08/25/2022	01-30-7376 TAX REBATE-TAXES	776.15	.00		
Total Brent Helmuth:				776.15	.00		
<b>BSN SPORTS</b>							
917793448	FIELD PAINT	09102/2022	11-10-7100 FIELD MAINTENANCE	224.40	.00		
917998294	VOLLEYBALL NET	09/09/2022	11-10-7220 VOLLEYBALL - ADULT	252.00	.00		
Total BSN SPORTS:				476.40	.00		
<b>CAMPUS COMMUNICATIONS GROUP</b>							
INV15230	INTERNET	09/01/2022	01-60-7391 UTILITIES	627.25	.00		
Total CAMPUS COMMUNICATIONS GROUP:				627.25	.00		
<b>CHAMPAIGN SIGNAL &amp; LIGHTING COMPANY</b>							
2240-001.93	SIGNAL REPAIR	09/06/2022	16-00-7564 MAINTENANCE -TRAFFIC	690.00	.00		
Total CHAMPAIGN SIGNAL & LIGHTING COMPANY:				690.00	.00		
<b>CIRBN, LLC</b>							
15436	AOMIN	09/02/2022	01-30-7391 UTILITIES	107.99	.00		
15436	CD	09/02/2022	01-40-7391 UTILITIES	107.99	.00		
15436	S&A	09/02/2022	01-20-7391 UTILITIES	107.98	.00		
15436	REC	09/02/2022	11-00-7391 UTILITIES	107.98	00		
Total CIRBN, LLC:				431.94	.00		
<b>CLEAR TALK</b>							
217972	SQUAD 6 RADIO	08/31/2022	01-10-7211 EQUIP. MAINT. & REPAIR	125.00	.00		

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Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total CLEAR TALK				125.00	.00		
CORE & MAIN LP							
R280714	METERS/RADIOS	09/06/2022	02-00-7318 METERS	2,815.00	.00		
R280714	METERS/RADIOS	09/06/2022	03-00*7318 METERS	2,815.00	.00		
Total CORE & MAIN LP:				5,630.00	.00		
CORNER FS							
18627	TRCUK 205 SERVICE	08/16/2022	01-20-7211 EQUIPMENT & VEHICLE M	236.59	.00		
18979	SQUAD 7 HEADLIGHT ASSY 131	08/24/2022	01-10-7454 VEHICLE MAINT.	1,313.73	.00		
19017	SQUAD 6 STARTER	08/24/2022	01-10-7454 VEHICLE MAINT.	458.61	.00		
19051	SQUAD 3 TIRE REPAIR	08/30/2022	01-10-7454 VEHICLE MAINT.	50.00	.00		
Total CORNER FS:				2,058.93	.00		
CROSS CONSTRUCTION							
ST-22SMR #9	S. MAHOMET EXT	09/09/2022	33-00-7142 ENGINEERING	141,919.37	.00		
Total CROSS CONSTRUCTION:				141,919.37	.00		
01 NETWORKS LLC							
11270	INSTALL-ADMIN	09/14/2022	34-00-7315 CAPITAL EQUIPMENT PUR	8,495.00	.00		
11270	INSTALL-RECS	09/14/2022	34-00-7315 CAPITAL EQUIPMENT PUR	3,869.90	.00		
11270	INSTALL-TRANSPORTATION	09/14/2022	34-00-7315 CAPITAL EQUIPMENT PUR	3,869.89	.00		
628	PD ALARM	08/02/2022	OH0-7075 BUILDING MAINT	55.00	.00		
696	ADMIN	09/14/2022	01-30-7075 BUILDING MAINT	55.00	.00		
Total 01 NETWORKS LLC				16,344.79	.00		
Denise Ingram							
RE Tax Rebate	TAX REBATE	09/01/2022	01-30-7376 TAX REBATE-TAXES	393.86	.00		
Total Denise Ingram:				393.86	.00		
DODGE, JOSEPH							
0907	REFUND	09/08/2022	11-10-7410 REFUNDS PAID	85.00	.00		
Total DODGE, JOSEPH:				85.00	.00		
Elizabeth Howard							
2022 RE Tax R	TAX REBATE	09/08/2022	01-30-7376 TAX REBATE-TAXES	475.26	.00		
Total Elizabeth Howard:				475.26	.00		
ENGINEERING & RESEARCH INTERNATIONAL INC							
MTS-22-002.1	MTS-22-002.1	09/14/2022	33-00-7142 ENGINEERING	1,280.50	.00		
MTS-22-002.B	MTS-22-002.6	09/0.2/2022	33-00-7142 ENGINEERING	1,875.00	.00		
MTS-22-002.7	MTS-22-002.7	09/14/2022	33-00-7142 ENGINEERING	1,128.00	.00		
MTS-22-008.2	ENG	09/02/2022	01-45-7142 ENGINEERING CONSULT!	1,000.50	.00		
MTS-22-008.3	TESTING SERVICES	09/14/2022	01-45-7142 ENGINEERING CONSULT!	1,410.25	.00		
Total ENGINEERING & RESEARCH INTERNATIONAL INC:				6,694.25	.00		
EVANS, FROEHLICH, BETH & CHAMLEY							
16279	CITY COURT	09/14/2022	01-10-7090 CITY COURT	555.50	.00		



Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Dale Paid	Voided
9.1.2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	225.00	.DO		
9.1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	675.00	.OD		
9.1.2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	382.50	.OD		
9.1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	765.00	.DO		
9.1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	517.50	.OD		
9.1.2022 INVOJ	CD LEGAi.	09/14/2D22	01-40-7314 LEGAL FEES	67.50	.DO		
9.1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	225.00	.OD		
9.1.2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	225.00	.DO		
9.1.2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	225.00	.OD		
9 1,2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	180.00	.00		
9 1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	225.00	.DO		
9.1.2022 INVOI	CD LEGAL	09/14/2022	01-40-7314 LEGAL FEES	405.00	.OD		
9.1.2022 INVOI	ADMIN LEGAL	09/14/2022	01-30-7314 LEGAL FEES-ADMINISTRA	2,250.00	.DO		
Total EVANS, FROEHLICH, BETH & CHAMLEY:				6,923.00	.DO		
EVANS, TISH							
0908	REFUND	09/08/2022	11-10-741D REFUNDS PAID	210.00	.DO		
Total EVANS, TISH:				210.00	.OD		
FASTSIGNS, INC							
260-57166	VEHICLE NUMBERS	09/06/2022	11-00-7454 VEHICLE MAINTENANCE	33.23	.OD		
56582	VINYL/LAMINATE	09/01/2022	01-20-7211 EQUIPMENT & VEHICLE M	33.68	.OD		
Total FASTSIGNS, INC:				66.81	.OD		
FEUTZ CONTRACTORS, INC.							
ST-22SMR "Ph	ST-22SMR	09/09/2022	33-00-7142 ENGINEERING	565,705.00	.OD		
ST-23ADA #2	ST-23ADA #2	09/09/2022	35-00-7400 CAPITAL IMPROVEMENTS	158,892.00	.00		
Total FEUTZ CONTRACTORS, INC.:				724,597.00	.00		
GASVODA & ASSOCIATES							
INV22SVC061	LIFT STATION REPAIR	09/02/2022	03-00-7211 EQUIPMENT MAINT & REP	1,638.12	.00		
Total GASVODA & ASSOCIATES:				1,638.12	.DO		
GFI DIGITAL, INC.							
2322618	COLOR	09/02/2022	01-40-7322 OFFICE SUPPLIES	172.90	.DO		
Total GFI DIGITAL, INC:				172.90	.OD		
GRAINGER							
9406692537	PIPE HANGER	09/01/2022	03-00-7211 EQUIPMENT MAINT. & REP	53.92	.DO		
Total GRAINGER:				53.92	.OD		
GRAMMER, MAXWELL J.							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.OD		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total GRAMMER, MAXWELL J.:				40.00	.00		
GRAMMER, SOPHIA L.							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.25 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.DO		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total GRAMMER, SOPHIA L:				60.00	.00		
<b>HACH COMPANY</b>							
13186619	PH STANDARDS	08/17/2022	03-00-7312 LAB SUPPLIES	51.73	.00		
13186634	D O SENSOR CAP	08/17/2022	03-00-7312 LAB SUPPLIES	180.32	.00		
13195190	PH STANDARDS	09/02/2022	03-00-7312 LAB SUPPLIES	103.46	.00		
13204160	PH STANDARDS	09/06/2022	03-00-7312 LAB SUPPLIES	51.73	.00		
13207780	PH STANDARDS	09/06/2022	03-00-7312 LAB SUPPLIES	51.73	.00		
13217027	LAB REAGENTS	09/01/2022	03-00-7312 LAB SUPPLIES	78,23	.00		
Total HACH COMPANY:				517,20	.00		
<b>HANSON PROFESSIONAL SERVICES, INC.</b>							
Inv #4 STR-19	S MAHOMET RD DESIGN	09/06/2022	33-00-7142 ENGINEERING	20,590.19	.00		
Invoice #1 STR	S MAHOMET RD DESIGN	09/06/2022	33-00-7142 ENGINEERING	11,947.11	.00		
Total HANSON PROFESSIONAL SERVICES, INC.:				32,537.30	.00		
<b>HASTY AWARDS, INC,</b>							
08220642	AWARDS	08/16/2022	11-10-7210 SOCCER	620.00	.00		
08220642	AWARDS	08/16/2022	11-00-7201 EQUIPMENT, NEW	530,34	.00		
Total HASTY AWARDS, INC.:				1,150,34	.00		
<b>HOLLEMAN, LUKAS</b>							
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total HOLLEMAN, LUKAS:				20.00	.00		
<b>ILLIANA CONSTRUCTION</b>							
22-00000-00-G	ROAD MAINTENANCE	09/06/2022	35-00-7400 CAPITAL IMPROVEMENTS	315,122.76	.00		
22-00000-00-G	ENG	09/06/2022	01-10-7075 BUILDING MAINT	8,677.50	.00		
22-00000-00-G	GENERAL MAINTANCE	09/06/2022	04-00-7400 CAPITAL IMPROVEMENTS	20,288.00	.00		
Total ILLIANA CONSTRUCTION:				344,088.26	.00		
<b>ILLINOIS ENVIRONMENTAL PROTECTION AGENCY</b>							
Bill# 16	INTERST	06/18/2022	37-00-7900 INTEREST PAYMENT	56,696.53	.00		
Bill# 16	PRINCIPAL	08/18/2022	37-00-7960 PRINCIPAL PAYMENT	322,407.72	.00		
Total ILLINOIS ENVIRONMENTAL PROTECTION AGENCY:				379,104.25	.00		
<b>ILLINOIS PORTABLE TOILETS</b>							
54811	PORT TOILETS	09/09/2022	11-10-7420 RENTALS	164.00	.00		
54812	PORT TOILETS	09/09/2022	11-10-7420 RENTALS	99.00	.00		
Total ILLINOIS PORTABLE TOILETS:				263.00	.00		
<b>IMCO UTILITY SUPPLY</b>							
2067867-00	CURB STOPS, CURB BOXES	09/02/2022	02-00-7130 DISTRIBUTION COST	2,632.86	.00		
2067867-01	WATER MAIN REPAIR CLAMP	09/02/2022	02-00-7455 WATER LINE REPAIR	1,243.73	.00		
2068011-00	WATER MAIN REPAIR CLAMP	09/01/2022	02-00-7455 WATER LINE REPAIR	120.00	.00		
2068050-00	VALVE BOX EXTENSIONS	09/02/2022	02-00-7130 DISTRIBUTION COST	476.94	.00		
3034969-00	WATER MAIN COUPLINGS	09/02/2022	02-00-7455 WATER LINE REPAIR	1,044.00	.00		
3035072-00	WATER MAIN REPAIR CLAMP	09/02/2022	02-00-7455 WATER LINE REPAIR	240.00	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total IMCO UTILITY SUPPLY:				5,757.53	.00		
JENNA JEFFERS							
9.2022 Adult Fil	ADULT FIT	09/09/2022	11-10-7060 CONTRACTED EMPLOYEE	1,085.00	.00		
Total JENNA JEFFERS:				1,085.00	.00		
Jerry Dewhirst							
2022 RE Tax R	TAX REBATE	09/08/2022	01-30-7376 TAX REBATE-TAXES	387.90	.00		
Total Jerry Dewhirst:				387.90	.00		
JOHNSON JOYCE							
2022 RE Tax R	TAX REBATE	09/13/2022	01-30-7376 TAX REBATE-TAXES	741.41	.00		
Total JOHNSON JOYCE :				741.41	.00		
Jon Morrison							
2022 RE Tax R	TAX REBATE	09/08/2022	01-30-7376 TAX REBATE-TAXES	221.82	.00		
Total Jon Morrison:				221.82	.00		
JONES, JAMES							
1325	SQUAD 6 PARTITION, SEAT CO	09/03/2022	01-10-7454 VEHICLE MAINT.	350.00	.00		
Total JONES, JAMES:				350.00	.00		
JORDAN UEBELHOER							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total JOI DAN UEBELHOER:				40.00	.00		
Joshua Givens							
RE Tax Rebate	TAX REBATE	09/01/2022	01-30-7376 TAX REBATE-TAXES	235.85	.00		
Total Joshua Givens:				235.85	.00		
KIRCHNER BUILDING CENTERS							
247744	WOOD STAKE	09/14/2022	01-30-7075 BUILDING MAINT	57.60	.00		
Total KIRCHNER BUILDING CENTERS:				57.60	.00		
KURLAND STEEL COMPANY							
5135	STEEL TUBING	09/06/2022	12-00-7201 EQUIPMENT/MATERIALS-	135.00	.00		
Total KURLAND STEEL COMPANY:				135.00	.00		
MAHOMET ACE HARDWARE							
08/30/22	TAPE	08/30/2022	01-10-7454 VEHICLE MAINT.	16.99	.00		
Total MAHOMET ACE HARDWARE:				16.99	.00		
MAHOMET LANDSCAPES							
52303546	TREE PRUNING	09/01/2022	01-20-7385 FORESTRY SERVICE	200.00	.00		
62303508	TREE REMOVAL	08/17/2022	02-00-7455 WATER UNE REPAIR	1,500.00	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total MAHOMET LANDSCAPES:				1,700.00	.00		
MAHOMET SMALL ENGINE							
32120	TRIMMER REPAIR	08/11/2022	01-20-7211 EQUIPMENT & VEHICLE M	16.50	.00		
32408	CHAINSAW REPAIR	09/06/2022	12-00-7211 EQUIPMENT MAINT. & REP	75.40	.00		
Total MAHOMET SMALL ENGINE:				91.90	.00		
MARSHALL, AUDREY MICHELLE							
8.29	TIMESHE UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total MARSHALL, AUDREY MICHELLE:				20.00	.00		
MAY, WILLIAM							
RE	Tax Rebate TAX REBATE	09/12/2022	01-30-7376 TAX REBATE-TAXES	227.99	.00		
Total MAY, WILLIAM:				227.99	.00		
MCS OFFICE TECHNOLOGIES							
01-695986	N-ABLE SERVICES	08/01/2022	01-10-7330 COMPUTER LIC.ISUPPOR	114.50	.00		
01-696055	MICROSOFT EXCHANGE PLAN	08/01/2022	0H0-7330 COMPUTER LIC.ISUPPOR	97.00	.00		
01-696125	MANAGED SERVICES	08/01/2022	01-10-7330 COMPUTER LIC./SUPPOR	1,081.50	.00		
01-696456	N-ABLE SERVICES	09/01/2022	01-10-7330 COMPUTER LIC./SUPPOR	114.50	.00		
01-696498	MICROSOFT EXCHANGE PLAN	09/01/2022	01-10-7330 COMPUTER LIC./SUPPOR	973.00	.00		
01-696621	MANAGED SERVICES	09/01/2022	01-10-7330 COMPUTER LIC.ISUPPOR	1,081.50	.00		
Total MCS OFFICE TECHNOLOGIES:				3,462.00	.00		
MENAROS							
29231	CAMERA AND SHOP SUPPLIES	09/06/2022	11-00-7100 MAINTENANCE AND REPA	100.00	.00		
29231	CAMERA AND SHOP SUPPLIES	09/06/2022	12-00-7211 EQUIPMENT MAINT. & REP	288.34	.00		
43315	BUILDING SUPPLIES	09/01/2022	01-30-7075 BUILDING MAINT	187.16	.00		
43528	BUILDING SUPPLIES	09/01/2022	01-30-7075 BUILDING MAINT	39.16	.00		
44074	FIELD PAINT	09/09/2022	11-10-7100 FIELD MAINTENANCE	597.24	.00		
Total MENARDS:				1,211.90	.00		
MID AMERICA SAND & GRAVEL COMPANY							
8215	SAND	08/17/2022	02-00-7455 WATER LINE REPAIR	418.84	.00		
Total MID AMERICA SAND & GRAVEL COMPANY:				418.84	.00		
MIDSTATE EXCAVATION INC							
1779	BARBER IMPROVEMENTS	09/06/2022	12-00-7470 CAPITAL IMPROVEMENT	140,635.15	.00		
Total MIDSTATE EXCAVATION INC:				140,635.15	.00		
MTK TECHNOLOGIES, INC.							
27419	ADMIN	09/14/2022	01-30-7130 COMPUTER SUPPORT/IT	632.29	.00		
27419	ADMIN BOARD	09/14/2022	01-30-7115 BOARD EXPENSES	110.13	.00		
27419	COMM DEV	09/14/2022	01-40-7130 COMPUTER SUPPORT/IT	314.94	.00		
27419	ENG	09/14/2022	01-45-7130 COMPUTER SUPPORT/IT	100.27	.00		
27419	PARKS	09/14/2022	12-00-7120 COMPUTER SUPPORT/IT	107.34	.00		
27419	REC	09/14/2022	11-00-7120 COMPUTER SUPPORT/IT	107.33	.00		
27419	TRANS	09/14/2022	01-20-7120 COMPUTER SUPPORT/IT	87.27	.00		
27419	WATER	09/14/2022	02-00-7120 COMPUTER SUPPORT/IT	102.34	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
27419	SEWER	09114/2022	03-00-7120 COMPUTER SUPPORT/IT	102.34	.00		
27419	ADMIN	09/1412022	01-30-7130 COMPUTER SUPPORT/IT	3,120.00	.00		
CR 27423	ADMIN	09114/2022	01-30-7130 COMPUTER SUPPORT/IT	1,400.00-	.00		
Total MTK TECHNOLOGIES, INC.:				3,384.25	.00		
NAPA AUTO PARTS							
949946	TRUCK BATTERY	09/06/2022	12-00-7454 VEHICLE MAINTENANCE	24.57	.00		
Total NAPA AUTO PARTS:				24.57	.00		
PRAIRIE MATERIAL							
890544377	CONCRETE	08/1612022	02-00-7455 WATER LINE REPAIR	552.37	.00		
Total PRAIRIE MATERIAL:				552.37	.00		
PROGRESSIVE CHEMICAL & LIGHTING INC,							
53027	SIGNS/BRACKETS	09/01/2022	01-20-7361 STREET/SIDEWALK REPAI	294,30	.00		
Total PROGRESSIVE CHEMICAL & LIGHTING INC.:				294,30	.00		
RAV O'HERRON CO.,INC,							
2199984	LEFT HAND HOLSTER	06/10/2022	01-10-7401 UNIFORMS	150.99	.00		
2200848	EVANS ID TAGS, CARRIER	06/1412022	01-10-7355 RECRUITMENT/HIRING	1,446.70	.00		
2214534	ID TAGS	08/18/2022	01-10-7401 UNIFORMS	94,55	.00		
Total RAY O'HERRON CO.,JNC.:				1,692.24	.00		
REED, JOHN							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.25 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total REED, JOHN:				40,00	.00		
RELIGIASO, ELLIOT ERSON							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20,00	00		
8.25 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20,00	00		
Total RELIGIASO, ELLIOT ERSON:				40.00	.00		
Richard Buzicky							
RE Tax Rebate	TAX REBATE	08/29/2022	01-30-7378 TAX REBATE-TAXES	799.47	.00		
Total Richard Buzicky:				799.47	.00		
Richard Eardley							
2022 RE Tax R	TAX RESATE	09/06/2022	01-30-7376 TAX REBATE-TAXES	453.28	.00		
Total Richard Eardley:				453.28	.00		
SANGAMON ON MAIN LLC							
10.2022	GYM LEASE	09/06/2022	11-10-7420 RENTALS	2,250.00	.00		
Total SANGAMON ON MAIN LLC:				2,250.00	.00		
SHERMAN SMALL ENGINE							
1000077200	HYDRO OIL	09/06/2022	12-00-7454 VEHICLE MAINTENANCE	63.48	.00		

Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
Total SHERMAN SMALL ENGINE:				63.48	.00		
SMITHGROUP, INC, 0161022	MAHOMET DOWNTOWN	09/02/2022	01-40-7400 CAPITAL IMPROVEMENTS	1,615.00	.00		
Total SMITHGROUP, INC.:				1,615.00	.00		
SPRING GREEN 9/2/2022	LAWN SERVICE	09/02/2022	01-10-7075 BUILDING MAINT	114.25	.00		
Total SPRING GREEN:				114.25	.00		
SUNBELT RENTALS, INC. 128975472-00	MINI SKID RENTAL TREE MULC	09/06/2022	12-00-7610 TREE PROGRAM	408.56	.00		
Total SUNBELT RENTALS, INC.:				408.56	.00		
Susan Blevins 2022 RE Tax R	TAX REBATE	09/13/2022	01-30-7376 TAX REBATE-TAXES	666.27	.00		
Total Susan Blevins:				666.27	.00		
UEBELHOER, MIKE A. 8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total UEBELHOER, MIKE A:				40.00	.00		
UNITED STATES POST OFFICE 9.2022 Postag	WATER BILLING	09/01/2022	03-00-7341 POSTAGE	1,000.00	.00		
9.2022 Postag	SEWER BILLING	09/01/2022	02-00-7341 POSTAGE	1,000.00	.00		
Total UNITED STATES POST OFFICE:				2,000.00	.00		
UPS 0000Y8V67534	LAB SHIPPING	09/02/2022	02-00-7315 LAB FEES	15.96	.00		
Total UPS:				15.96	.00		
USA BLUE BOOK 399519	LAB REAGENTS	09/01/2022	02-00-7316 LAB CHEMICALS	338.44	.00		
Total USA BLUE BOOK:				338.44	.00		
VANDEVANTER ENGINEERING/COGENT, INC 5540071.2 rem	LIFT STATION PUMP REPAIR	09/01/2022	03-00-7320 LIFT STATION MAINTENA	360.00	.00		
5540389 Minu	PHASE MONITOR	09/01/2022	03-00-7320 LIFT STATION MAINTENA	343.82	.00		
5543782	MIXER REPAIR	09/01/2022	03-00-7211 EQUIPMENT MAINT. & REP	5,264.96	.00		
Total VANDEVANTER ENGINEERING/COGENT, INC:				5,968.78	.00		
VERIZON WIRELESS 9913869528	PHONES	08/26/2022	01-10-7331 METCAD	403.65	.00		
Total VERIZON WIRELESS:				403.65	.00		



Invoice Number	Description	Invoice Date	GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid	Voided
<b>VULCAN CONSTRUCTION MATERIALS</b>							
33018187	ROAD PACK	08/17/2022	01-20-7361 STREET/SIDEWALK REPAI	825.10	.00		
Total VULCAN CONSTRUCTION MATERIALS:				825.10	.00		
Wade Lagle							
2022 RE Tax R	TAX REBATE	09/06/2022	01-30-7376 TAX REBATE-TAXES	566.28	.00		
Total Wade Lagle:				566.28	.00		
WAISATH, GARRETT							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total WAISATH, GARRETT:				40.00	.00		
WATER SOLUTIONS UNLIMITED							
106239	PHOSPATE	09/02/2022	02-00-7100 CHEMICALS	2,275.00	.00		
Total WATER SOLUTIONS UNLIMITED				2,275.00	.00		
<b>WILCOXON, SADIE KAY</b>							
8.22 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.25 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
8.29 TIMESHE	UMPIRE OFFICIAL	09/06/2022	11-10-7050 CONTRACTED EMPLOYEE	20.00	.00		
Total WILCOXON, SADIE KAY:				60.00	.00		
YONG'S EMBROIDERY, INC.							
8/11/22	DAVIS, WARD, GOODWIN VELC	08/11/2022	01-10-7401 UNIFORMS	120.00	.00		
8/16/22	GOODWIN SHIRTS	08/16/2022	01-10-7401 UNIFORMS	125.00	.00		
8/16/22 - 2	BROWN PATCHES, VEST LOGO	08/16/2022	01-10-7355 RECRUITMENT/HIRING	95.00	.00		
Total YONG'S EMBROIDERY, INC.:				340.00	.00		
Grand Totals:				1,878,004.86	.00		

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.





MEMORANDUM  
TO THE  
BOARD OF TRUSTEES



<b>ITEM: Monthly Report – August Report</b>	<b>DEPARTMENT: Park &amp; Recreation Department</b>
<b>AGENDA SECTION: Department Reports</b>	<b>AMOUNT: n/a</b>
<b>ATTACHMENTS:</b> ( ) ORDINANCE ( ) RESOLUTION ( ) OTHER SUPPORTING DOCUMENTS	<b>DATE: 9/20/22</b>

**Programming / Admin**

- Soccer Season ongoing - day to day coordination of staff, coaches and volunteers
- Flag football deadline this week, will provide update on participation next week.
- Ongoing promotions for future programming, Adult Fitness classes ongoing
- Administration of field rentals and gym, multipurpose room rentals ongoing
- Marketing upcoming programs, deadlines and working on September enewsletter
- Beginning to plan for 2023 recreation sponsorship campaign

**CIP Project**

- Barber Project
  - Splash pad: plumbing and electric complete, rock is in over plumbing. More rock is needed then concrete hopefully next week.. Expected substantial completion for project date is still anticipated 3-4 weeks out.
  - Amphitheater / Stage: top of stage and stairs concrete complete. Mason for brick veneer has started
  - Playground is 100% complete. Poured in place and fibar play surfaces 100% complete.
  - Drainage work: 90% complete.
  - Pathways – 75% complete.
  - OSLAD extension paperwork executed and filed.
- Tennis/Pickle
  - Met with Farnsworth on Tuesday, discussed 13 Acres Plan and Tennis Rebid. Rebid for Tennis will occur in December.
  - Ongoing communication/coordination for DCEO grant, still waiting for formal approval.
  - Staff/Farnsworth have an initial concept/rendering phase complete for 13 Acres based on past surveys, master plan documents, public input and staff input. Next step will be a public meeting to invite feedback from public. Tentative date will be At the September 20 Study Session. We will also have a separate public engagement session with panel of key stakeholders that day.

**Parks Maintenance**

- Soccer prep
- Removing invasive trees/shrubs growing in spruce/pine trees at 13 Acres, Brent Johnson Park and Bridle Leash Park

- Replacing broken light at Barber Bathroom
- Repairing leaky floor sink at Barber Park
- More spraying this week with focus on infields and fence lines
- Cleaned up from festival
- Trash run / park restrooms cleaning weekly

**DEPARTMENT HEAD APPROVAL:**



**VILLAGE ADMINISTRATOR:**



## TRANSPORTATION DEPARTMENT AUGUST 2022 REPORT



- Mowed all parks and Village facilities as assigned.
- Checked / emptied trash cans on Main Street as needed.
- Finished paving and seal coat.
- Placing rock / soil on shoulders and patch on driveways as needed after paving.
- Met with Dave Parsons, Patrick and Sean to discuss fence locations for the Music Festival.
- Rented a brush mower for the skid steer and cut brush in the lots adjacent to the alley on Main Street and along Crowley Road.
- Festival Prep
  - Mowed some IDOT ROW along Oak Street since they had not mowed in a while.
  - Started setting up fencing. Need to wait on the stage and other chain link fence to finish.
  - Staging concrete blocks at the old Community Building lot.
  - Performed weed abatement on Main Street.
  - Erected fencing at various times throughout the week as needed
  - Blew off sidewalks and swept Main Street
  - Weeded sidewalks, flower beds, etc. as needed
  - Notched underground electrical boxes for wires to come out and lids lay flat
  - Set concrete blocks for the tent and on Jefferson Street
  - Removed catch basin beehive grated and placed temporary flat plates
  - Picked up lights to borrow from Cross Construction
  - String trimmed a few places around the general Festival area as needed
  - Set out barricades for both the festival and parade
  - Traffic control for the parade
  - Crew scheduled to work at different times Saturday to operate our forklift
  - Removed out trash cans from Main Street
  - Placed road pack on the shoulder of Jefferson Street at a couple locations.
  - General clean-up
  - Many other duties as needed and assigned
- Festival clean-up. Everything above...only in reverse.

- Assisting P&R with hauling playground mulch (scheduled for Friday).
- Had truck 205 serviced.
- Hauled the remaining pug back to the PW Facility from the Township.
- Ran area's 2 and 4 for any major issues. Called in locates for a couple of signpost replacements in area 2.
- Rented a cold planer and scheduled to grind bumps on South Mahomet Road and butt joints on Jefferson Street dead end (paving) on Friday.

**MAHOMET POLICE DEPARTMENT  
MONTHLY REPORT SUMMARY  
2022**



	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD
METCAD Calls	294	245	316	261	319	331	370	399					
2021	291	325	337	338	380	361	432	413	339	457	384	280	4337
													<b>YTD</b>
Reports	39	40	49	48	61	61	59	70					
2021	61	50	66	59	56	62	40	59	60	62	60	45	680
													<b>YTD</b>
Criminal Arrests	1	1	1	2		1	1	2					9
Traffic Arrests	1	3	3		2	2	2	2					13
Warrant Arrests			1		1	3	3	5					13
NTA's		3	2	3	3			1					12
													<b>YTD</b>
Citations	34	38	32	22	26	34	38	42					266
Civil Citations													0
Written Warnings	104	42	73	65	67	65	110	106					632
													<b>YTD</b>
Regular Hours	1126.5	1724.5	1711.5	2296	1750.5	1717.75	1638.5	1725.5					13690.75
Overtime Hours	47.75	12.5	9.75	43.75	75.5	26	68	85.25					368.5
Personal Hours	16	8				16	32	16					88
Vacation Hours	215		69	109	124	72	120	107					816
Sick Hours	70		8	40	36.5	26	6	11.5					161.5
Holiday Hours	148	71		68		64	48						463
FTO						121.8	80	69.75					271.55
Comp Time Earned	29.25	50.75	94.75	187.5	73.25	67	53.25	103.5					659.25
Comp Time Used	8	94.5	67.5	110	39.25	71.75	64.5	77.25					532.75
<b>TOTAL</b>	<b>1660.5</b>	<b>1961.25</b>	<b>1960.5</b>	<b>2854.25</b>	<b>2099</b>	<b>2182.3</b>	<b>2110.25</b>	<b>2195.75</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>17023.8</b>
													<b>YTD</b>
Training Hours	64	56	60	60	58	156	58	20					532
Patrol Miles Driven	7886	6872	8554	6960	8681	7452	7920.9	8306.6					62632.5
Burning Complaints	1		2		1	1	1	1					7
ESDA Events													0
Animal Calls	11	6	10	8	10	12	2	6					65

\*January C-19 hours =104+132.5  
W/O C-19 = 28



## Engineer's Monthly Report August 2022

- South Mahomet Rd:
  - Feutz has poured almost half of the concrete pavement for SMR. Are working south of the tracks: removed existing pavement east of Littlefield, earthwork, preparing to lime stabilize the roadway base soils.
  - REMCO, the electrical sub, installed the electric conduit, that is under the proposed pavement, for roundabout street lighting.
- South Mahomet Road Phase 2 design kickoff meeting with Hanson for roadway continuation from Churchill to Prairieview.
- MFT: project is complete.
- Concrete Maintenance Projects: Feutz has completed the sidewalk, sidewalk ramp replacements, and most patching. Working on Tin Cup Sidewalk installation.
- Reviewed Engineer's Qualifications submittals. We received 12.
- Worked with IDOT and CS&L on some pedestrian pushbutton improvements (one replacement) in response to citizens' concerns.
- Meetings regarding Downtown project and nailing down the scope. We will be meeting soon to short list some engineering firms for that project design.
- Reviewed and marked up plans for Thornewood LSRD Phase 2 (the last phase of Thornewood) and for a development at 203 and 205 E Oak Street.
- Discussions with Eric to plan next year's maintenance work and come up with a sewer lining list for Jason.
- Dealing with Riverbluff Ct issues.
- Site visit with Villas developer.
- Met with DQ owners.
- Took 2 impromptu vacation days.



MEMORANDUM  
TO THE  
BOARD OF TRUSTEES

<b>ITEM:</b> Monthly Report.	<b>DEPARTMENT:</b> Community Development
<b>AGENDA SECTION:</b> Administrator's Report	<b>AMOUNT:</b> NA
<b>ATTACHMENTS:</b> None	<b>DATE:</b> For September 20, 2022

**SITE DEVELOPMENT PLANS:**

1. **Kimball Storage Units** – 2 buildings on Clark Street. Grade changes and fill are underway. Pads/foundation being poured for buildings. BKB Engineering is project engineer with support from Hartke Engineering.
2. **Hacienda Rebollo** – mexican restaurant east of Churchill Commons. Site plans are approved and construction has not yet commenced. Mohr and Kerr, Peoria, IL is project engineer.
3. **The Reserves at Vision South** – a residential rental community on east Patton Drive.. Plans for the eight four unit townhouse buildings are approved with stakeout verification by the developer's engineer.
4. **203/205 E Oak Street** – **UPDATE** – *Site plan is approved and the western building will be built first.* Fehr Graham is the developer's engineer. The second building will require a new permit by IDOT that include changes to the entrance
5. **110 S Lombard St** – James Hay alteration to building – conversion from house to office. Variance for setbacks granted in February. No site or building plans received. ON HOLD
6. **Solace of Mahomet** – occupancy permits granted in one building of phase 2. All building permits have been issued.

**SUBDIVISIONS:**

1. **Thornewood** – home building underway. Inspection of infrastructure and acceptance by the Village expected this fall. Outstanding item is final grading, site stabilization and placement of erosion control. Developer working on basin area in preparation for platting and turnover next year. **UPDATE:** *received construction plans for the last phase of this development – being presented to the board this month for approval.*
2. **Sangamon Fields** – Inspection of infrastructure and acceptance by the Village expected early winter or next year
3. **Hunters Ridge** – home building underway. Inspection of infrastructure and acceptance by the Village expected by year end.
4. **Bridlebrook Development Tract** – **UPDATE:** Construction is underway. Developer will pursue amendment to PUD on his own.
5. **Tin Cup Campground** – Old golf shed converted into laundry facility. Minor subdivision plat not yet recorded. Construction Plans for residential area have not yet been submitted meaning construction will not begin this year.
6. **Conway Farms 5<sup>th</sup> Subdivision** – **Roberto Dr extension** street and sidewalk work completed but some storm related repairs are pending. Lots are platted and eligible for building permits. Conway covenants are proving difficult to sell lots.
7. **Minor subdivision in process:**
  - a. Condo subdivision of 703 E. Eastwood Dr to accommodate Subway purchase of its portion – application expected but not yet received

- b. Spence/Parkhill Farms waiver request for subdivision to allow transfer of 9+ acres to adjacent and creating a smaller parcel for the Spence home. Nothing received yet.
- c. Tin Cup Campground – plat and documents under final review. Subdivision will create a development lot and a lot for the campground.
- d. Replat of Lot 440 Conway Farm Subdivision Commercial Development into two lots

**Building Permits**

8/11/2021 - 9/14/2021										
Single Family Residential (SFR)				New Commercial			Residential Investments			
MPWD	5	SVPWD	3	Single Use	0	\$0.00	Accessory	5	\$12,850.00	
Well	0			Multi Use	0	\$0.00	Additions	0	\$0.00	
Detached	8	Zerolot	0	Total Reported		\$0.00	Decks	0	\$0.00	
<b>Total SFR Permits</b>			<b>8</b>	<b>Existing Commercial</b>			Fence	3	\$26,884.00	
Total Reported Value SFR			\$3,067,459.00	Fit Outs	0	\$0.00	Pool	2	\$95,000.00	
<b>Multi-Family</b>				Change of Use	0	\$0.00	Misc.	1	\$7,000.00	
Buildings	1	Value	\$750,000.00	Temporary	0	\$0.00	Total Reported Value		\$141,734.00	
Units	5			Signs	2	\$9,536.00	Right of Way Permits			
<b>TOTAL RESIDENTIAL CONSTRUCTION VALUE</b>			<b>\$3,817,459.00</b>	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>			<b>\$9,536.00</b>	Utilities	0	\$0.00
								<b>Jul 15 - Aug 10 Construction Permits</b>		<b>22</b>
8/11/2022 - 9/14/2022										
Single Family Residential (SFR)				New Commercial			Residential Investments			
MPWD	6	SVPWD	4	Single Use	0	\$0.00	Accessory	4	\$20,000.00	
Well	0			Multi Use	0	\$0.00	Additions	1	\$45,000.00	
Detached	8	Zerolot	2	Total Reported		\$0.00	Decks	3	\$29,589.65	
<b>Total SFR Permits</b>			<b>10</b>	<b>Existing Commercial</b>			Fence	11	\$74,202.00	
Total Reported Value SFR			\$3,898,688.00	Fit Outs	0	\$0.00	Pool	1	\$75,000.00	
<b>Multi-Family</b>				Change of Use	0	\$0.00	Misc.	9	\$94,760.00	
Buildings	0	Value	<b>\$0.00</b>	Temporary	0	\$0.00	Total Reported Value		\$338,551.65	
Units	0			Signs	0	\$0.00	Right of Way Permits			
<b>TOTAL RESIDENTIAL CONSTRUCTION VALUE</b>			<b>\$3,898,688.00</b>	<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>			<b>\$0.00</b>	Utilities	2	\$0.00
								<b>Jul 15 - Aug 10 Construction Permits</b>		<b>41</b>

Single Family Residential 2021				
MPWD	33	SVPWD	23	<b>Residential Investments</b>
Well	0			Accessory
Detached	55	Attached	0	Additions
<b>Total New Home Permits</b>			<b>55</b>	Decks
Total Reported Value	\$18,936,026.00			Fence
<b>Multi-Family Residential 2021</b>				
Buildings	6	<b>Units</b>	<b>111</b>	Pool
Total Reported Value	\$9,050,000.00			Misc.
New homes	55	Total DU		Total Reported Value
Rental units	111	<b>166</b>		\$2,729,552.21
<b>Total Permits YTD</b>	<b>298</b>			

Single Family Residential 2022				
MPWD	49	SVPWD	24	<b>Residential Investments</b>
Well	0			Accessory
Detached	55	Attached	18	Additions
<b>Total New Home Permits</b>			<b>73</b>	Decks
Total Reported Value	\$23,545,520.00			Fence
<b>Multi-Family Residential 2022</b>				
Buildings	19	<b>Units</b>	<b>46</b>	Pool
Total Reported Value	\$6,290,000.00			Misc.
New homes	73	Total DU		Total Reported Value
Rental units	46	<b>119</b>		\$2,466,466.05
<b>Total Permits YTD</b>	<b>313</b>			

2021 Commercial		
<b>New Commercial</b>		
Single Use	1	\$300,000.00
Multi Use	0	\$0.00
Total Reported	1	\$300,000.00
<b>Existing Commercial</b>		
Fit Outs	2	\$60,000.00
Change of Use	0	\$0.00
Temporary	3	\$0.00
Signs	#	\$9,536.00
<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$369,536.00</b>

2022 Commercial		
<b>New Commercial</b>		
Single Use	0	\$0.00
Multi Use	0	\$0.00
Total Reported	0	\$0.00
<b>Existing Commercial</b>		
Fit Outs	1	\$175,000.00
Change of Use	0	\$0.00
Temporary	0	\$0.00
Signs	7	\$0.00
<b>TOTAL COMMERCIAL CONSTRUCTION VALUE</b>		<b>\$175,000.00</b>

<b>DEPARTMENT HEAD APPROVAL:</b> /s/ Kelly Pfeifer /s/ Ken Buchanan	<b>VILLAGE ADMINISTRATOR:</b> /s/ Patrick Brown
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SEPTEMBER 2022  
OPERATORS REPORT



WATER SYSTEMS OPERATION AND MAINTENANCE

- 1- August 2022 daily average water production 549,000 gallons/day. August 2021 daily average water production 601,000 gallons/day.
- 2- Read water meters, completed shutoffs for non-payment. Submitted monthly operations report to the EPA. Collected routine Bacti samples.
- 3- Cut out and replaced a section of two-inch schedule 80 pvc chlorine feed piping that had a joint leak.
- 4- Repaired a 6-inch water main leak on North division street.
- 5- Maintenance performed on the backhoe.
- 6- Repaired water fountain at Brooks-Warfel Park.
- 7- Cleaned the three package iron removal tanks outside the Water Plant.
- 8- Installed mulch around the planting beds at the Water Plant.

WASTEWATER SYSTEMS OPERATION AND MAINTENANCE

- 1- August 2022 daily average influent to the plant 466,000 gallons/day. August 2021 daily average influent to the plant 571,000 gallons/day.
- 2- Draining water off the sludge lagoon.
- 3- Repaired a couple of drainpipes in the existing digester.
- 4- Pulled two Return activated sludge pumps to clean out impellers.
- 5- Cleaned nozzles and adjusted brush on the Microscreen.