

AGENDA
REGULAR MEETING OF THE BOARD OF TRUSTEES OF THE VILLAGE OF FORSYTH, ILLINOIS
6:30 P.M.
TUESDAY, FEBRUARY 3, 2026
VILLAGE HALL, 301 SOUTH ROUTE 51, FORSYTH, ILLINOIS

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENTATION: BUSEY FARM REPORT

CONSENT AGENDA: Items listed under the Consent Agenda are considered to be routine in nature and will be acted upon by one motion and one vote. If separate action on any particular item is desired, the item will be removed from the Consent Agenda and will be considered separately.

1. APPROVAL OF MINUTES OF THE REGULAR MEETING OF JANUARY 20, 2026
2. APPROVAL OF WARRANTS

PUBLIC COMMENT: At this time, the public has the opportunity to express views or make comments to the Mayor and Board of Trustees on agenda items or any other Village issue. Comments must be limited to not more than three (3) minutes.

ADMINISTRATION REPORTS

1. LAW ENFORCEMENT REPORT
2. VILLAGE STAFF REPORTS

OLD BUSINESS

1. DISCUSSION AND POTENTIAL ACTION REGARDING DISC GOLF REDESIGN PROPOSAL (PUBLIC WORKS DIRECTOR DARIN FOWLER)

NEW BUSINESS

1. ORDINANCE NUMBER 2026-5 AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF A FIRST AMENDMENT TO THE REDEVELOPMENT AGREEMENT BY AND BETWEEN THE VILLAGE OF FORSYTH AND 12 C PROPERTIES, LLC SERIES 1 AND MATTHEW W. CRAWFORD (VILLAGE ADMINISTRATOR JILL APPLEBEE)
2. ORDINANCE NUMBER 2026-6 AN ORDINANCE APPROVING AND ADOPTING THE SECOND AMENDMENT TO THE COMMERCIAL REVITALIZATION TIF GRANT PROGRAM FOR THE FORSYTH TAX INCREMENT FINANCING DISTRICT (VILLAGE ADMINISTRATOR JILL APPLEBEE)
3. ORDINANCE NUMBER 2026-7 AN ORDINANCE ADDING TERRITORY TO ENTERPRISE ZONE AND APPROVING THE AMENDMENT OF THE ENACTING ORDINANCE AND INTERGOVERNMENTAL AGREEMENT (AMENDMENT 11) (VILLAGE ADMINISTRATOR JILL APPLEBEE)
4. DISCUSSION AND POTENTIAL ACTION REGARDING POTENTIAL TIF ASSISTANCE FOR WHISTLING PINES TOWNHOME AND COMMERCIAL DEVELOPMENT (VILLAGE ADMINISTRATOR JILL APPLEBEE)
5. DISCUSSION AND POTENTIAL ACTION REGARDING ANDREW HENDRIAN TIF GRANT REQUEST (VILLAGE ADMINISTRATOR JILL APPLEBEE)
6. DISCUSSION AND POTENTIAL ACTION REGARDING DIAMONDS & YOLK TIF GRANT REQUEST (VILLAGE ADMINISTRATOR JILL APPLEBEE)
7. DISCUSSION AND POTENTIAL ACTION REGARDING J FOUR INC. TIF GRANT REQUEST (VILLAGE ADMINISTRATOR JILL APPLEBEE)

ADJOURNMENT

Topic: February 3, 2026

Time: Feb 3, 2026 06:30 PM Central Time (US and Canada)

Join Zoom Meeting <https://us06web.zoom.us/j/81143121165> Meeting ID: 811 4312 1165

One tap mobile+13126266799,,81143121165# US (Chicago)

Busey Ag Services

Village of Forsyth Farm

2024

- Income from 2024 crops sold in 2025
 - o 85.00 Acres Corn \$32,436.16
 - o 72.10 Acres Soybeans \$76,986.38
 - \$109,422.54
- Expenses
 - o 2025 \$29,081.80
- Net \$80,546.88
 - o 2025 distribution \$90,000.00

2025 Soybeans Harvest (Income in 2026)

- 79.60 bushels per acre
- 106.00 acres

2026

- Plan to plant Corn, seed to be determined

Income figures provided are based on sales of grain harvested in the previous crop year.

Other notes

Crop production in 2025 on the Village of Forsyth Farm fell above average when looking at yields over the last few years. Higher yields in 2025 will allow for potentially better returns per acre than in previous years. However, there is uncertainty in the grain markets – soybeans specifically – because of what the export market will look like. There have been some early opportunities for taking advantage of export news, but USDA production numbers also came back higher than expected. Ongoing negotiations with trade partners continues to produce uncertainty. This causes a situation where markets do not really know how to respond. As we move forward in 2026, the outlook for commodities is uncertain with numerous wild cards in play for the year ahead.

In terms of potential farm improvement projects, the drainage issue on the southwest end of the farm that has been mentioned in the past was not an issue in 2025. I will continue to monitor that portion of the farm and assess the need to take action to avoid the loss of future production.

CONSENT AGENDA

ITEM 1

**MINUTES OF A REGULAR MEETING OF THE BOARD OF TRUSTEES
OF THE VILLAGE OF FORSYTH, ILLINOIS,
HELD AT 6:30 P.M. ON TUESDAY, JANUARY 20, 2026
AT FORSYTH VILLAGE HALL**

CALL TO ORDER

Mayor Peck called the meeting to order at 6:30 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

Upon a call of the roll, the following members were physically present: Mayor Jim Peck, Trustee Jeremy Shaw, Trustee Jeff London, Trustee Lauren Young, Trustee Chelsie Kidd, Trustee Dave Wendt

Absent: Trustee Jim Ashby (family death)

Staff Present: Village Administrator Jill Applebee, Village Clerk Cheryl Marty, Village Attorney Lisa Petrilli, Planning and Zoning Director Ryan Raleigh, Village Engineer Representative Stephanie Brown, Village Treasurer Rhonda Stewart, Village Library Director Melanie Weigel, Public Works Director Darin Fowler

Absent: Village Engineer Jeremy Buening

Others Present: Joe Vavrina

CONSENT AGENDA

1. APPROVAL OF MINUTES OF THE REGULAR MEETING OF DECEMBER 16, 2025
2. APPROVAL OF WARRANTS
3. TREASURER'S REPORT FOR THE MONTH OF DECEMBER 31, 2025

MOTION

Trustee London made a Motion to approve the Consent Agenda as presented and Trustee Kidd seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

PUBLIC COMMENT: At this time, the public has the opportunity to express views or make comments to the Mayor and Board of Trustees on agenda items or any other Village issue. Comments must be limited to not more than three (3) minutes.

None.

ADMINISTRATION REPORTS

1. Law Enforcement Report
Sheriff Deputy Armstrong had no report.
2. Village Staff Reports
Mayor Peck had no questions for the staff. Trustee Shaw inquired as to when we will see a sales tax impact from the cannabis sales. Administrator Applebee replied that it usually takes three to four months for the reporting to catch up.

OLD BUSINESS

NEW BUSINESS

1. ORDINANCE NUMBER 2026-1 AN ORDINANCE APPROVING VARIANCES OF DEVELOPMENT ORDINANCE SECTION 4.6.C RELATING TO SETBACK AND LIGHTING AT THE PROPERTY LOCATED AT 1275 N. ROUTE 51 (PLANNING AND ZONING DIRECTOR RYAN RALEIGH)

Planning and Zoning Director Raleigh explained the details of this request and referred specifically to the Chick-fil-A site plan. The Planning and Zoning Commission had unanimously approved recommendation of this variance. In response to Trustee London's inquiry, Village Attorney Petrilli explained our development ordinance is not completely clear so the variances are presented in this fashion according to the current development ordinance. The development ordinance is noted to need further review and refinement. A Board discussion followed relating to setback and lighting at the property.

MOTION

Trustee London made a Motion to approve the Ordinance as presented and Trustee Wendt seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

2. ORDINANCE NUMBER 2026-2 AN ORDINANCE APPROVING VARIANCES OF DEVELOPMENT ORDINANCE SECTION 7.4.C RELATING TO SIGNAGE FOR THE PROPERTY LOCATED AT 1275 N. ROUTE 451 (PLANNING AND ZONING DIRECTOR RYAN RALEIGH)

Planning and Zoning Director Raleigh explained the details of the signage requests. The Planning and Zoning Commission recommended approval of this with one nay vote. Starbucks is currently the tallest sign and this one will be shorter at 80 feet. A brief discussion ensued.

MOTION

Trustee Kidd made a Motion to approve the Ordinance as presented and Trustee Wendt seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

3. ORDINANCE NUMBER 2026-3 AN ORDINANCE APPROVING MINOR AMENDMENT TO PLANNED UNIT DEVELOPMENT AT A PORTION OF THE PROPERTY DESCRIBED AS HICKORY POINT MALL TAX LOT 13-2 APPLEBEE'S (PIN: 07-07-22-227-006) (PLANNING AND ZONING DIRECTOR RYAN RALEIGH)

Planning and Zoning Director Raleigh explained the amendment details of this PUD. Trustee Wendt said some residents have concern regarding potential traffic backup. Chick-fil-A representative Joe Vavrino explained that a grand opening team is assigned to each new store and all managers are trained to deal with traffic. Having duel drive-up lanes should alleviate this problem. A brief discussion was held. The Planning and Zoning Commission unanimously recommended approval of this amendment.

MOTION

Trustee Wendt made a Motion to approve the Ordinance as presented and Trustee Young seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

4. ORDINANCE NUMBER 2026-4 AN ORDINANCE APPROVING VARIANCE OF SETBACK FOR RESIDENTIAL PROPERTY AT LOT 35 PRAIRIE WINDS SUBDIVISION 3RD ADDN, FORSYTH, ILLINOIS (PLANNING AND ZONING DIRECTOR RYAN RALEIGH)

Planning and Zoning Director Raleigh explained the details of the variance request from this resident. The setback request is for 22 inches. A brief discussion was held.

MOTION

Trustee Wendt made a Motion to approve the Ordinance as presented and Trustee London seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

5. DISCUSSION AND POTENTIAL ACTION REGARDING POWER MOWER PURCHASE (PUBLIC WORKS DIRECTOR DARIN FOWLER)

Public Works Director Fowler explained the need for this purchase. The current old machine no longer performs as needed without having expensive repairs. He explained the mower's special functions along with the safety features it offers. The cost is \$93,778.36 which is under the budgeted amount of \$99,000. A brief discussion was held.

MOTION

Trustee Young made a Motion to approve the power mower purchase as presented and Trustee London seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 5 – Wendt, Shaw, London, Kidd, Young
Nays: 0 – None
Absent: 1 – Ashby

Motion declared carried.

6. DISCUSSION AND POTENTIAL ACTION REGARDING LIBRARY SIDING CHANGE ORDERS (PLANNING AND ZONING DIRECTOR RYAN RALEIGH)

Planning and Zoning Director Raleigh explained the details of the requested change orders for the library siding. These changes include replacements of drip edge on 10 gables, brake metal on top of brick areas, drip edge on eaves, and installation of new vinyl tile flooring in the kitchen area. The total cost of these four change orders is \$22,894.00 and is still under budget. A short discussion followed.

MOTION

Trustee Kidd made a Motion to approve the change order as presented and Trustee Wendt seconded the Motion.

Upon a call of the roll, the vote was as follows:

Yeas: 4 – Wendt, London, Kidd, Young
Nays: 1 – Shaw
Absent: 1 – Ashby

Motion declared carried.

ADJOURNMENT

Trustee Wendt made the Motion to adjourn and Trustee London seconded the Motion. All Board members agreed by voice vote, and the meeting was adjourned at 7:15 p.m.

By: *Cheryl Marty*
Village Clerk

Village of Forsyth
Board Meeting Minutes
January 20, 2026

CONSENT AGENDA

ITEM 2

DATE: 12/31/25

wednesday December 31,2025

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PAYABLE TO INV NO	G/L NUMBER	DESCRIPTION	AMOUNT	DISTR
01 AGGRESSIVE DEVELOPMENTS OF 123125	18-00-928	'25 TIF REIMBURSEMENT	10571.10	10571.10
01 AMAZON CAPITAL SERVICES 123125-2	01-53-671	BOOKS	183.81	183.81
01 CHASTAIN & ASSOCIATES, LLC 123125-2	01-11-532	'25 ADMIN ADVISORY	22241.89	1305.40
123125-2	01-11-532	SITE PLAN CHICK-FILA		505.60
123125-2	01-11-532	PW SECOND ADDITION		2148.84
123125-2	01-52-532	'25 PARK ADVISORY		2106.01
123125-2	30-00-835	M/F GRADE SCHOOL BIKE PATH		6341.93
123125-2	30-00-898	PW N/S ROAD OF CH 20		1868.80
123125-2	30-00-882	'25 ROAD MAINT		746.29
123125-2	30-00-810-8	WTR TWRS GRD STORAGE AERATOR		875.04
123125-2	15-00-864-2	MOON STREET SIDEWALKS		6046.38
123125-2	15-00-874-2	BARNETT AVE IMPROVEMENTS		297.60
01 DECATUR PUBLIC TRANSIT SYSTEM 13156	01-10-913	'25 BUS SERVICE FEES	13653.86	13653.86
01 DYNAGRAPHICS, INC 262112	01-10-917	RUDOLPH MARKET YARD SIGNS	447.77	447.77
01 HICKORY POINT BANK 123125	18-00-928	'25 TIF REIMBURSEMENT	10426.31	10426.31
01 JACOB & KLEIN, LTD. 123125	18-00-549	4TH QTR TIF FEES	1501.10	1501.10
01 MAROA-FORSYTH CUSD # 2 123125	18-00-999-7	'25 TIF REIMBURSEMENT	141205.84	141205.84
01 NAPA AUTO PARTS 153362	01-41-612	EQUIP MAINT	104.98	24.99
153440	01-41-612	EQUIP MAINT		79.99
01 PRAIRIE COMPUTER NETWORK SOLUT 1666	01-53-549	SET UP COMPUTER	2689.99	600.00
1667	01-53-549	COMPUTER & MONITOR		2089.99
01 SORLING, NORTHRUP, HANNA, CULL 235005	01-11-533	DEC '25 LEGAL SERVICE	5187.50	5187.50
01 IMPERIAL DADE 39877235	01-41-616	ICE MELT/SNOW REMOVAL	1335.00	672.50
39911904	01-41-616	ICE MELT/SNOW REMOVAL		662.50
01 SULLIVAN CONTRACTORS 123125-04	30-00-898	FORSYTH ACCESS ROAD OFF CH 20	330866.85	330866.85
01 SUPPLE 5718B	01-53-651-3	SHELVING	5965.00	4990.00
5719B	01-53-651-3	SHIPPING ON SHELVING		975.00
01 THE ECONOMIC DEVELOPMENT GROUP 123125	18-00-549	4TH QTR TIF FEES	8774.63	8774.63
** TOTAL CHECKS TO BE ISSUED			555155.63	

SYS DATE:01/30/26

VILLAGE OF FORSYTH
A / P W A R R A N T L I S T
REGISTER # 80
wednesday December 31,2025

SYS TIME:08:31
[NW1]

DATE: 12/31/25

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FUND INV NO	G/L NUMBER	DESCRIPTION	AMOUNT	DISTR
GENERAL FUND			35633.76	
MOTOR FUEL TAX FUND			6343.98	
TIF DISTRICT FUND			172478.98	
CAPITAL PROJECT FUND			340698.91	
*** GRAND TOTAL ***			555155.63	
TOTAL FOR REGULAR CHECKS:			555,155.63	

DATE: 02/03/26

Tuesday February 03,2026

PAGE 1

PAYABLE TO INV NO	G/L NUMBER	DESCRIPTION	AMOUNT	DISTR
=====				
01 AMAZON CAPITAL SERVICES			531.47	
013026	01-53-651	OFFICE SUPPLIES		105.78
013026	01-53-671	BOOKS		152.27
013026	01-53-913	PROGRAMMING		235.84
013026	01-53-659	LIBRARY SUPPLIES		37.58
01 DEMCO, INC			292.25	
7751688	01-53-659	LIBRARY SUPPLIES		175.10
7752291	01-53-659	LIBRARY SUPPLIES		117.15
01 DRAKE-SCRUGGS EQUIPMENT INC.			915.12	
0019714	01-41-612	EQUIP MAINT V-PLOW		915.12
01 FUN-TO-GO LLC			973.00	
56957549	01-53-913	PROGRAMMING		973.00
01 CENGAGE LEARNING INC/GALE			326.89	
999101911621	01-53-671	BOOKS		104.21
999101971972	01-53-671	BOOKS		20.99
999102094420	01-53-671	BOOKS		49.48
999102139443	01-53-671	BOOKS		62.97
999102146156	01-53-671	BOOKS		89.24
01 JAY KAN, INC			4954.00	
9713	16-00-893-1	FENCE PRIVACY DECORATIVE SLATS		4954.00
01 HOBBY LOBBY STORES, INC.			23.78	
013026	01-53-912	LIBRARY ACCESSORIES		15.99
013026	01-53-651	OFFICE SUPPLIES		7.79
01 INDELCO PLASTICS CORPORATION			63.76	
500586229	51-00-612	FUEL LINE REPAIR		63.76
01 LOWE'S COMPANIES, INC.			21.88	
013026	01-52-652	OP SUPPLIES		21.88
01 MENARDS			515.80	
013026	01-52-652	OP SUPPLIES		75.60
013026	01-53-611	BLDG MAINT SUPPLIES		48.39
013026	01-52-655	FUEL		38.32
013026	51-00-652	OP SUPPLIES		199.89
013026	01-11-611	BLDG MAINT SUPPLIES		39.84
013026	01-41-613	VEHICLE MAINT SUPPLIES		70.91
013026	01-41-652	OP SUPPLIES		17.86
013026	01-52-652	OP SUPPLIES		24.99
01 FORSYTH UNITED METHODIST CHURC			1000.00	
013026	01-52-929	'26 PARKING LOT AGREEMENT		1000.00
01 MORGAN DISTRIBUTING, INC.			2260.67	
INV-121091	01-41-655	FUEL		788.32
INV-121091	01-52-655	FUEL		1084.82
INV-121228	51-00-612	WELL PUMP EQUIP MAINT		387.53
01 COMPASS MINERALS AMERICA			5130.26	
1601676	01-41-616	SALT FOR ROADS		5130.26
01 NAPA AUTO PARTS			47.98	
156185	01-41-613	VEHICLE MAINT		47.98

DATE: 02/03/26

Tuesday February 03,2026

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PAYABLE TO INV NO	G/L NUMBER	DESCRIPTION	AMOUNT	DISTR
01 QUADIENT, INC 62551749	01-11-512	RENTAL POSTAGE MACHINE 2-13/5-12-26	60.00	60.00
01 AMANDA LOCKE 013026	01-11-929-1	REFUND FOR COMM ROOM 2-6-26	100.00	100.00
01 AT & T 013026	52-00-552	783 STVNS CRK JAN '26 CELL PHONE	876.09	218.00
013026	52-00-552	101 HUNDLEY JAN '26 CELL PHONE		217.99
013026	52-00-552	440 HUNDLEY JAN '26 CELL PHONE		217.99
013026	52-00-552	815 FORSYTH PKWY JAN '26 CELL PHONE		222.11
01 THIRD MILLENNIUM ASSOCIATES, I 33869	51-00-549-1	W/S BILLING SERVICES FOR 2-1 BILLS	446.51	223.25
33869	52-00-549-1	W/S BILLING SERVICES FOR 2-1 BILLS		223.26
01 UTILITY SUPPLY OF AMERICA, INC INV00943754	51-00-656	LAB CHEMICALS	2138.67	2138.67
01 US POSTAL SERVICE (CAPS) 013026	51-00-549-1	POSTAGE FOR 2-1 W/S BILLS	795.31	397.65
013026	52-00-549-1	POSTAGE FOR 2-1 W/S BILLS		397.66
01 VILL OF FORSYTH 013026	01-11-571	W/S SERVICES 12-20-25 TO 1-20-26	150.00	150.00
01 WATER SOLUTIONS UNLIMITED, INC 7313218	51-00-656	CHEMICALS	895.66	895.66
01 WILLIAM RUSSELL STUART 013026	01-11-547	1260 US 51 ELECTRIC INSPECTION	180.00	60.00
013026-1	01-11-547	393 W WEAVER ELECTRIC INSPECTION		60.00
013026-1	01-11-547	131 SHADOW RIDG ELECTRIC INSPECTION		60.00
** TOTAL CHECKS TO BE ISSUED			22699.10	

SYS DATE:01/30/26

VILLAGE OF FORSYTH
A / P W A R R A N T L I S T
REGISTER # 81
Tuesday February 03,2026

SYS TIME:09:02
[NW1]

DATE: 02/03/26

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FUND INV NO	G/L NUMBER	DESCRIPTION	AMOUNT	DISTR
GENERAL FUND			11941.68	
HOTEL/MOTEL TAX FUND			4954.00	
WATER OPERATIONS			4306.41	
SEWER OPERATIONS			1497.01	
*** GRAND TOTAL ***			22699.10	
TOTAL FOR REGULAR CHECKS:			22,699.10	

ADMINISTRATION REPORTS

ENGINEER'S REPORT

Forsyth: February 3, 2026 Board Meeting

Submitted by Jeremy Buening, P.E., S.E.

CHASTAIN
CONSULTING ENGINEERS

Project 6928 – Maroa-Forsyth Grade School Bike Path

This project consists of the construction of a new bike path from the end of the existing bike path at the intersection of Cox St at Smith St to the east entrance to the Maroa-Forsyth Grade School. The construction of this project is funded through IDOT's ITEP program so federal procedures must be followed.

All construction is complete and the final walk-through was completed on October 14th, 2025. The only punch list item identified was for the germination of the grass seed. Once that occurs, the project will officially be closed out.

Project 8595 – Barnett Ave Improvements

This project consists of the rehabilitation and/or reconstructing Barnett Ave from the mall entrance to Koester Drive. The construction of this project is being funded by DUATS federal funds so federal procedures must be followed. Appraisers are finishing up their work so we can complete the design and move into the bidding phase.

Project 8700 – Water Towers, Ground Storage Tank, & Aerator Maintenance

This project consists of painting and general repairs on the two water towers, the ground storage tank at the water treatment plant, and the aerator standpipe at the water treatment plant.

The kickoff meeting was held on Tuesday, December 2, 2025. The contractor, Dynamic Industrial Services Inc. is anticipating the following construction schedule: North Tower in May, South Tower in August, and the Ground Storage Tank and the Aeration Standpipe in November. A contract for engineering construction services will be forthcoming in early spring.

Project 9177.02 – Prairie Winds Access Road and Utility Construction

Signed contracts have been received and the Notice to Proceed has been issued. Roadway curb and gutter and pavement installations are complete. Earthwork is complete. Pavement striping and signage are on hold until the weather hits an appropriate temperature.

Project 9294 – Moon Street Improvements

This project completes the Phase II design for the Moon Street sidewalk improvements. The proposed improvements include replacing existing sidewalks and install new sidewalks. Sidewalks interconnect with each other as well as neighboring schools and library. Improvements also include driveway replacement, drainage structure adjustment and installation, curb and gutter replacement, grading, storm sewer installation, and parkway restoration.

Chastain has been completing additional design and compiling project plans. The Environmental Survey Report has been submitted to IDOT for review.

Public Works Report 1-27-26

Village:

- * We maintained the Village Hall (daily cleaning service, etc...), the Library (daily cleaning service, etc...), and other property / easements throughout the Village.
- * We worked on locates, permits, ordinances, inspections, and concerns in relation to residents, existing and possible new businesses.
- * Snow removal.

Village to do list:

- * Need to repair storm grates / sink holes throughout the Village.

Village Priorities for the upcoming months:

Street repairs (crack/pothole repairs), sidewalks, new businesses / sub-d reviews, stump removals.

Parks:

- * General park cleanup.
- * Working with Declan Stewart (Eagle Scout Project) on new trail exercise equipment installation.
- * Working with Herman Bros Fisheries for a plan to stock Forsyth Nature Park Pond, and Veterans Pond (if needed). New donated (Michael Daugherty) fish habitats placed in ponds.

Parks to do list:

- * HS ball season starts in February, with games starting Mid-March.
- * Have punch list to complete on fields before opening day.
- * Veterans Pond aerator is sinking again (failed plug or bad base (crack)). May need to order new (but expensive and not budgeted).

Park Priorities for the upcoming months:

Field 3 fence / dugouts, Fields 1,2 fence slats, docks, trail lighting.

Water Treatment Plant / Sewer:

- * Continued with meeting monthly / annual Illinois EPA sampling, analysis requirements and reporting.
- * Still working on Water Treatment Plant restoration following August '25 lightning strike (VFD's quote obtained – working with insurance, North Tower/Well 3/Stevens Creek LS SIM cards sent to Second Sight – establish cellular communications).
- * Annual #2 ClariCone maintenance under way.
- * Illinois EPA lead/copper sampling reduction request needs drafted and sent out.
- * Working with Layne to schedule preventive maintenance and well capacity testing out at Wells 3,4,5,6.

Water / Sewer priorities and to do list is:

- * Plant Chemical scale replacements, filtered water pump changeout/PM/spare, north and south Tower maintenance (contracted out, to begin in March (hopefully)).

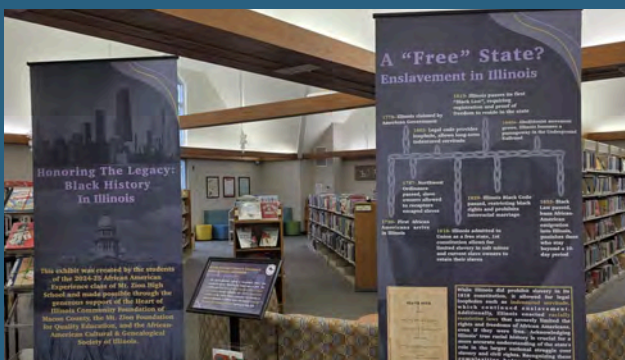
Thanks, Darin Fowler – Public Works

LIBRARY UPDATES:

- Four classes of 5th grade students from MFGS recently visited the library as part of their Living Museum project. Students took a tour of the library, checked out books on their biography subjects and took time to examine the Honoring the Legacy: Black History in Illinois display. Library staff will continue to work with students on using online resources like our databases to search for additional information as they prepare for their Museum Day in early March.
- Due to inclement weather, the Toy Swap was rescheduled for Saturday, January 31. Over 15 families chose to participate in the swap and we're excited to offer this opportunity in the future.
- We continue to partner with the Maroa Public Library to host a Winter Reading Challenge for students at MFGS and MFMS. This challenge continues into mid-February. Students will read to complete the bingo board activities and then turn in their form to earn a chance at a prize basket. We are thankful for the willingness of school staff to support this project.
- The Feed the Need Food Pantry shelf continues to be used regularly. We will hold a canned food drive at our February Bingo at the Library event to help support its continued use.
- The Library's annual Used Book Sale took place January 26-31. Proceeds help fund future library programs and events.
- Looking ahead to February, Community Watch returns on February 3 while the U of I will be hosting a Floriography program on February 5. Other adult activities include a "What's in My Food?" watch party and Bingo at the Library on February 10, Food for Thought Book Club on February 12 and the continuation of Chair Yoga with Annette via Zoom every Monday and Wednesday.
- FPL is hosting its annual Valentine's for Vets program, where community members can make Valentine's cards for our veterans. FPL will distribute them to the Danville VA to be shared with the veterans they serve. Other Valentine's Day activities include a "Make Your Valentine's Box" drop-in on February 5.
- Kids are invited to watch the live action Lilo and Stitch while enjoying popcorn and drinks at our Kids' Movie event on February 13.
- Upcoming Saturday drop-ins include a Create Your Own Photo Tile drop-in on February 14 and Board Games at the Library on February 21.

*Melanie Weigel,
Director*

HONORING THE LEGACY



Feedback from a Forsyth Community Member on the Display

"This exhibit is superb. Some panels are deeply painful; some are genuinely inspiring; some taught me pieces of Illinois history I hadn't known. The African American class at Mt. Zion HS and its supporters did a brilliant job of this."

OLD BUSINESS

ITEM 1

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Darin Fowler, Public Works Director
Date: February 3, 2026
Subject: LedgeStone Disc Golf – Village Park Course Redesign Proposal & Timing Considerations

Purpose

This memo provides an overview of the Disc Golf Course Design Proposal prepared by LedgeStone Disc Golf for Village Park and highlights the critical timing associated with this project in order to meet the proposed June 2026 Grand Opening and align with the Forsyth Open and regional disc golf schedule.

Project Overview

Following a site visit and review of the existing course, LedgeStone has proposed a comprehensive redesign that would result in:

- Two distinct 18-hole courses beginning near the same parking area:
 - o A recreational / beginner-friendly course using portions of the existing layout and wooded areas near Hole 1
 - o A new advanced-level course built around the pond and open areas to the north and west
- Significant improvements to course flow, safety, and playability
- Creation of a layout that would make Village Park a statewide destination for disc golfers of all skill levels

The design leverages existing wooded areas, open fields, and park features while minimizing tree removal and enhancing landscaping.

The course maps in Appendix A (pages 6–8) show how the redesigned recreational course remains near the baseball diamonds and wooded creek area, while the advanced course expands toward the pond and open green space.

Key Design Elements

Recreational Course (Redesign of Current Layout)

- Uses first nine holes of current course and expands into wooded area
- Improves scoring, flow, and variety
- Adds new wooded holes while maintaining current park compatibility

Advanced Course (New Layout)

- Incorporates holes 10–17 of current course with significant redesign
- Adds new holes in open field areas
- Includes landscaped mounds, tree plantings, and a signature elevated green modeled after international championship courses

These features are specifically designed to elevate Forsyth’s reputation as a premier disc golf destination.

Budget & Installation Impacts

To accomplish this redesign, the proposal identifies:

- 31 new tee pad locations required across both courses
- Reuse of many of the 19 existing tee pads
- Tree trimming/clearing, mound creation, and tree planting
- New signage, baskets, and course wayfinding

Much of the work would be completed by Village staff with guidance from LedgeStone.

Critical Timeline

LedgeStone's proposed timeline is very specific and time-sensitive:

Design Phase (Nov 2025 – Jan 2026)

- ✓ Site visit completed
- ✓ Initial design work completed
- ✓ Final review with Village staff in January

Installation Phase (January – May 2026)

- January: Staff marking locations on site
- January–March: Tree trimming, mowing, clearing (Village)
- March: Site verification visit
- March–May: Installation of tee pads, baskets, signage
- March–May: Tree planting and landscaping

Grand Opening: June 2026

This schedule is designed to ensure the course is fully operational for the **2026 Forsyth Open** and summer disc golf tourism season.

Why Timing Matters

For this project to be successful:

- Staff must begin marking, clearing, and prep work immediately
- Tee pad and basket installation must occur early spring
- Landscaping and tree planting must be done in the proper planting window
- Delays beyond February/March would jeopardize the June opening and impact the ability to utilize the course for the Forsyth Open and peak tourism season

This is not a project that can be delayed into late spring without affecting the overall outcome and opportunity.

Recommendation

Staff recommends Board discussion and direction on proceeding with the LedgeStone design plan as presented so that installation work can begin within the required timeframe to meet the June 2026 completion target.

This proposal represents a significant opportunity to elevate Village Park as a regional disc golf destination, but the window to execute this plan is limited.

Suggested Motion

I move to authorize staff to proceed with the LedgeStone Disc Golf Course redesign project at Village Park as presented, including site preparation, tee pad and basket installation, landscaping, and signage, in order to meet the proposed June 2026 completion timeline, with project costs to be not to exceed budgeted amount of \$80,000.



Disc Golf Course Design at Village Park

Design Overview

Results of Initial Site Visit and Design Analysis

Our initial goals for this project were to:

1. Add a new, beginner-friendly course in the new land made available by the Village.
2. Update the existing course to improve the overall design and ensure that it continues to be a desirable destination for players from around the state.
3. Start both courses in the same general area to enable all disc golfers to park in the same lot, regardless of which course they are playing.

After a detailed review of the new land and analysis of tournament statistics, safety and flow of the current course, we realized that a new approach was necessary to achieve our shared goals.

Overview of Proposed Design

Our proposed design will create two unique 18-hole disc golf courses in Village Park, both starting near Hole 1 of the current course:

- A new layout of the current course, targeted for recreational players, using the area that contains the first nine holes of the current course and expanding into the wooded area adjacent to the fairway of current Hole 1.
- An advanced course, with challenges more appropriate for experienced players and featuring design elements that would be totally unique in Illinois. These 18 new holes will be located around the pond and expand into the fields to the north and west of the existing course.

This design strategy will provide players of every skill level the opportunity to enjoy disc golf at Village Park and will make Village Park a destination for disc golfers around the state, spurring year-round tourism for players who want to come play disc golf for an entire weekend in the area.

This [Google Map](#) provides course layouts for each of these new designs. Course maps for each course and additional design details are available in Appendix A.

Individual Course Design Details

1. Redesign of Current Course (Recreational Level)

The redesign of the current course uses the area that contains the first nine holes of the current course and expands into the wooded area adjacent to the fairway of current Hole 1. Some key design elements:

- Improving the overall flow and individual hole designs to leverage modern course design concepts, improving both scoring and enjoyment of the course.
- Using additional areas adjacent to the baseball diamonds and tennis courts.
- Three new holes would be cut into the wooded area west of the current fairway of Hole 1 to add variety and challenge to the layout. These holes would add a new element of difficulty to the course and will quickly become favorites of all who play the course. We would collaborate with Village staff to minimize the amount of tree removal to create these holes and ensure that this area can be maintained throughout the year.

2. New Advanced Level Course

The new advanced level course would begin on Hole 10 of the current course, a short walk from the main parking lot, and would play in the more open areas around the pond and extend into the new open areas northwest of the current course. Some key design elements:

- The existing holes in this area (holes 10-17 of the current course) would be redesigned to improve course flow, adjust their difficulty and flow better with new holes in this area.

- Two new holes would be cut into the wooded area southwest of the pond to add variety to the layout. We would collaborate with Village staff to minimize the amount of tree removal to create these holes and ensure that this area can be maintained throughout the year.
- Six new holes would be created in the large open area northwest of the current course. Because this land is mostly open, with very few trees and other natural obstacles necessary to create a disc golf course, we hope to leverage new tree plantings and landscaping features to improve the quality of the holes in this area.
 - We'd like to create several mounds of varying sizes throughout this area to increase the challenge of the holes and to make this area look more like a traditional golf course.
 - For one hole, we'd like to create a large mound for the green, similar to the world-famous green in Tampere, Finland (featured in the 2025 World Championships):



- We'd like to plant as many new trees in this area as possible to increase the difficulty of these holes and to provide shade in the warmer months.
- These mounds and tree plantings are represented in our design maps (see Appendix A for additional details).

Potential Budget and Timeline Impacts

In order to realize our proposed design, some additional investments of time and resources will be necessary:

- New tee pads will need to be created for most of the holes on both courses.
 - o The redesigned recreational course uses four of the existing tees.
 - o The new advanced course uses one of the existing tees.
 - o A total of 31 new teeing areas will need to be created for both new courses.

The material costs for new tees may be mitigated by choosing to move some of the existing tees to new locations. This approach has been used successfully in other designs. The current course has 19 tees which could be reused for this purpose.

- Tree plantings for the advanced course will require some investment of time and materials. However, the number and size of trees can be adjusted to help keep the project within budget.
- The creation of mounds in the new open area of the advanced course will require investment of time and materials and may require some landscape design expertise. However, the number and size of these mounds can be adjusted to help keep the project within budget.

Despite these potential impacts, we strongly feel that this design approach is the best path forward to achieve the goals of the Village to drive more tourism to the area and to grow the Forsyth Open in the years ahead.

Updated Project Plan and Timelines

Initial Design Phase (November 2025 – January 2026):

- Site visit
- Develop initial design for new 18-hole beginner course
- Identify potential changes to existing course
- Review, revise and finalize design with Village staff (January 2026)

Installation Phase (January - May 2026):

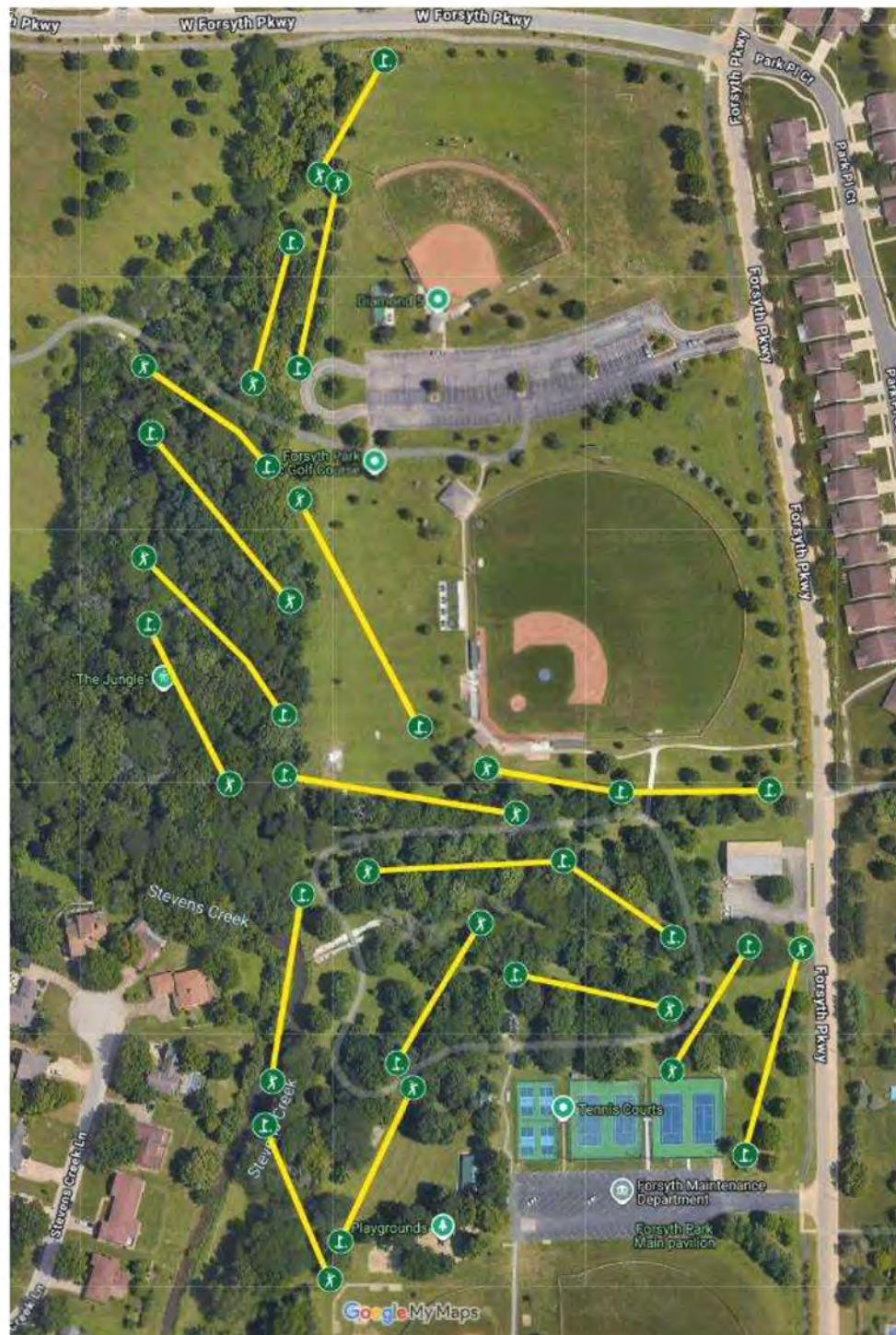
- Site visit – marking key locations with Village staff (January 2026)
- Mowing, tree trimming and clearing (January-March 2026, performed by Village)
- Site visit (March 2026)
- Verify clearing and other course prep work

- Identify placement for new tees and baskets
- Identify locations for tree planting and/or other landscaping
- Design new signage
- Installation of tee pads, baskets and signage (March-May 2026, performed by Village staff and/or contractors)
- Tree planting and landscaping (March-May 2026, performed by Village staff and/or contractors)

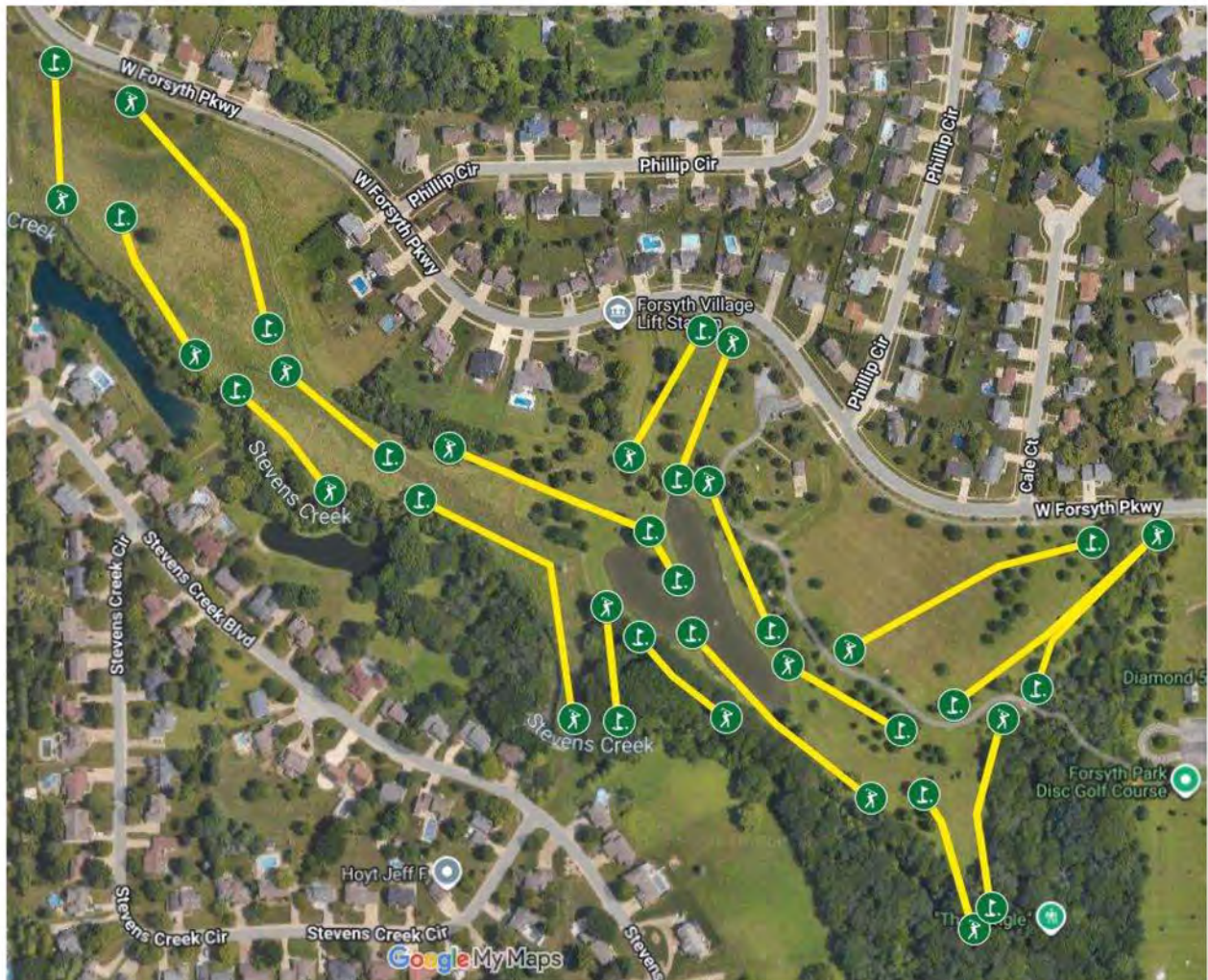
Grand Opening: June 2026

Appendix A – Course Design Maps and Resources

Course Map - Redesign of Current Course (Recreational Level)



Course Map - New Advanced Level Course



Tree Plantings and Landscaping Features for New Advanced Level Course



NEW BUSINESS

ITEM 1

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: First Amendment to Redevelopment Agreement – 12 C Properties, LLC Series 1 (RTB Fitness Center)

Purpose

This memo provides background regarding the proposed First Amendment to the Redevelopment Agreement between the Village of Forsyth and 12 C Properties, LLC Series 1 and Matthew W. Crawford for the RTB Fitness Center development located at the southwest corner of Shafer Street and Sawyer Road within the Forsyth TIF District.

Background

In August 2024, the Village entered into a Redevelopment Agreement associated with the sale of approximately 12 acres of Village-owned property for development of the RTB Fitness Center. As part of that agreement, a promissory note was issued related to the land incentive provided by the Village.

As construction planning has progressed, it became necessary to clarify the project completion timeline and align the promissory note forgiveness terms with a firm and measurable completion date.

What This Amendment Does

The First Amendment makes three important clarifications while leaving all other terms of the original agreement in place:

- Establishes a firm **project completion deadline of July 31, 2026**, with allowance for Force Majeure conditions.
- Clearly defines what constitutes **project completion**, including:
 - Completion of the commercial building and required public improvements per the approved PUD,
 - Approval by the Village building inspector, and
 - The RTB Fitness Center being open to the public.
- Updates the Promissory Note to clarify that the **\$184,684 principal and accrued interest will be forgiven** upon:
 - Project completion, or
 - July 31, 2026, whichever occurs first, provided the Developer is not in default.

This ensures the Village's land incentive is directly tied to timely delivery and operation of the project.

Recommendation

Staff recommends approval of the ordinance authorizing execution of this First Amendment.

Suggested Motion

I move to approve Ordinance No. 2026-____ authorizing the execution of the First Amendment to the Redevelopment Agreement between the Village of Forsyth and 12 C Properties, LLC Series 1 and Matthew W. Crawford.

ORDINANCE NO. 2026 - 5

**VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS
FORSYTH TAX INCREMENT FINANCING (TIF) DISTRICT**

**AN ORDINANCE APPROVING AND AUTHORIZING
THE EXECUTION OF A FIRST AMENDMENT TO THE
REDEVELOPMENT AGREEMENT**

by and between

THE VILLAGE OF FORSYTH

and

12 C PROPERTIES, LLC SERIES 1

and

MATTHEW W. CRAWFORD

**ADOPTED BY THE CORPORATE AUTHORITIES
OF THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS,
ON THE 3RD DAY OF FEBRUARY, 2026.**

**PUBLISHED IN PAMPHLET FORM BY AUTHORITY OF THE BOARD OF TRUSTEES OF
THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS,
THIS 3RD DAY OF FEBRUARY, 2026.**

**ORDINANCE NO. 2026 - 5
VILLAGE OF FORSYTH, ILLINOIS
FORSYTH TAX INCREMENT FINANCING (TIF) DISTRICT
AN ORDINANCE APPROVING AND AUTHORIZING
THE EXECUTION OF A FIRST AMENDMENT
REDEVELOPMENT AGREEMENT**

**by and between
THE VILLAGE OF FORSYTH
and
12 C PROPERTIES, LLC SERIES 1 and MATTHEW W. CRAWFORD**

**BE IT ORDAINED BY THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS
THAT:**

1. The First Amendment to the Redevelopment Agreement attached hereto as *Exhibit A* by and between the Village of Forsyth, Macon County, Illinois, an Illinois Municipal Corporation (the "Village") and 12 C Properties, LLC Series 1, an Illinois Limited Liability Company, and Matthew W. Crawford is hereby approved.
2. The Mayor is hereby authorized and directed to enter into and execute on behalf of the Village said First Amendment to the Redevelopment Agreement and the Village Clerk of the Village of Forsyth is hereby authorized and directed to attest such execution.
3. The First Amendment to the Redevelopment Agreement shall be effective the date of its approval on the 3rd day of February, 2026.
4. This Ordinance shall be in full force and effect from and after its passage and approval as required by law.

(The remainder of this page is intentionally blank.)

UPON MOTION by Trustee _____, seconded by Trustee _____, and **PASSED, APPROVED AND ADOPTED** by roll call vote of the Corporate Authorities of the Village of Forsyth, Macon County, Illinois, on the **3rd day of February, A.D., 2026**, and deposited and filed in the Office of the Village Clerk of said Village on that date.

PRESIDENT AND VILLAGE BOARD OF TRUSTEES	AYE VOTE	NAY VOTE	ABSTAIN/ABSENT
Jeff London			
Bob Gruenewald			
Marilyn Johnson			
David Wendt			
Jeremy Shaw			
Lauren Young			
Jim Peck, President			
TOTAL VOTES:			

APPROVED: _____
Village President

Date: _____

ATTEST: _____
Village Clerk

Date: _____

ATTACHMENT:

EXHIBIT A. FIRST AMENDMENT TO THE REDEVELOPMENT AGREEMENT BY AND BETWEEN THE VILLAGE OF FORSYTH AND 12 C PROPERTIES, LLC SERIES 1 AND MATTHEW W. CRAWFORD.

**FIRST AMENDMENT TO THE
REDEVELOPMENT AGREEMENT**

by and between

**VILLAGE OF FORSYTH
FORSYTH TIF DISTRICT**

and

12 C PROPERTIES, LLC SERIES 1 AND MATTHEW W. CRAWFORD

THIS FIRST AMENDMENT TO THE REDEVELOPMENT AGREEMENT (including *Exhibits*) is entered into this **3rd day of February, A.D., 2026**, by and between the **VILLAGE OF FORSYTH** (Village), an Illinois Municipal Corporation, Macon County, Illinois, and **12 C PROPERTIES, LLC SERIES 1**, an Illinois Limited Liability Company, and **MATTHEW W. CRAWFORD** (collectively, the “Developer”).

PREAMBLE

WHEREAS, the Village has the authority to promote the health, safety and welfare of the Village and its citizens, and to prevent the spread of blight and deterioration and inadequate public facilities, including sanitary sewer, by promoting the development of private investment in the marketability of property thereby increasing the tax base of the Village and providing employment for its citizens; and

WHEREAS, Illinois statute (65 ILCS 5/8-1-2.5) allows a municipality to appropriate and expend funds for economic development purposes, including, without limitation for commercial enterprises that are deemed necessary or desirable for the promotion of economic development within the community; and

WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4 *et seq.*, as amended (the ATIF Act@), the Village has the authority to provide incentives to owners or prospective owners of real property to acquire, redevelop, rehabilitate and/or upgrade such property by reimbursing such owner(s) for certain costs incurred in connection with the acquisition, redevelopment, rehab and/or upgrades from increases in real estate tax revenues (“Tax Increment”) resulting therefrom or from other Village revenues to the extent specified and agreed herein; and

WHEREAS, on January 2, 2018, recognizing the need to foster the development, expansion and revitalization of certain properties which are vacant, underutilized, or undeveloped, the Village adopted Tax Increment Financing under the Act, approved a Redevelopment Plan and designated a Redevelopment Area known as the **Forsyth TIF District** (hereinafter referred to as the “TIF District”); and

WHEREAS, on August 6, 2024 the Parties entered into a Redevelopment Agreement (the “Original Agreement”) for 12 acres of property that was owned by the Village and located at the southwest corner of Shafer St. and Sawyer Road, Forsyth, IL (**Part of PIN 07-07-14-200-007**, the “Property”); and

WHEREAS, based on incentives offered by the Village, the Developer has acquired the Property from the Village and is undertaking site improvements to construct a commercial building for the operation of the RTB Fitness Center business located thereon (the “Project”); and

WHEREAS, it is the intent of the Village to encourage economic development which will increase the real estate tax revenue of the Village, which increased incremental taxes will be used, in part, to finance incentives to assist redevelopment within the TIF District and other contiguous redevelopment project areas; and

WHEREAS, the Developer's proposed Project is consistent with the TIF District Redevelopment Plan and Projects for the Redevelopment Project Area as amended and further conforms to the land uses of the Village as adopted; and

WHEREAS, the Developer requested that incentives for the development be provided by the Village from incremental increases in real estate taxes of the Village generated from within the TIF District and the Village agreed to such incentives; and

WHEREAS, the Village has determined that this Project required the incentives requested as set forth herein and that said Project will, as a part of the Redevelopment Plan, promote the health, safety and welfare of the Village and its citizens by attracting private investment to prevent blight and deterioration and to generally enhance the economy of the Village; and

WHEREAS, the Village has reviewed the conditions of the Property and has reason to believe that the costs of the necessary private improvements to be incurred by the Developer in furtherance of the Project are eligible project costs under the Act and are consistent with the Redevelopment Plan as amended of the Village; and

WHEREAS, the Village is entering into this Agreement having encouraged and induced the Developer to complete the Project located on the Property; and

NOW, THEREFORE, the Parties, for good and valuable consideration, the receipt of which is acknowledged, agree to amend the terms of the Original Agreement as follows:

A. AMENDED "A. PRELIMINARY STATEMENTS"

Section A(4) of the Original Agreement shall be deleted in its entirety and replaced with the following:

4. The Developer shall complete the Project on or before **July 31, 2026**, subject to extension due to Force Majeure (defined below). The Project shall be deemed to be complete when the Developer has constructed the commercial building and all pertinent public improvements on the Property as laid out in the Plan Unit Development set forth in **Exhibit 5** attached hereto, the completed commercial building and public improvements have been deemed to meet all Village building codes and ordinances and have been approved by the Village building inspector, and the RTB Fitness Center business located on the Property is open for business to the public.

B. AMENDED "M. TIME; FORCE MAJEURE"

Section M of the Original Agreement shall be deleted in its entirety and replaced with the following:

For this Agreement, time is of the essence. The Developer shall complete the Project on or before **July 31, 2026**. However, neither the Developer nor the Village shall be deemed in default with

respect to any obligations of this Agreement on either of their part to be performed if Developer or Village fails to timely perform the same and such failure is due in whole, or in part, to any strike, lock-out, civil disorder, inability to procure materials, weather conditions, wet soil conditions, failure or interruptions of power, condemnation, riots, insurrections, war, fuel shortages, Acts of God, acts caused directly or indirectly by the Village (or Village=s agents, employees or invitees) when applicable to Developer or third parties, or any other cause beyond the reasonable control of Developer or Village.

C. AMENDED “EXHIBIT 4. PROMISSORY NOTE”

The second and third paragraphs of *Exhibit 4 (Promissory Note)* of the Original Agreement shall be deleted in its entirety and replaced with the following:

The term of this Promissory Note shall commence on the date the Parties hereto close on the Property and end on the date of completion of the project or **July 31, 2026**, whichever occurs first.

Provided that the Borrower is at all times in compliance with the Redevelopment Agreement and this Promissory Note, the full principal balance of \$184,684.00, plus any accrued interest thereon, shall be forgiven by the Lender upon completion of the Project or **July 31, 2026**, whichever occurs first. Provided that the Borrower does not Default or otherwise breach this Promissory Note or the Redevelopment Agreement, the full principal amount of this Promissory Note and any accrued interest thereon shall be forgiven upon the expiration of this Promissory Note.

D. PRIOR AGREEMENT TERMS APPLY

All terms of the Original Agreement and any Exhibits thereto shall remain in effect and apply to this First Amendment unless specifically modified by this First Amendment.

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to the Agreement to be executed by their duly authorized officers on the above date at Forsyth, Illinois.

VILLAGE OF FORSYTH, ILLINOIS, an
Illinois Municipal Corporation

BY:

President, Village of Forsyth

Date

ATTEST:

Village Clerk, Village of Forsyth

Date

12 C PROPERTIES SERIES 1, an Illinois
Limited Liability Company

BY:

Matthew W. Crawford, Member

Date

and

MATTHEW W. CRAWFORD, individually

Matthew W. Crawford

Date

NEW BUSINESS

ITEM 2

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Second Amendment to the Commercial Revitalization TIF Grant Program

Purpose

This memo provides an explanation regarding the proposed Second Amendment to the Commercial Revitalization TIF Grant Program within the Forsyth TIF District.

Background

The Commercial Revitalization TIF Grant Program was established in 2018 and amended in 2022 to encourage storefront, façade, and exterior building improvements within the TIF District. The program has been successful in promoting private investment and improving the appearance and condition of commercial properties.

Due to the increased level of redevelopment activity occurring in Forsyth, the current annual funding cap has become restrictive.

What This Amendment Does

This amendment does **not** change eligibility requirements, review procedures, or reimbursement standards. Instead, it increases the Village's ability to utilize this successful program.

Key provisions include:

- Beginning in FY2026, the Village may allocate **up to \$200,000 annually** from the TIF Fund for this program. (Currently \$50,000)
- Individual grants remain limited to:
 - o 50% of verified project costs
 - o Maximum \$25,000 per project
- All existing requirements remain in place:
 - o 50% equity match,
 - o Completion within 180 days,
 - o Staff review and Board approval.

This amendment allows the Village to respond to demand without being constrained by prior lower funding limits.

Recommendation

Staff recommends approval of the ordinance adopting this Second Amendment to the program.

Suggested Motion

I move to approve Ordinance No. 2026-____ adopting the Second Amendment to the Commercial Revitalization TIF Grant Program for the Forsyth TIF District.

ORDINANCE NO. 2026 - 6

**VILLAGE OF FORSYTH,
COUNTY OF MACON,
STATE OF ILLINOIS**

**AN ORDINANCE APPROVING AND ADOPTING THE
SECOND AMENDMENT TO THE
COMMERCIAL REVITALIZATION TIF GRANT PROGRAM**

for the

FORSYTH TAX INCREMENT FINANCING DISTRICT

**ADOPTED BY THE PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS
ON THE 3RD DAY OF FEBRUARY, 2026.**

**PUBLISHED IN PAMPHLET FORM BY AUTHORITY OF THE BOARD OF
TRUSTEES OF THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS,
THIS 3RD DAY OF FEBRUARY, 2026.**

ORDINANCE NO. 2026 - 6

AN ORDINANCE APPROVING AND ADOPTING THE SECOND AMENDMENT TO THE COMMERCIAL REVITALIZATION TIF GRANT PROGRAM FOR THE FORSYTH TAX INCREMENT FINANCING DISTRICT

PREAMBLE

WHEREAS, the statutes of the State of Illinois by the “Tax Increment Allocation Redevelopment Act,” 65 ILCS 5/11-74.4-1 *et seq.*, as amended, hereinafter referred to as the “TIF Act,” provided that municipalities may create within their corporate boundaries Tax Increment Financing Redevelopment (“TIF District”) Areas, Plans and Projects and to amend them from time to time; and

WHEREAS, on January 2, 2018 and pursuant to the TIF Act, the Village of Forsyth, Macon County, Illinois (“Village”) by its duly elected President and Board of Trustees heretofore approved a Redevelopment Plan and Projects; adopted Tax Increment Financing pursuant to the TIF Act; and designated a Redevelopment Project Area known as the Forsyth Tax Increment Financing District (“**Forsyth TIF District**”) which is currently scheduled to end with real estate tax year 2041 payable 2042; and

WHEREAS, pursuant to Illinois Statute 65 ILCS 5/8-1-2.5 the City has the authority to appropriate and expend funds for economic development purposes, including, without limitation, the making of grants to commercial enterprises that are deemed appropriate for the promotion of economic development within the municipality; and

WHEREAS, on August 20, 2018, in furtherance of the goals and objectives of the Forsyth TIF District Redevelopment Plan and Projects, the Village established the “*Commercial Revitalization TIF Grant Program*” (the “Grant Program”) to promote improvements to commercial storefronts and the sides of commercial buildings which face Village streets and are located within the Forsyth TIF District, which was amended on November 1, 2022 (the “First Amendment”); and

WHEREAS, the Village now wishes to further amend the Grant Program (the “Second Amendment”) to increase the annual allocation amount; and

WHEREAS, the City proposes to annually allocate an amount not to exceed **Two Hundred Thousand and 00/100 Dollars (\$200,000.00)** within the Forsyth TIF District Special Tax Allocation Fund each fiscal year during the remaining life of the Forsyth TIF District for the purpose of providing grants to property owners and/or business owners undertaking TIF eligible redevelopment projects as allowed under the Grant Program; and

WHEREAS, each said grant shall be limited to **Fifty Percent (50%)** of total verified costs incurred for the Project, not to exceed a maximum of **Twenty-Five Thousand and 00/100 Dollars (\$25,000.00)**; and

WHEREAS, the Grant Program as amended by the Second Amendment shall commence on the date of the approval of this Ordinance; and

WHEREAS, subject to the availability of funds, the Program shall hereby automatically renew on January 1st of each proceeding year during the remaining life of the Forsyth TIF District, including legislative extensions thereof, if any, unless amended or all Program obligations have been completed and the Program is terminated by the Forsyth Corporate Authorities on an earlier date; and

WHEREAS, pursuant to the terms of the Grant Program, all applications for benefits must be reviewed and recommended by the Village Staff prior to final approval by the Board of Trustees; and

WHEREAS, Property that includes a site for which a Program grant has been awarded must be located within the Forsyth TIF District; and;

WHEREAS, each Program Application is to be submitted to the Village within sixty (60) days prior to the applicant undertaking the project; and

WHEREAS, each Program Applicant must verify a minimum equity match of Fifty Percent (50%) of the total project costs and complete the Project within 180 days of approval of the Program Application by the Board of Trustees; and

WHEREAS, all grant awards shall be paid by the Village to the Applicant from the Forsyth TIF District Special Tax Allocation Fund as reimbursements for TIF eligible project costs which have been incurred by the Applicant and reviewed and verified by the Village pursuant to the TIF Act; and

WHEREAS, the President and Board of Trustees have determined that the First Amendment to the Grant Program will aid in the elimination of blighting conditions as set forth in this Program and is in the best interests of the citizens of the Village of Forsyth.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF FORSYTH, MACON COUNTY, ILLINOIS, THAT:

1. The "*Commercial Revitalization TIF Grant Program*" as amended by the Second Amendment is hereby approved and shall automatically renew each fiscal year on January 1st and continue for the remaining life of the Forsyth TIF District, including legislative extensions thereof, if any, or until such time funding allocated to the Program is no longer available, whichever occurs first.
2. The "*Commercial Revitalization TIF Grant Program*" description, requirements, and program application as amended by the Second Amendment are hereby approved and the Board of Trustees for the Village of Forsyth (with oversight by the Village's Special Counsel to the TIF District) are hereby authorized and directed to approve and execute on behalf of the Village said Program Applications and award grant funds relating to the "*Commercial Revitalization TIF Grant Program*" provided such

financial assistance is compliant with the statutory requirements of the Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4 *et. seq.*).

3. All grants awarded through the “*Commercial Revitalization TIF Grant Program*” shall be paid to the Applicant by the Village from the Forsyth TIF District Special Tax Allocation Fund as reimbursements to Applicants for TIF eligible project costs which have been incurred by the Applicant and reviewed and verified by the Village pursuant to the TIF Act.
4. Beginning in Fiscal Year 2026 and subject to the availability of funds, the Village of Forsyth is hereby authorized and directed to annually set aside and allocate a sum not to exceed **Two Hundred Thousand and 00/100 Dollars (\$200,000.00)** within the Forsyth TIF District Special Tax Allocation Fund for the purpose of financing grants awarded to “*Commercial Revitalization TIF Grant Program*” applicants.
5. All applications must be reviewed and recommended by the Village Community & Economic Development Coordinator, Village Administrator or other Village Staff as may be designated by the President, prior to final approval by Board of Trustees.
6. Property that includes a site for which a Program grant has been awarded must be located within the Forsyth TIF District.
7. Program Applications are to be submitted to the Village within sixty (60) days in advance of the applicant undertaking the project.
8. Each Program Applicant must verify a minimum equity match of Fifty Percent (50%) of the total project costs and complete the Project within 180 days of approval of the Program Application by the Board of Trustees.
9. All ordinances and parts of ordinances in conflict herewith are hereby repealed.
10. This Ordinance shall be in full force and effect from and after its approval and publication as required by law.

(The remainder of this page is intentionally blank.)

PASSED, APPROVED AND ADOPTED and published in pamphlet form by the Corporate Authorities of the Village of Forsyth, Illinois, on the 3rd day of February, A.D., 2026, and deposited and filed in the Office of the Village Clerk of said Village on that date.

CORPORATE AUTHORITIES	AYE VOTE	NAY VOTE	ABSTAIN/ ABSENT
Jeff London			
Bob Gruenewald			
Marilyn Johnson			
David Wendt			
Jeremy Shaw			
Lauren Young			
Jim Peck, President			
TOTAL VOTES:			

APPROVED: _____
Village President

Date: _____

ATTEST: _____
Village Clerk

Date: _____

NEW BUSINESS

ITEM 3

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Enterprise Zone Boundary Amendment- Mt. Zion Community Drive Redevelopment

Purpose

The purpose of this memo is to request Board consideration of an ordinance amending the Village's Enterprise Zone designating ordinance and intergovernmental agreement to include additional parcels into the Decatur–Macon County Enterprise Zone as approved by the Enterprise Zone Board.

This request is part of the Mt. Zion Community Drive Redevelopment project and is being processed under Enterprise Zone Application Option 2, which is intended to support regional economic competitiveness and redevelopment of areas experiencing persistent poverty.

Background

The Decatur–Macon County Enterprise Zone Board has approved a boundary amendment to include the parcels identified in Addendum A and shown on the map in Addendum B.

The Enterprise Zone has historically been an important economic development tool for the Decatur Metropolitan Statistical Area (MSA), contributing to a reduction in the estimated poverty rate from **18.7% in 2016 to 14.6% in 2023**. Economic incentives associated with Enterprise Zone designation are often a key factor in encouraging private investment in distressed or underutilized areas.

This amendment includes:

- 21 parcels identified by PIN and legal description in Addendum A
- Lots 54–74 of Mt. Zion Village East Second Addition
- A required 3-foot connector strip to legally connect the parcels to the existing Enterprise Zone boundary

What the Village is Being Asked to Do

In order for this boundary amendment to be certified by the Illinois Department of Commerce and Economic Opportunity (DCEO), each participating governmental body must amend its original Enterprise Zone ordinance or resolution to include the additional parcels.

Recommendation

Staff recommends placing this item on the next Board agenda and approving the ordinance amending the Village's Enterprise Zone designation to include the parcels identified in Addendum A for the Mt. Zion Community Drive Redevelopment project.

Suggested Motion

I move to approve the Ordinance adding territory to the Decatur–Macon County Enterprise Zone and amending the Village's Enterprise Zone designating ordinance and intergovernmental agreement to include the parcels identified in Addendum A for the Mt. Zion Community Drive Redevelopment project.

THE VILLAGE OF FORSYTH

MACON COUNTY, ILLINOIS

**ORDINANCE
NUMBER 2026-7**

**ORDINANCE ADDING TERRITORY TO ENTERPRISE ZONE AND APPROVING
THE AMENDMENT OF THE ENACTING ORDINANCE AND
INTERGOVERNMENTAL AGREEMENT (AMENDMENT 11)**

JIM PECK, Mayor
CHERYL MARTY, Village Clerk

JIM ASHBY
CHELSIE KIDD
JEFF LONDON
JEREMY SHAW
DAVID WENDT
LAUREN YOUNG

Village Trustees

Published in pamphlet form by authority of the Mayor and Board of Trustees of the Village of
Forsyth on _____, 2026

Sorling Northrup – 1 North Old State Capitol Plaza, Suite 200, Springfield, IL 62701

Ordinance No. 2026 - 7

**ORDINANCE ADDING TERRITORY TO ENTERPRISE ZONE AND APPROVING
THE AMENDMENT OF THE ENACTING ORDINANCE AND
INTERGOVERNMENTAL AGREEMENT (AMENDMENT 11)**

WHEREAS, the Village of Forsyth, Macon County, State of Illinois (“Village”), is a duly organized and existing municipality operating under and pursuant to the Illinois Municipal Code; and

WHEREAS, on December 2, 2014, the Village approved an Ordinance Establishing the Decatur Macon County Enterprise Zone and the Decatur Macon County Enterprise Zone Intergovernmental Agreement; and

WHEREAS, the Decatur Macon County Enterprise Zone was thereafter certified by the State of Illinois and created; and

WHEREAS, the Ordinance Establishing the Decatur Macon County Enterprise Zone and the Decatur Macon County Enterprise Zone Intergovernmental Agreement has been amended ten (10) times; and

WHEREAS, the corporate authorities of the Village find it is in the best interests of the Village to approve any necessary amendments to the Ordinances and documents creating the Decatur Macon County Enterprise Zone to include the territory set forth in Addendum A and shown in Addendum B with said amendment being the eleventh amendment.

NOW THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Forsyth, Macon County, Illinois, as follows:

Section 1. Recitals. The foregoing recitals shall be and are hereby incorporated into and made a part of this Ordinance as if fully set forth in this Section 1.

Section 2. Amendment to Territory of Decatur Macon County Enterprise Zone. The Village Board hereby approves an amendment to the territory of the Decatur Macon County Enterprise Zone to add the territory set forth in Addendum A of this Ordinance and further provides that Addendum A of Ordinance 934, as well as the Decatur Macon County Enterprise Zone Intergovernmental Agreement, shall be amended by adding the territory set forth in Addendum A and shown in Addendum B of this Ordinance. The Village Administrator and Village Clerk are authorized to execute any and all necessary documents to effectuate the addition of the territory set forth herein to the Decatur Macon County Enterprise Zone.

Section 3. Severability. In the event a court of competent jurisdiction finds this Ordinance or any provision hereof to be invalid or unenforceable as applied, such finding shall not affect the validity of the remaining provisions of this Ordinance and the application thereof to the greatest extent permitted by law.

Section 4. Repeal and Savings Clause. All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Section 5. Effectiveness. This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form as provided by law.

SO ORDAINED this _____ day of February, 2026, at Forsyth, Macon County, Illinois.

	YES	NO	ABSENT	PRESENT
ASHBY				
KIDD				
LONDON				
SHAW				
WENDT				
YOUNG				

PECK				
TOTAL				

VILLAGE OF FORSYTH

Jim Peck, Village Mayor

Attest:

Cheryl Marty, Village Clerk

ADDENDUM A

12-17-03-102-068
12-17-03-102-067
12-17-03-102-066
12-17-03-102-065
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12-17-03-102-050
12-17-03-102-049
12-17-03-102-048

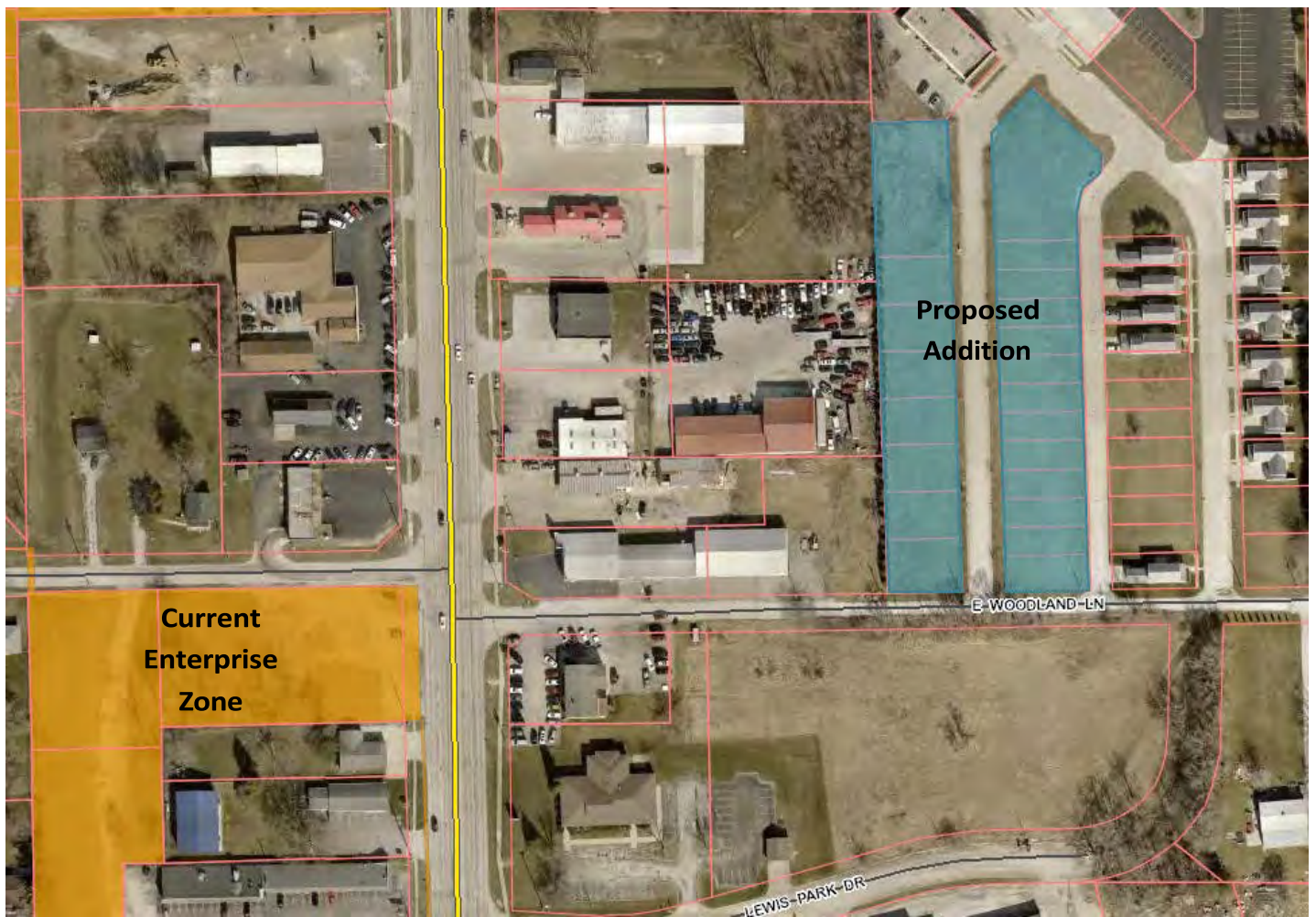
Lots 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, and 74 of Mt. Zion Village East Second Addition, as per Plat recorded in Book 5000, on Page 131 of the Records in the Recorder's Office of Macon County, Illinois. Situated in Macon County, Illinois.

Connector Strip

A 3-foot-wide connector strip from the Southwest corner of the property identified by PIN 12-17-03-102-048 along the Northern side of E Woodland Ln connecting approximately 17 feet South of the Northeast corner of the property identified by PIN 12-17-04-233-021 which is currently in the existing enterprise zone.

ADDENDUM B

PI	Owner	Si e cres
12-1 -0 -102-06	L ISST V	ppro 22
12-1 -0 -102-06	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-066	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-065	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-064	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-06	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-062	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-061	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-060	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-05	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-05	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-05	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-056	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-055	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-054	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-05	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-052	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-051	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-050	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-04	L IS PROP RT D V LOPM T LLC	
12-1 -0 -102-04	L IS PROP RT D V LOPM T LLC	



ADDENDUM B



NEW BUSINESS

ITEM 4

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Preliminary Discussion – Potential TIF Assistance for Whistling Pines Townhome & Commercial Development (Magnolia Dr. / Route 51)

Purpose

This memo is intended to provide the Board with early awareness and request direction regarding a potential TIF assistance request associated with a proposed multifamily townhome development (“Whistling Pines”) and adjacent commercial development near Magnolia Drive and Route 51. This is not a request for approval. Staff is seeking guidance for initial offer to be given to Mr. Sullivan.

Project Overview

Staff recently met with Reed Sullivan (Sullivan Developers, LLC) to review the concept.

The proposal includes:

- 8 four-unit townhome buildings (originally 10 buildings were considered)
- Creation of a shared recreational green space in place of one building
- A potential clubhouse in place of the originally proposed two-unit building
- 32 total townhome units
- Each unit: 3 bedroom, 2.5 bath, 1-car garage
- Target market: young professionals and downsizing residents seeking high-quality rental housing in Forsyth

Investment & Value

Per the TIF application:

- **Total projected investment:** \$7,520,000
- **Estimated value per building:** \$850,000
- **Estimated market value at completion:** ~\$6.8 million
- **Estimated EAV increase:** \$2,266,667

TIF App

A preliminary projection from TIF Illinois assuming a 75% developer / 25% Village share estimates:

- **Total projected net tax increment:** \$2.24 million over the life of the TIF
- **Developer share at 75%:** ~\$1.68 million
- **Village share:** ~\$560,000

Nature of the TIF Request

Reed has negotiated a land purchase of \$500,000 and is requesting:

- Reimbursement of land cost from the TIF Fund after construction is complete
- This equates to:
 - o \$62,500 per building
 - o \$15,625 per unit (door)

All other eligible costs (utilities, site prep, financing, etc.) would be reimbursed through a standard

percentage-based TIF structure over time.
 He has asked for 80/20
 No commitments have been made.

Why This is a Policy Discussion

This request is different from typical TIF requests because:

- It involves housing, not commercial or industrial development
- It asks for post-construction reimbursement of land cost, prior to full increment being realized
- It would represent an up-front draw on the TIF Fund rather than reimbursement strictly from generated increment

While the TIF Fund currently has the balance to evaluate a request of this nature, the timing and structure directly affect:

- TIF cash flow
- Future project capacity
- How Forsyth chooses to use TIF as a development tool going forward

Alignment with Village Goals

Housing — particularly attainable, workforce, and downsizing housing — is an important part of:

- Supporting local employers
- Expanding the tax base
- Long-term community sustainability
- Filling a current housing gap in Forsyth

This project directly aligns with those broader economic development goals.

Staff Request for Direction

Before staff spends time on deeper financial modeling or negotiation, we are seeking Board feedback on:

- Whether the Board is open to exploring TIF participation for **housing projects of this** nature
- What share percentage the Board would consider appropriate
- Whether land reimbursement is a structure the Board is willing to consider
- Any policy thresholds or limitations the Board would want applied
- Whether this should be discussed at a future meeting or committee session

Recommendation

Staff recommends discussion for policy direction prior to further evaluation.

This memo is intended to ensure Board guidance drives the next steps, not staff assumptions.



ECONOMIC DEVELOPMENT CONSULTING & LAW

TAX INCREMENT FINANCING (TIF) DISTRICT**APPLICATION FOR TIF BENEFITS RELATING TO
PRIVATE (TIF) ELIGIBLE REDEVELOPMENT PROJECT COSTS**

Pursuant to Section (65 ILCS 5/11-74.4-4(b)) of the Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4 *et. seq.*), municipalities may make and enter into contracts with private developers to induce redevelopment projects which are necessary or incidental to the implementation and furtherance of its redevelopment plan and project. Municipalities may also, under certain conditions, incur project redevelopment costs and reimburse developers who incur redevelopment project costs which are authorized by a redevelopment agreement (65 ILCS 5/11-74.4-4 (j)).

Private developers seeking reimbursement of TIF eligible redevelopment project costs are required by the municipality to complete this application allowing the municipality to adequately determine the developer's eligibility for assistance from the Tax Increment Financing (TIF) District.

INSTRUCTIONS: Complete each section and return via fax (309) 664-7878 or U.S. Mail to: The Economic Development Group, Ltd., 1701 Clearwater Avenue, Bloomington, IL 61704.

PART I: DEVELOPER INFORMATION

Developer Legal/Business Name: Sullivan Developers Date: 1/12/2026

Business type: ☐ Sole Proprietorship; ☐ Partnership; ☒ Corporation (State of Charter: S - LLC);
☐ Other (please describe): _____

Developer's Contact Information:

Name Sullivan Developeres - Reed Sullivan Title _____

Address 405 W Wise Rd

City Decatur State IL Zip 62526

Daytime Phone _____ Mobile 217-413-0907

Fax _____ email reed@sullivancontractors.net

PART II: PROJECT INFORMATION

TIF District Name _____ City Forsyth

Project Name Forsyth Townhome

Anticipated Start Date 3/15/2025 Anticipated Completion Date _____

Project Description A Proposed Multi-Family complex. This project would consist of 8 - 4 unit buildings that bring high-end rental market to Forsyth. Driving the young adult and people that are retiring who are looking to downsize have a place to stay. The goal is to provide a high quality of living in a community setting.

Project is classified as: ☐ Industrial; ☐ Commercial; ☒ Residential

Project Street Address Proposed Land - Lot behind Dollar General - 650 S route 51

Parcel(s) Relating to the above described project:

1. Property Identification Number (PIN) 07-07-14-301-009
 Is this property within the TIF District Boundary (or proposed boundary)? ☒ Yes ☐ No
 Date property was acquired: Working on getting it under cont

2. Property Identification Number (PIN) _____
 Is this property within the TIF District Boundary (or proposed boundary)? ☐ Yes ☐ No
 Date property was acquired: _____

3. Property Identification Number (PIN) _____
 Is this property within the TIF District Boundary (or proposed boundary)? ☐ Yes ☐ No
 Date property was acquired: _____

(Please list any additional parcels on separate sheet and attach)

IF RESIDENTIAL: what is the expected absorption rate or "build-out" for the project?

PHASE I: Number of lots = _____ @ \$ _____ per lot		
Calendar Year	Number of Homes or Units	Avg. Fair Market Value (House and Lot)
2026	8	850,000

PHASE II: Number of lots = _____ @ \$ _____ per lot		
Calendar Year	Number of Homes or Units	Avg. Fair Market Value (House and Lot)

(Please describe additional phases on separate sheet and attach)

FOR ENTIRE PROJECT:

Total Projected Investment \$ 7,520,000 *(Land and Real Estate Improvements Only)*

Total Number of Jobs Created: _____

Number of Jobs FTE (full-time equivalent): _____

Current annual retail sales (if applicable - commercial projects only) \$ _____

Projected (new) annual retail sales generated by this project \$ _____

PART III. ESTIMATED TIF ELIGIBLE PROJECT COSTS

Property Assembly Costs:

Phase I:**Phase II:**

- | | | |
|---|-------------------|----------|
| 1. Land and buildings (acquisition costs) | \$ <u>400,000</u> | \$ _____ |
| 2. Site preparation, clearing and grading | \$ <u>100,000</u> | \$ _____ |
| 3. Demolition | \$ <u>35,000</u> | \$ _____ |

Professional Fees:

- | | | |
|---|------------------|----------|
| 1. Planning, engineering, architectural | \$ <u>85,000</u> | \$ _____ |
| 2. Legal | \$ <u>15,000</u> | \$ _____ |
| 3. Accounting/financial | \$ <u>15,000</u> | \$ _____ |
| 4. Marketing (land only) | \$ <u>25,000</u> | \$ _____ |
| 5. Other professional fees | \$ <u>75,000</u> | \$ _____ |

Job training and retraining services \$ _____ \$ _____

Rehabilitation or renovation (existing buildings) \$ _____ \$ _____

Public infrastructure improvements \$ 900,000 \$ _____
(Water, sewer, drainage, sidewalks, curb, etc.)Utilities extension \$ 150,000 \$ _____

Interest Buy-Down:

Principal \$ _____ @ _____ % per annum
for _____ years = Estimated Interest Expense

X 30% \$ _____ \$ _____

Miscellaneous/Other (please specify):

- | | | |
|--------------------|----------|----------|
| 1. _____ | \$ _____ | \$ _____ |
| 2. _____ | \$ _____ | \$ _____ |
| 3. _____ | \$ _____ | \$ _____ |

TOTAL ESTIMATED ELIGIBLE COSTS \$ 1,800,000 \$ 0

Additional Notes/Comments:

(Please describe estimated eligible project costs for additional phases on separate sheet and attach)

PART IV. DECLARATIONS

Municipality

Pursuant to the TIF Act, the municipality has the authority to make and enter into all contracts with property owners, developers, tenants, overlapping taxing bodies, and others necessary or incidental to the implementation and furtherance of its redevelopment plan and project. Furthermore, the municipality may incur project redevelopment costs and reimburse developers who incur redevelopment project costs authorized by a redevelopment agreement; provided, however, that on and after the effective date of the amendatory Act of the 91st General Assembly, no municipality shall incur redevelopment project costs *(except for planning costs and any other eligible costs authorized by municipal ordinance or resolution that are subsequently included in the redevelopment plan for the area and are incurred by the municipality after the ordinance or resolution is adopted)* that are not consistent with the program for accomplishing the objectives of the redevelopment plan as included in that plan and approved by the municipality until the municipality has amended the redevelopment plan as provided elsewhere in the Act.

Jacob & Klein, Ltd. and The Economic Development Group, Ltd.

As special TIF attorneys and TIF consultants (respectively for municipalities), Jacob & Klein, Ltd. (J&K) and the Economic Development Group, Ltd. (EDG) will rely on the information and assumptions contained in the foregoing material to prepare financial projections relating to this project and the potential benefits of tax increment financing. J&K and EDG will not undertake an independent investigation to verify any of the information or material contained herein. No warranty, express or implied, as to the accuracy of the materials and information contained herein or the results projected in any presentation is made by J&K or EDG, its officers or employees. J&K and EDG specifically disclaim the accuracy of the formulas and calculations used to project potential TIF benefits and have no obligation to investigate or update, recalculate or revise the calculations. The material presented by J&K and EDG based on information provided herein is subject to risks, trends and uncertainties that could cause actual events to differ materially from those presented. Those persons providing information contained in this Application for Reimbursement of TIF Eligible Project Costs have represented to J&K and EDG that, as of the date it was provided, the information was accurate to the best of their knowledge. Any person viewing, reviewing or utilizing financial projections or other presentations based on the information contained in this Application should do so subject to all of the foregoing limitations and shall conduct independent investigation to verify the assumptions and calculations presented by J&K and EDG. By acceptance and use of any presentation created from the information contained herein, the user accepts all of the foregoing limitations and releases J&K and EDG from any liability in connection therewith.

Private Developer

The Private Developer hereby asserts that this redevelopment project would not be completed without the use of tax increment financing.

The undersigned further certifies and warrants that to the best of his/her knowledge the information contained in this Application for Reimbursement of Private (TIF) Eligible Redevelopment Project Costs is true, correct and complete.



Private Developer

Title

Date

OFFICE USE ONLY:

Date received _____ by _____



ECONOMIC DEVELOPMENT CONSULTING & LAW

Description of Eligible Project Costs for a Tax Increment Financing District in Illinois

Categories of permissible redevelopment costs included in the Illinois TIF Act:

1. Costs of studies, surveys, development of plans and specifications, implementation and administration of the redevelopment plan. For example, professional service costs: architectural, engineering, legal, financial, planning; and administrative costs related to implementation of the redevelopment plan. *(Private & Public)*
2. Cost of marketing sites. *(Private & Public)*
3. Property assembly costs. For example, acquisition of land and other property, real or personal, or rights or interests therein; demolition of buildings; and site preparation. *(Private & Public)*
4. Costs of rehabilitation, reconstruction or repair or remodeling of existing public or private buildings. *(Private & Public)*
5. Costs of construction of public works or improvements. For example, streets, sidewalks, water, sanitary and storm sewer, etc.; and new public buildings (with some limitations). *(Private & Public)*
6. Costs of eliminating or removing contaminants and other impediments such as site improvements that serve as an engineered barrier addressing ground level or below ground environmental contamination, including parking lots and other concrete or asphalt barriers; and the clearing/grading of land. *(Private & Public)*
7. Costs of job training and retraining projects. *(Private & Public)*
8. Financing costs – up to 30% of interest expense. *(Private & Public)*
9. Obligations secured by the special tax allocation fund... may be issued to provide for redevelopment costs. *(Public)*
10. Approved Capital Costs of taxing districts. For example, all or a portion of a taxing district's capital costs resulting from the redevelopment project necessarily incurred or to be incurred within a taxing district (including the municipality) in furtherance of the objectives of the redevelopment plan and project when approved by the municipality. *(Public)*
11. Relocation costs. *(Private & Public)*
12. Payment in lieu of taxes. *(Public)*
13. Up to 50% of cost of construction of low income and very low income new housing, owner occupied or rental. *(Private)*

VILLAGE OF FORSYTH TIF DISTRICT
SULLIVAN DEVELOPERS, LLC - TOWNHOME PROJECT - 650 S ROUTE 51

1/12/2026

75% DEVELOPER SHARE

Calendar Year of Receipts	2026	2027	2028	2029	2030	2031	2032	2033	2034
Total Real Estate Tax Increment	Built	Assessed	\$166,667	\$170,834	\$175,105	\$179,482	\$183,969	\$188,569	\$193,283
Schools' Share & Project Admin.			\$41,667	\$42,708	\$43,776	\$44,871	\$45,992	\$47,142	\$48,321
Net Real Estate Tax Increment			\$125,000	\$128,125	\$131,328	\$134,612	\$137,977	\$141,426	\$144,962
Developer's Share of Net RETI			\$93,750	\$96,094	\$98,496	\$100,959	\$103,483	\$106,070	\$108,722
Cumulative Developer Share			\$93,750	\$189,844	\$288,341	\$389,299	\$492,782	\$598,852	\$707,574
Village's Share of Net RETI			\$31,250	\$32,031	\$32,832	\$33,653	\$34,494	\$35,357	\$36,241
Cumulative Village Share			\$31,250	\$63,281	\$96,114	\$129,766	\$164,261	\$199,617	\$235,858

Calendar Year of Receipts	2035	2036	2037	2038	2039	2040	2041	2042	TOTALS
Total Real Estate Tax Increment	\$198,115	\$203,068	\$208,144	\$213,348	\$218,682	\$224,149	\$229,752	\$235,496	\$2,988,663
Schools' Share & Project Admin.	\$49,529	\$50,767	\$52,036	\$53,337	\$54,670	\$56,037	\$57,438	\$58,874	\$747,166
Net Real Estate Tax Increment	\$148,586	\$152,301	\$156,108	\$160,011	\$164,011	\$168,112	\$172,314	\$176,622	\$2,241,497
Developer's Share of Net RETI	\$111,440	\$114,226	\$117,081	\$120,008	\$123,008	\$126,084	\$129,236	\$132,467	\$1,681,123
Cumulative Developer Share	\$819,013	\$933,239	\$1,050,320	\$1,170,328	\$1,293,337	\$1,419,420	\$1,548,656	\$1,681,123	
Village's Share of Net RETI	\$37,147	\$38,075	\$39,027	\$40,003	\$41,003	\$42,028	\$43,079	\$44,156	\$560,374
Cumulative Village Share	\$273,004	\$311,080	\$350,107	\$390,109	\$431,112	\$473,140	\$516,219	\$560,374	

Table 1. Real Estate Assumptions	
Parcel No.	07-14-301-009
Total Projected Market Value	\$6,800,000
Increase in EAV	\$2,266,667
TIF Base Value	\$82,186
Real Estate Tax	\$166,667

Table 2. Variables	
Inflation Rate	2.5%
Total Tax Rate (2024)	7.62960%
Schools & Project Admin.	25%
Developer Share of Net RETI	75%

Total Estimated TIF Eligible Project Costs: \$1,800,000
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The information and assumptions contained in the foregoing material are based upon information, material and assumptions provided to Jacob & Klein, Ltd. (J&K) and the Economic Development Group, Ltd. (EDG) by outside parties, including public officials. The formulas, calculations, and results projected in this presentation are based on information believed, by those providing it, to be accurate at the time it was provided and was represented as such to J&K and EDG. The material presented herein is subject to risks, trends, and uncertainties that could cause actual events to differ materially from those presented. Any person viewing, reviewing or utilizing this presentation should be aware of the foregoing limitations and independently verify the assumptions and calculations contained herein. Note that this presentation does not account for the effects that material economic conditions and market factors have on any financial decision-making. This presentation is for informational purposes only and should not be construed as financial advice.

VILLAGE OF FORSYTH TIF DISTRICT
SULLIVAN DEVELOPERS, LLC - TOWNHOME PROJECT - 650 S ROUTE 51

1/29/2026

80% DEVELOPER SHARE

Calendar Year of Receipts	2026	2027	2028	2029	2030	2031	2032	2033	2034
Total Real Estate Tax Increment	Built	Assessed	\$166,667	\$170,834	\$175,105	\$179,482	\$183,969	\$188,569	\$193,283
Schools' Share & Project Admin.			\$41,667	\$42,708	\$43,776	\$44,871	\$45,992	\$47,142	\$48,321
Net Real Estate Tax Increment			\$125,000	\$128,125	\$131,328	\$134,612	\$137,977	\$141,426	\$144,962
Developer's Share of Net RETI			\$100,000	\$102,500	\$105,063	\$107,689	\$110,382	\$113,141	\$115,970
Cumulative Developer Share			\$100,000	\$202,501	\$307,563	\$415,253	\$525,634	\$638,775	\$754,745
Village's Share of Net RETI			\$25,000	\$25,625	\$26,266	\$26,922	\$27,595	\$28,285	\$28,992
Cumulative Village Share			\$25,000	\$50,625	\$76,891	\$103,813	\$131,409	\$159,694	\$188,686

Calendar Year of Receipts	2035	2036	2037	2038	2039	2040	2041	2042	TOTALS
Total Real Estate Tax Increment	\$198,115	\$203,068	\$208,144	\$213,348	\$218,682	\$224,149	\$229,752	\$235,496	\$2,988,663
Schools' Share & Project Admin.	\$49,529	\$50,767	\$52,036	\$53,337	\$54,670	\$56,037	\$57,438	\$58,874	\$747,166
Net Real Estate Tax Increment	\$148,586	\$152,301	\$156,108	\$160,011	\$164,011	\$168,112	\$172,314	\$176,622	\$2,241,497
Developer's Share of Net RETI	\$118,869	\$121,841	\$124,887	\$128,009	\$131,209	\$134,489	\$137,851	\$141,298	\$1,793,198
Cumulative Developer Share	\$873,614	\$995,455	\$1,120,341	\$1,248,350	\$1,379,559	\$1,514,048	\$1,651,900	\$1,793,198	
Village's Share of Net RETI	\$29,717	\$30,460	\$31,222	\$32,002	\$32,802	\$33,622	\$34,463	\$35,324	\$448,299
Cumulative Village Share	\$218,404	\$248,864	\$280,085	\$312,088	\$344,890	\$378,512	\$412,975	\$448,299	

Table 1. Real Estate Assumptions	
Parcel No.	07-14-301-009
Total Projected Market Value	\$6,800,000
Increase in EAV	\$2,266,667
TIF Base Value	\$82,186
Real Estate Tax	\$166,667

Table 2. Variables	
Inflation Rate	2.5%
Total Tax Rate (2024)	7.62960%
Schools & Project Admin.	25%
Developer Share of Net RETI	80%

Total Estimated TIF Eligible Project Costs: \$1,800,000
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The information and assumptions contained in the foregoing material are based upon information, material and assumptions provided to Jacob & Klein, Ltd. (J&K) and the Economic Development Group, Ltd. (EDG) by outside parties, including public officials. The formulas, calculations, and results projected in this presentation are based on information believed, by those providing it, to be accurate at the time it was provided and was represented as such to J&K and EDG. The material presented herein is subject to risks, trends, and uncertainties that could cause actual events to differ materially from those presented. Any person viewing, reviewing or utilizing this presentation should be aware of the foregoing limitations and independently verify the assumptions and calculations contained herein. Note that this presentation does not account for the effects that material economic conditions and market factors have on any financial decision-making. This presentation is for informational purposes only and should not be construed as financial advice.

GENERAL NOTES

This plan was designed and drafted BY Advanced House Plans to meet the needs of the building industry. It is not intended to be used as a model. It was designed. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, AHP cannot warrant compliance with any particular code or set of codes. It is the responsibility of the user to determine the applicability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements. The user is responsible for obtaining the necessary permits and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal) and building codes. The user is responsible for ensuring the designer has no claim or liability for any errors that may arise during the construction of this structure or engine thereafter.

* If the contractor or sub-contractor, in the course of their work, finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plan or

- specifications, it shall be their responsibility to immediately inform AHP, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

* Only the purchaser of this plan has permission to build this plan. The purchaser is given permission to reproduce the drawing only as required for the construction of the building. No permission is given to any party to claim copyright on the original plan. No modified plan. The modified plan shall remain copyright on the licensee and the licensee shall not be permitted to reproduce the plan without the written consent of Advanced House Plans. Infringing upon Advanced House Plans' copyright through reproduction, distribution, construction or re-drawing of a drawing is punishable by law with fine up to \$100,000 as defined by the relevant copyright laws.

DESIGN LOADS:

- Ultrafast design wind speed: 115 mph, Exposure Category: B
 - Seismic Design Category: A
- | | Floor: | Roof: | |
|----------|--------------|--------------|--------------|
| • Floor: | 40 psf, live | 30 psf, live | 10 psf, live |
| • Floor: | 15 psf, dead | 10 psf, dead | 5 psf, dead |
- Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be provided by the architect. The architect will provide the plans made according to the local building officials for the final verification of your specific load data, zoning restrictions and site conditions.
- ### CONCRETE AND FOUNDATIONS:
- All concrete and foundations shall be 3000 PSI.
 - (28-day compressive strength concrete), unless noted otherwise.
 - All interior slabs on grade shall base on 4" compacted granular fill.
 - Provide proper preparation and control joints as per local requirements.
 - All 36" x 36" x 18" concrete piers to have (3) #5 rods each.
 - All 48" x 48" x 24" concrete piers to have (4) #5 rods each.
 - Foundation walls are not to be backfilled until properly braced.
 - Entry depth of front footings with your local concrete property standards.
 - Foundation walls must be anchored to all slabs with 5/8" rebar.
 - Foundation bolts must be anchored to all slabs with 5/8" rebar.
 - For window opening in conc. wall, provide #5 bars 4' o.c. (two walls) 27" clearance from top 4 sides of open. For jamo (two walls) 27" clearance from top 4 sides of open. For patio (two walls) 27" clearance from top 4 sides of open. For patio (two walls) 27" clearance from top 4 sides of open. For patio (two walls) 27" clearance from top 4 sides of open.
 - Extend reinforcing a minimum of 2' past edge.
- ### STEEL:
- All structural steel for beams and plates shall comply with ASTM specification A36.
 - All structural steel for columns shall comply with ASTM specification A588 Grade B or A501.
 - All reinforcing steel for concrete shall comply with ASTM specification A615 Grade 60.
 - Provide steel shims in all beam pockets.
 - Steel columns are to be 3' I.D. (inside diameter) unless noted.

[illegible]

- All structural steel for beams and plates shall comply with ASTM A36.
 - All structural steel for floor columns shall comply with ASTM A588.
 - All reinforcing steel for concrete shall comply with ASTM specification A615 Grade 60.
 - Steel columns are to be 3" ID (inside diameter) unless noted otherwise.
- FRAMING MEMBERS:**
- All framing members, all framing lumber shall have the following characteristics:
 - 12,000 psf min tensile strength
 - E = 1,400,000 psi
 - Characteristics of all framing and structural members.
 - All framing members shall be designed for a live load of 100 psf.
 - Wall bracing method assumed as CS-WSP. Since braced wall line spacing and braced wall panel calculations vary by location, bracing calculations and diagrams are provided for each specific location.
 - Lumber (LVL), members are to be certified by a professional engineer.
 - End-near- and framing members not indicated on the plan are to be sized by contractor.
 - All joists under all partition walls, unless noted otherwise.
 - All subflooring is assumed to be 3/4" thick, glued nailed.
 - All framing members are assumed to be 4x12 unless otherwise specified.
 - Calculated dimensions like precedence over field.
 - All exterior walls on floor plans are at 45 degree angle.

EYEWITNESS NEWS

- Unless noted otherwise, all framing is 15 psf. E = 1400000 psi
- Following characteristics:
 - Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to be used
 - Wall bracing method assumed as CS-JBF. Since braced wall line spacing and braced wall panel calculations vary by location, bracing and braced wall panel calculations are to be performed on a case-by-case basis. Professional Engineer to provide specific wall bracing calculations and diagrams.
 - Hole sizes and locations in column or limited, oversized and/or irregular members are to be confirmed by a professional engineer.
 - All types of connections are to be confirmed by a professional engineer.
 - Double floor joists under all partition walls, unless noted
 - All sheathing is assumed to be 3/4" thick, glued & nailed.
 - All exterior walls are dimensioned to outside of 1/2" sheathing dimensions.
 - All interior dimensions take precedence over stated dimensions.
 - All angled walls on floor plans are at 45 degree angle.
 - All angled walls on floor plans 12'-0" high or higher shall be 2x6 and laterally unsupported unless noted otherwise.
 - All exterior walls shall be 2x6 and laterally supported, that is:
 - (1) Load bearing and less than or equal to 3 ft. use (2) 2x12
 - (2) Load bearing and more than 3 ft. use 4x6.
 - (3) Non-load bearing and less than or equal to 6 ft. use 4x6.
 - (4) Non-load bearing and more than 6 ft. use (2) 2x12
 - All exterior opening use (2) 2x12 with 1/2" Plywood between.
 - All trusses to be engineered by truss manufacturer according to design.
 - All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
 - (2) rows of 4" x 3" cross-bridging on all spans over 8'-0" and all spans over 16'-0".
 - All interior walls and floors shall be 2x6 and unless noted otherwise.
 - Any hip or valley rafters over a 28'-0" span are to be laminated.

misc. notes:

- [illegible]

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CODE 1: SITE REQUIREMENTS PRIOR TO CONSTRUCTION.

THEY SELECTED ADVANCED HOUSE PLAN AND A LIMITED THAT THEY COULD BUILD OR AFTER THE BUILDING PROCESS.

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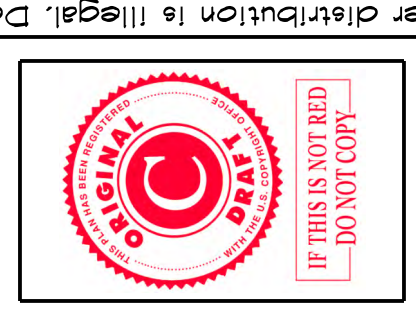
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SHEET 1 OF 3

10060 • J. Neurosci., July 26, 2006 • 26(30):10055–10060



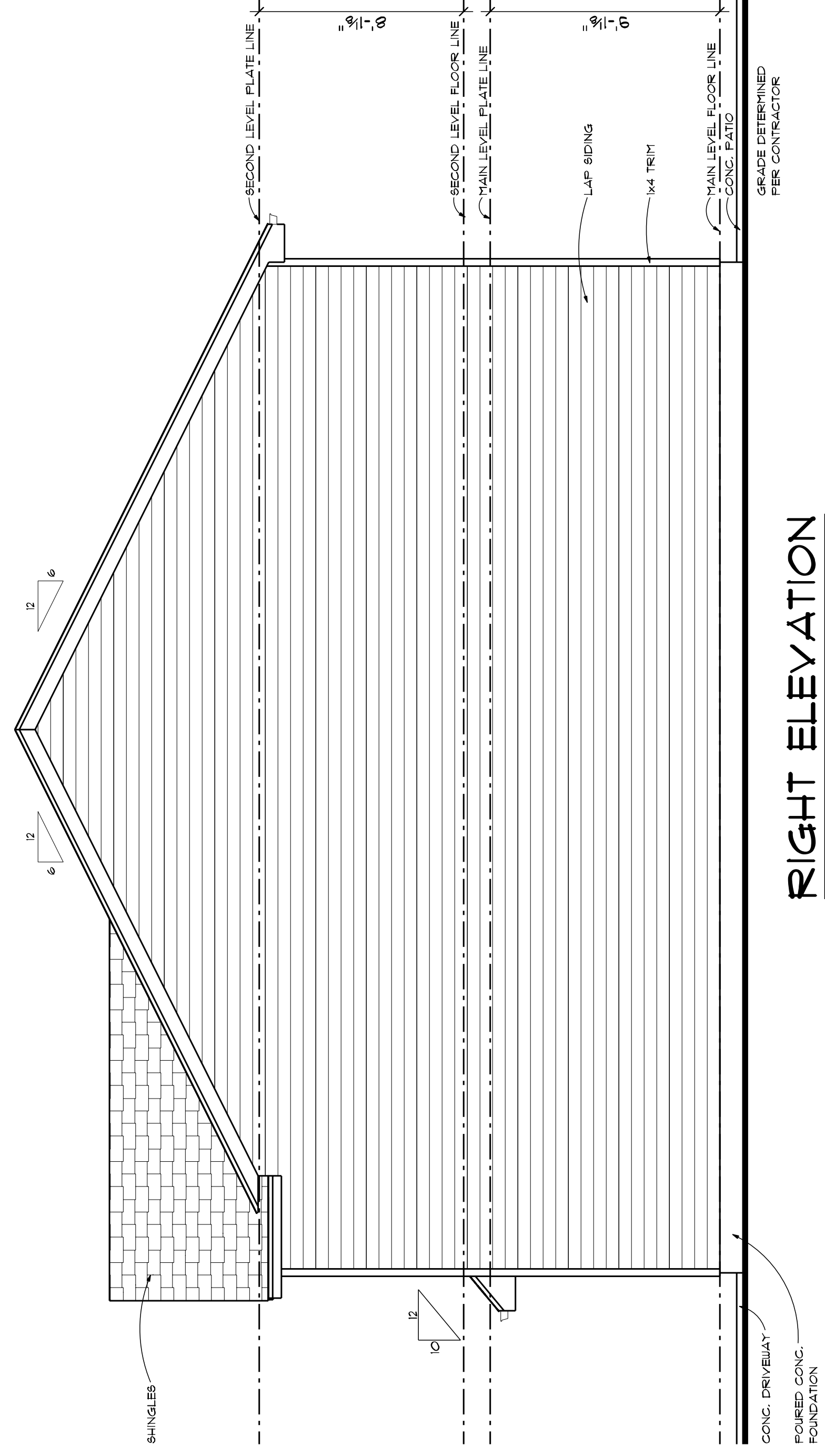
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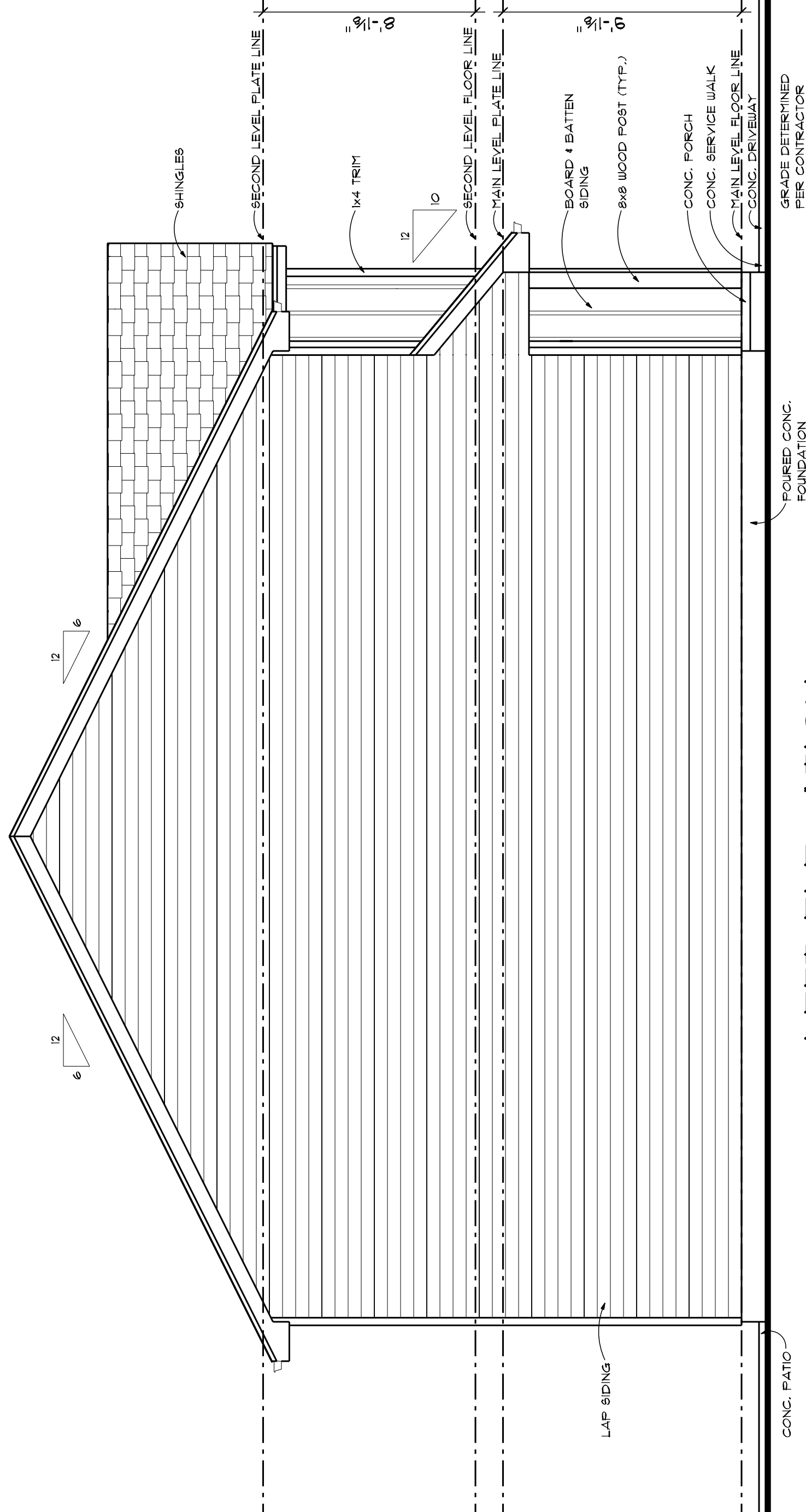
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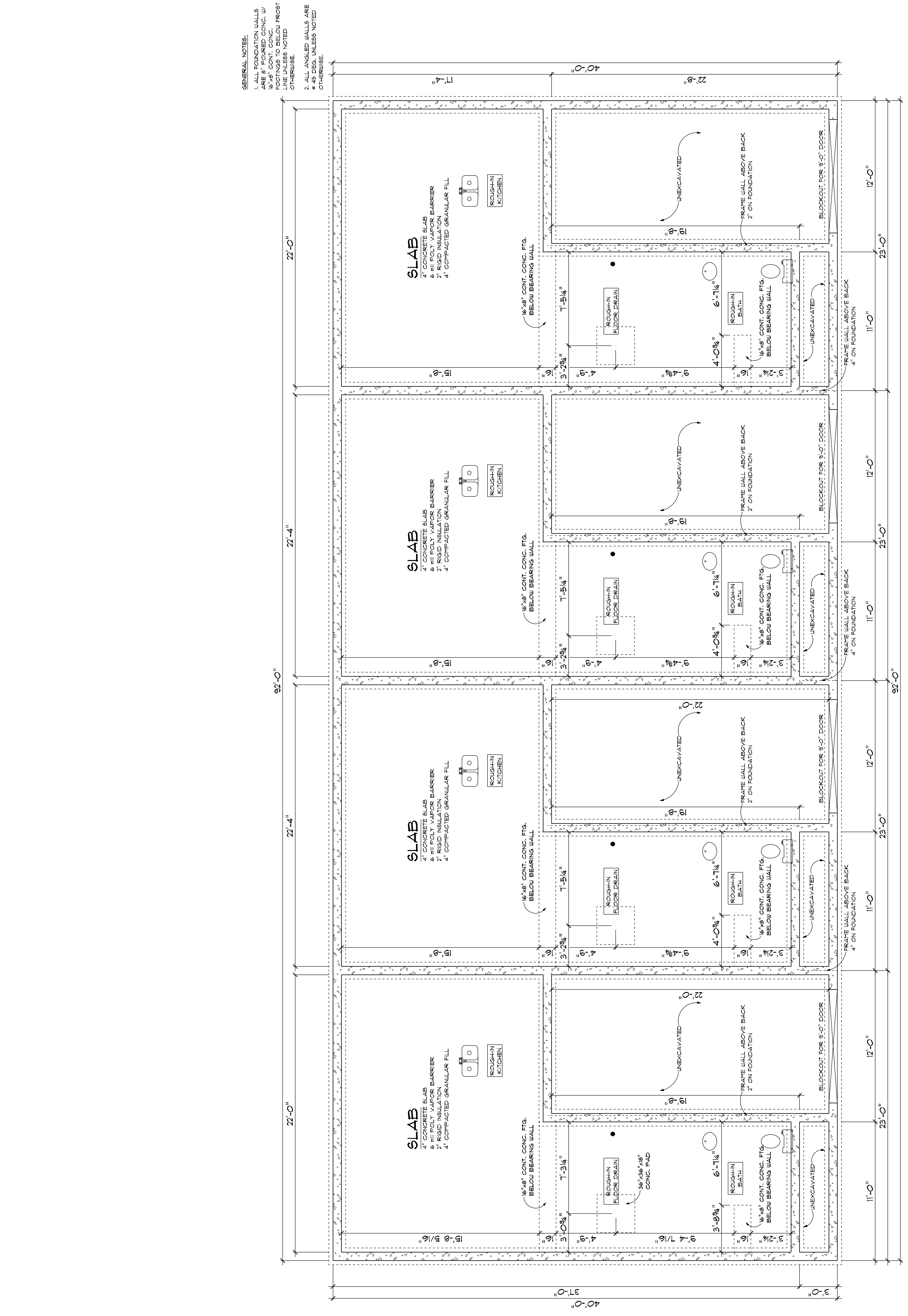
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

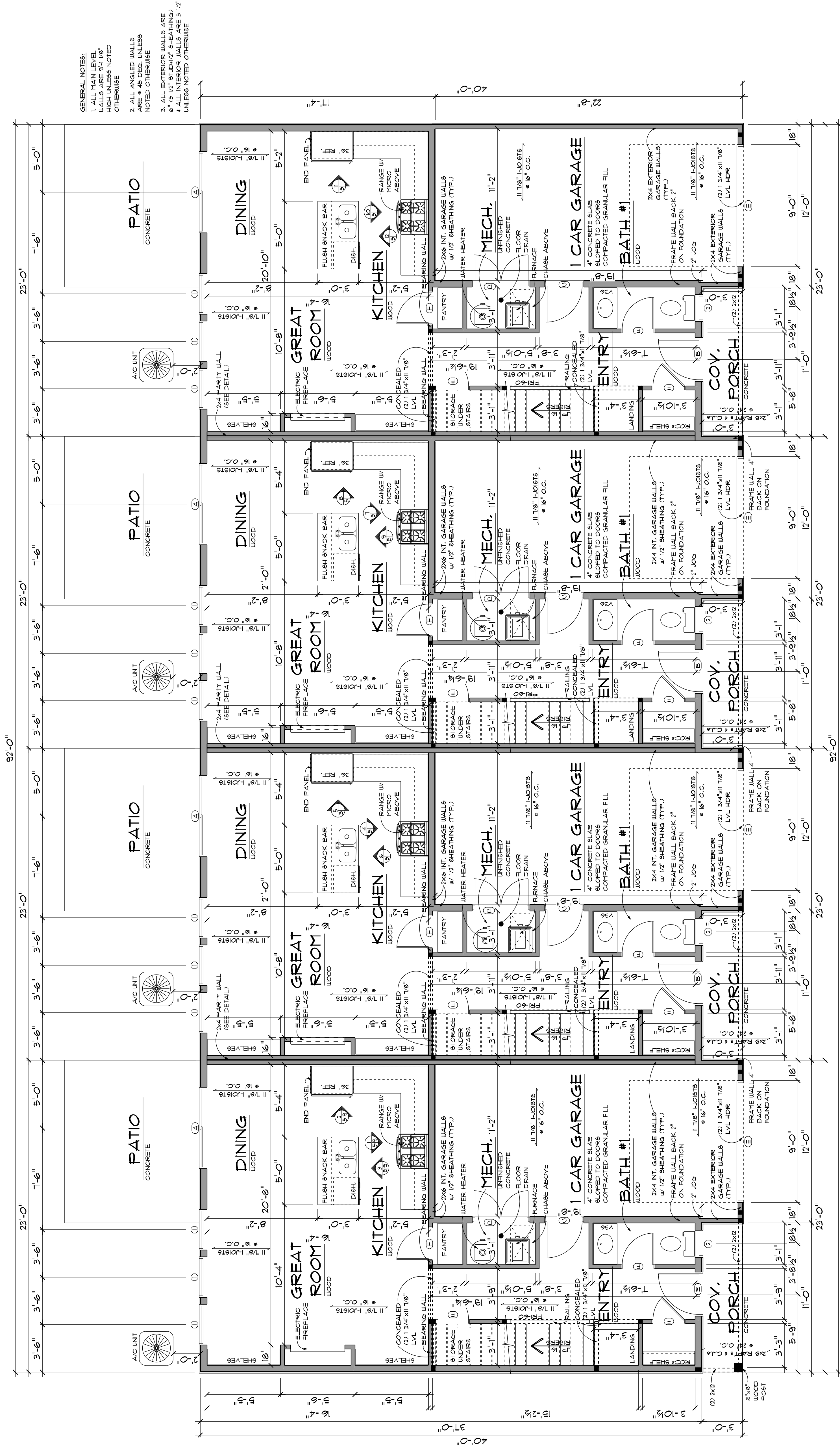
GENERAL NOTES:
1. ALL FOUNDATION WALLS
ARE 16"x8" CONT. CONC. FTG.
FOOTINGS TO BELOW FROST
LINE UNLESS NOTED
OTHERWISE.
2. ALL ANGLED WALLS ARE
45 DEG. UNLESS NOTED
OTHERWISE.

OPENING SCHEDULE - UNIT D				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36x72 CASBERT 1	3'-0" x 6'-0"	3
2	WINDOW	24x48 CASBERT 1	2'-0" x 4'-0"	1
A	DOOR	TX80 SLIDING GLASS 3	8'-0" x 8'-0"	1
B	DOOR	36x90 GLASS 1	3'-0" x 9'-0"	1
C	DOOR	32x40 EXTERIOR 1	3'-2" x 4'-0"	1
D	DOOR	48x90 EXTERIOR 2	4'-0" x 9'-0"	1
E	GARAGE	09x36 - 2 PANEL	9'-0" x 6'-0"	1
F	DOOR	28x80 1	2'-4" x 8'-0"	4

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36x72 CASHERITE 1	3'-0" x 6'-0"	3
2	WINDOW	24x48 CASHERITE 1	2'-0" x 4'-0"	1
A	DOOR	TX80 SLIDING GLASS 3	8'-0" x 8'-0"	1
B	DOOR	36x80 GLASS 1	3'-0" x 8'-0"	1
C	DOOR	32x80 EXTERIOR 1	3'-2" x 8'-0"	1
D	DOOR	48x80 EXTERIOR 2	4'-0" x 8'-0"	1
E	GARAGE	60x80 - 2 PANEL	5'-0" x 8'-0"	1
F	DOOR	28x80 1	2'-4" x 8'-0"	4

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36x72 CASHERITE 1	3'-0" x 6'-0"	3
2	WINDOW	24x48 CASHERITE 1	2'-0" x 4'-0"	1
A	DOOR	TX80 SLIDING GLASS 3	8'-0" x 6'-8"	1
B	DOOR	36x90 GLASS 1	3'-0" x 9'-0"	1
C	DOOR	32x40 EXTERIOR 1	2'-8" x 4'-0"	1
D	DOOR	48x96 EXTERIOR 2	4'-0" x 8'-0"	1
E	GARAGE	12x36 - 2 PANEL	12'-0" x 6'-0"	1
F	GARAGE	12x36 - 1	12'-0" x 6'-0"	4

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36x72 CASHERITE 1	3'-0" x 6'-0"	3
2	WINDOW	24x48 CASHERITE 1	2'-0" x 4'-0"	1
A	DOOR	TRX50 SLIDING GLASS 2	6'-0" x 8'-8"	1
B	DOOR	36x90 GLASS 1	3'-0" x 8'-8"	1
C	DOOR	36x90 EXTERIOR 1	3'-0" x 8'-8"	1
D	DOOR	48x90 EXTERIOR 2	4'-0" x 8'-8"	1
E	DOOR	60x96 - 2 PANEL	5'-0" x 8'-0"	1
F	DOOR	28x80	2'-4" x 6'-8"	4



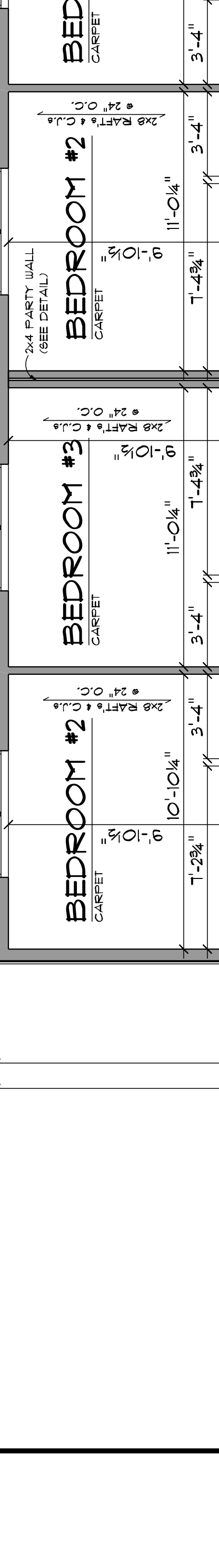
UNIT D	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	253 sq ft.
COVERED PORCH	33 sq ft.

UNIT C	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	253 sq ft.
COVERED PORCH	33 sq ft.

UNIT B	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	253 sq ft.
COVERED PORCH	33 sq ft.

UNIT A	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	253 sq ft.
COVERED PORCH	33 sq ft.

MAIN LEVEL FLOOR PLAN

[illegible]

OPENING SCHEDULE - UNIT A			
OPENING ID	TYPE	PRODUCT CODE	SIZE
3	WINDOW	60X60 CASHEMENT 2	5'-0" x 5'-0"
4	WINDOW	60X40 CASHEMENT 2	5'-0" x 3'-6"
F	DOOR	12X80 1	2'-4" x 6'-8"
G	DOOR	32X80 1	2'-8" x 6'-8"
H	DOOR	42X80 2	3'-6" x 6'-8"
I	DOOR	72X80 SLIDING 2	6'-0" x 6'-8"

5'-0"	23'-0"	5'-10 1/4"	23'-0"
11'-3 3/8"	11'-3 3/8"	5'-10"	11'-3 3/8"

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Buttwood
2x6 Slab

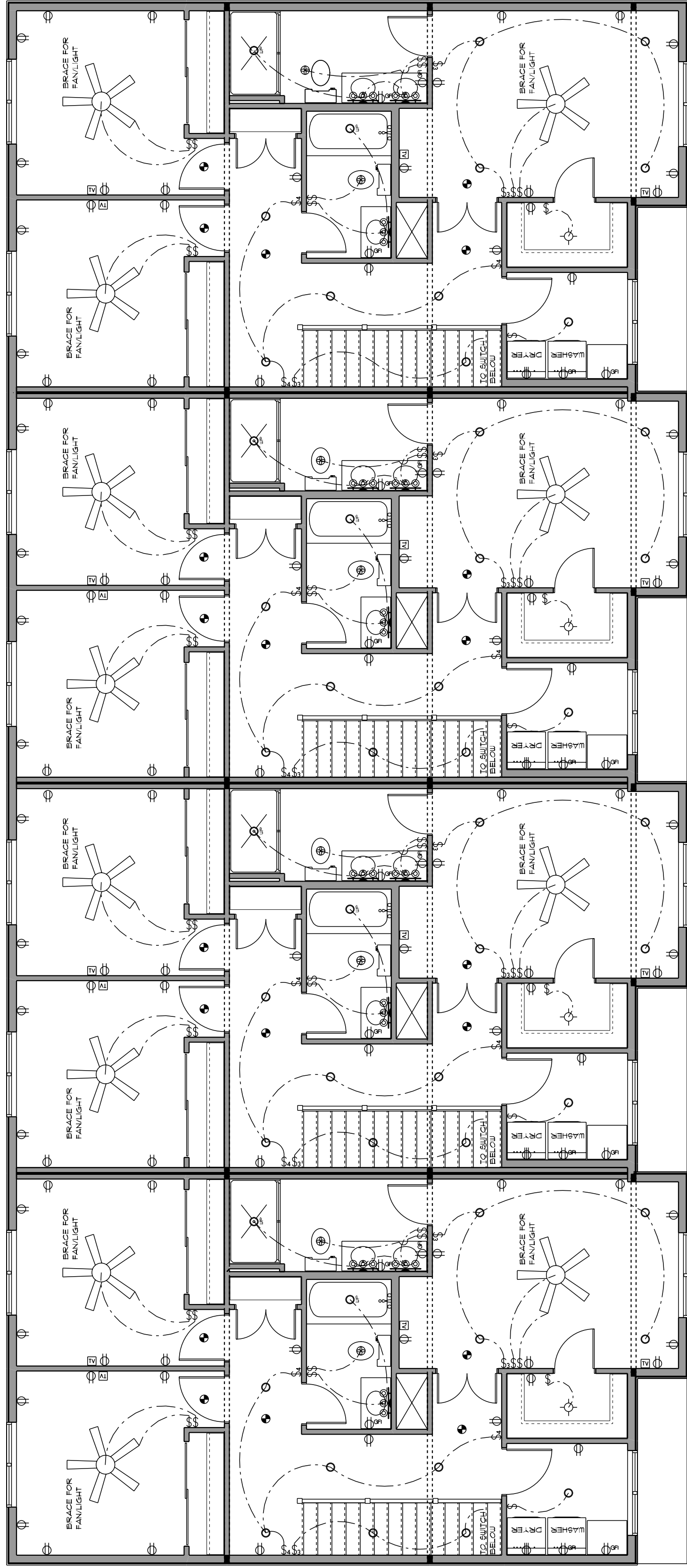
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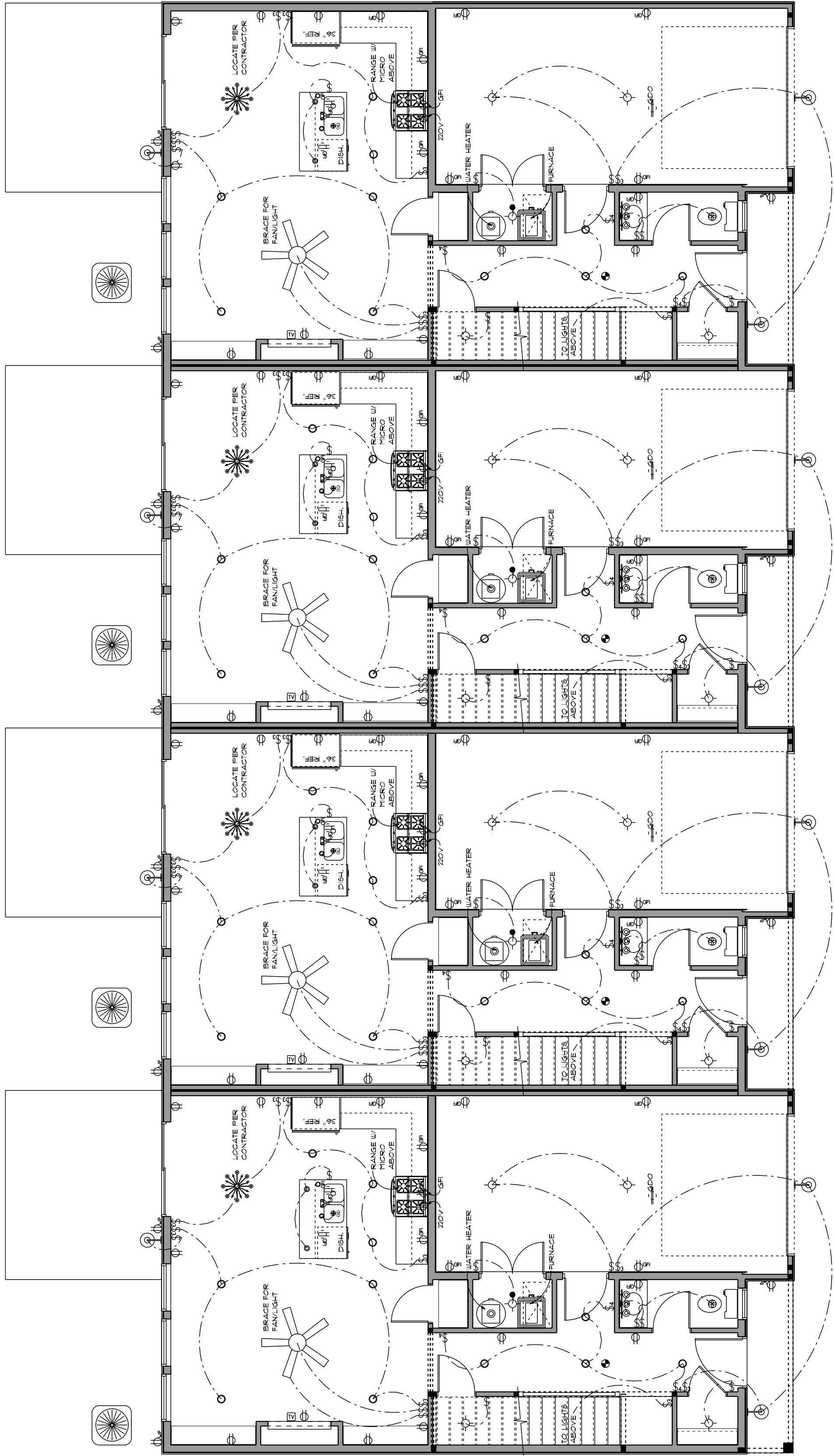
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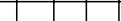


9C4LE, 2/16" = 1'-0"

ELECTRICAL	LEADER	UNIT	A	B	C	SYMBOL
ELECTRICAL		COUNT				
drawing for B issued 04		12				
CAN. LIGHT WATERPROOF ANCH		8				
can. light anchor		45				
can. light 1/2" anchor		12				
can. light		4				
can. light		104				
can. light 2x2x4		4				
can. light 2"		50				
can. light 2"		12				
can. light 2"		48				
can. light 2"		12				
can. light 2"		12				
can. light 2"		12				
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can. light 2"		12				
can. light 2"		12				
can. light 2"		12				



SCALE: 3/16" = 1'-0"

ELECTRICAL	LEADER - UNITS A, B, C, D	COUNT	SYMBOL
ceiling fan 8 blades C4		4	
ceiling light 8 non		43	
ceiling exhaust		4	
pendant globe		6	
wall mount w/ty		1	
GAS/GEAR COOR. OUTLET		4	
GAS/GEAR DISPOSAL		4	
FLANGER SWITCH		4	
slide in w/ outlet		4	
light		20	
outlet		40	
outlet 200		4	
outlet 50		44	
outlet 10		3	
outlet 100		40	
outlet 200		4	
outlet 50		36	
outlet 10		4	
outlet 200		4	
outlet 50		4	
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2x6 Slab



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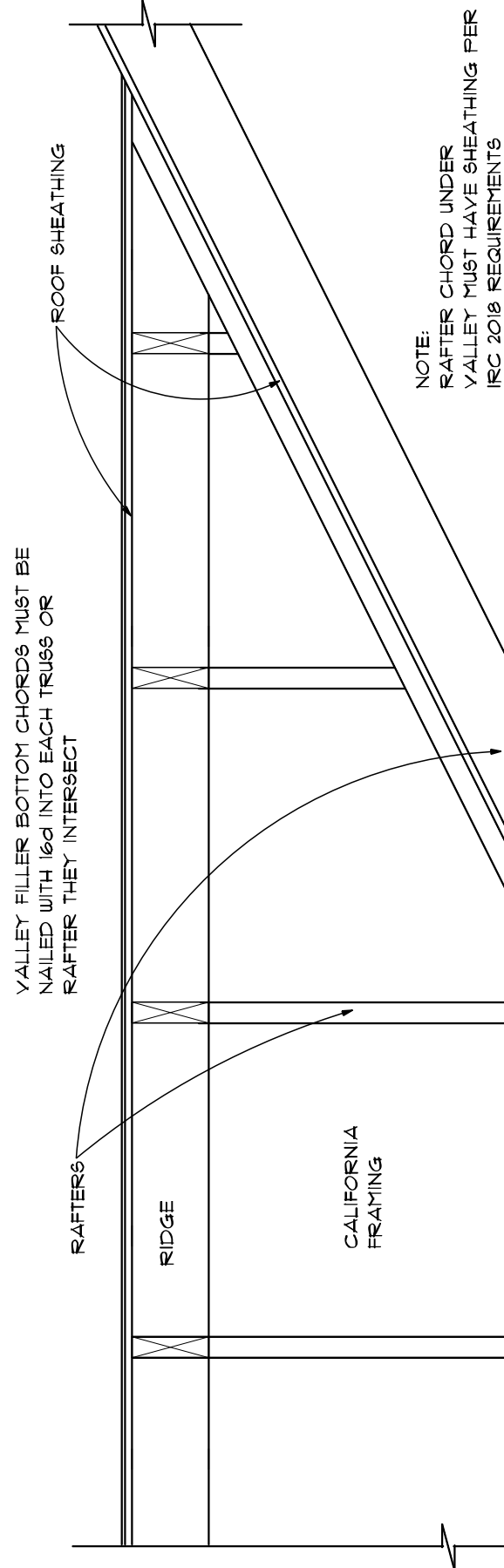
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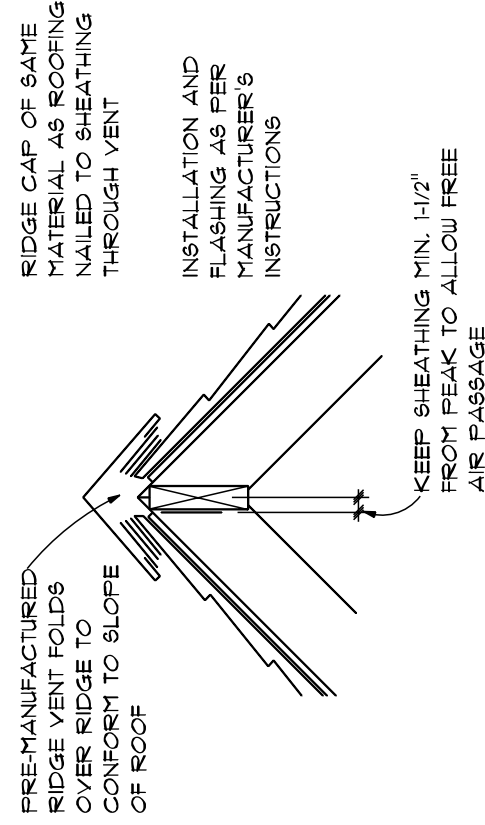
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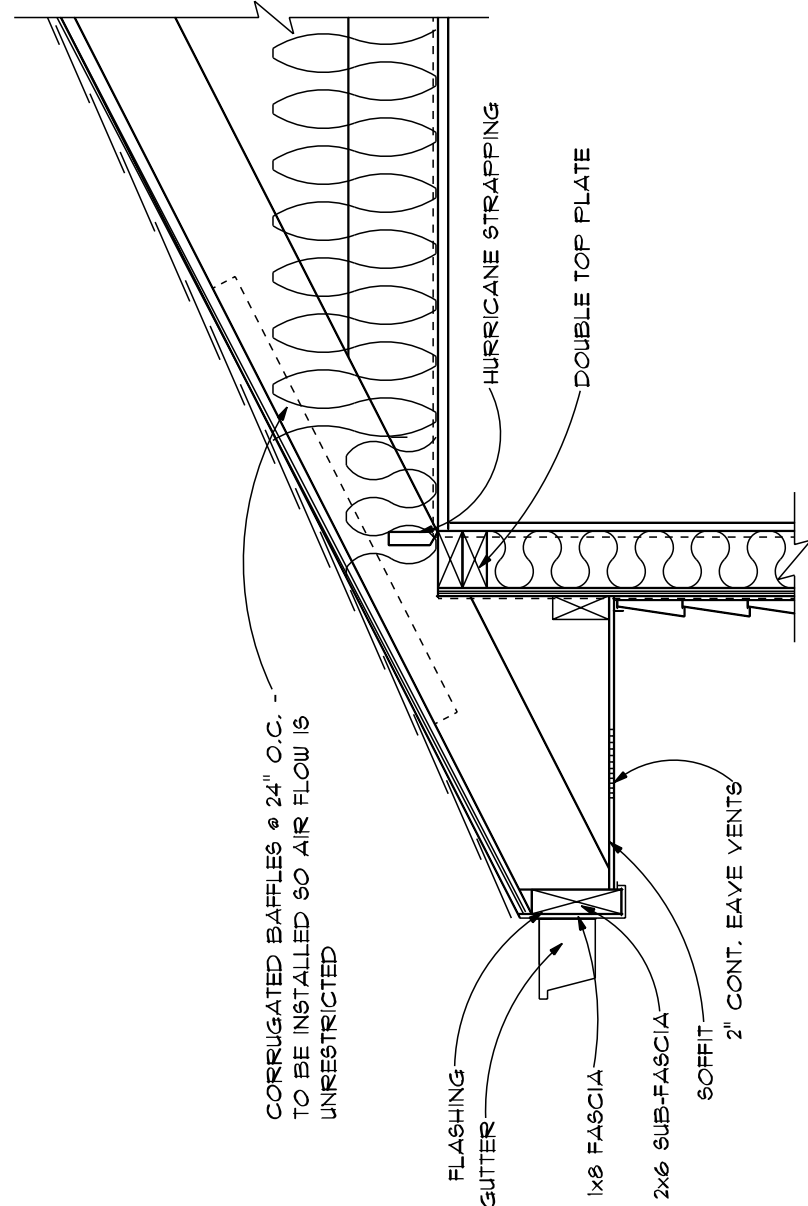
SHEET



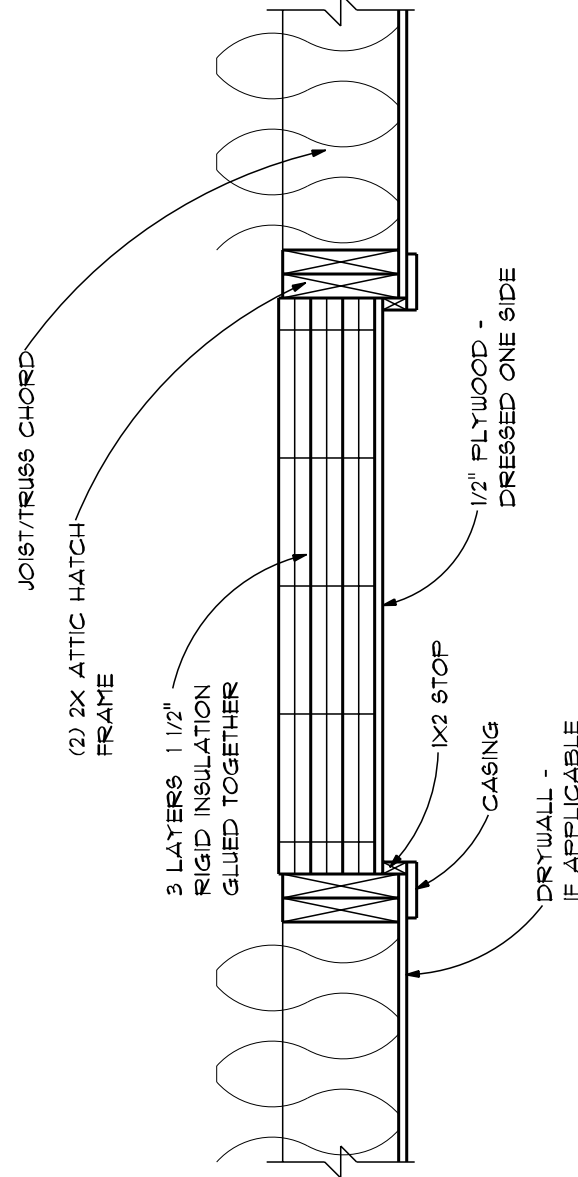
NOTE:
RAFTER CHORD UNDER
VALLEY MUST HAVE SHEATHING PER
IRC 2018 REQUIREMENTS



KEEP SHEATHING MIN. 1/2"
FROM PEAK TO ALLOW FREE
AIR PASSAGE



CORRUGATED BARRELS 24" O.C.
TO BE INSTALLED SO AIR FLOW IS
UNRESTRICTED



ROOF OVERFRAMING

SCALE: 1/4" = 1'-0"

RIDGE VENT

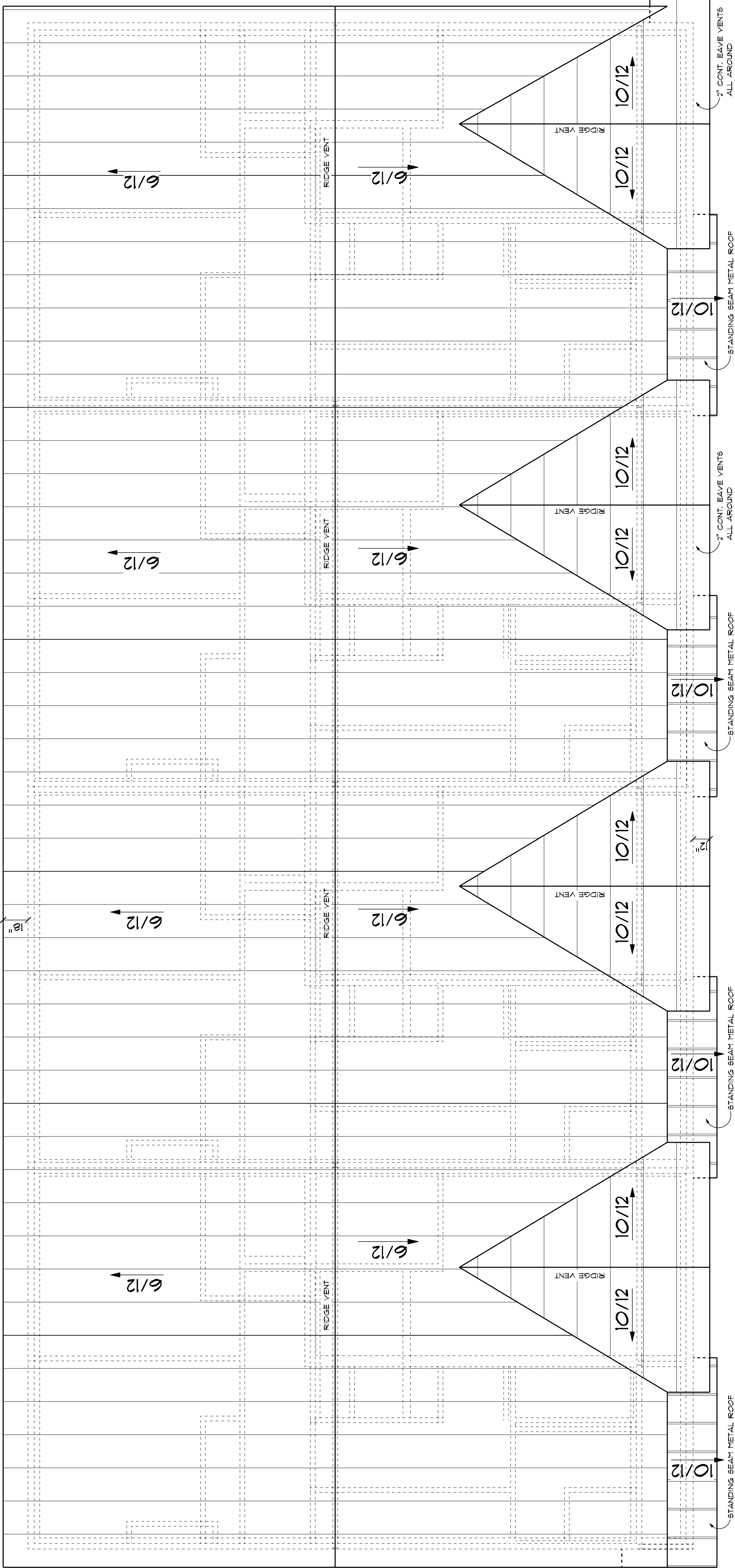
SCALE: 1/4" = 1'-0"

EAVE VENT

SCALE: 1/4" = 1'-0"

ATTIC HATCH

SCALE: 1/4" = 1'-0"



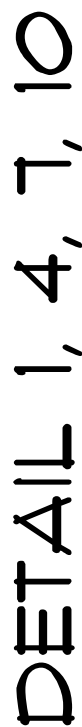
ROOF PLAN

SCALE: 1/4" = 1'-0"

Buttwood
2x6 slab

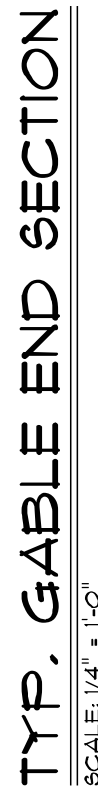
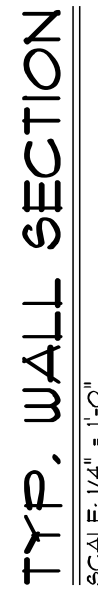
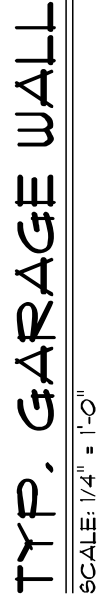


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CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"



SCALE: 1/4" = 1'-0"



NEW BUSINESS

ITEM 5

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Commercial Revitalization TIF Grant Request & Available Program Funding-Andrew Hendrian

Purpose

This memo provides a summary and staff review of the Commercial Revitalization TIF Grant application submitted by Andrew R. Hendrian for improvements to the property located at: PIN: 07-07-15-229-003 (zoned C-1)
 doc02937620260129104043

Mr. Hendrian is requesting the maximum grant amount of \$25,000.

Project Summary

The proposed project focuses on significant exterior site and visibility improvements intended to enhance the safety, functionality, and overall appearance of the property along the Route 51 corridor, which directly aligns with the intent of the Commercial Revitalization TIF Grant Program.

Scope of Improvements includes:

1. **Parking Lot Improvements**
 - o Resurfacing and rehabilitation of the existing parking lot
 - o Base and surface repairs
 - o New asphalt surface and striping for improved safety and access
2. **New Exterior Signage**
 - o Design, fabrication, and installation of compliant exterior signage
 - o Oriented toward Route 51 for improved visibility and wayfinding
3. **Additional Exterior Enhancements (if budget allows)**
 - o Landscaping, site lighting, or other exterior improvements

Project Costs

Estimated project costs based on preliminary contractor discussions:

Improvement	Estimated Cost
Parking Lot	\$40,000 – \$50,000
Signage	\$10,000 – \$15,000
Exterior Enhancements	\$5,000 – \$10,000
Total Estimated Cost	\$55,000 – \$75,000

The applicant has certified total project costs will exceed \$50,000 and has requested **\$25,000**, which represents less than 50% of the total project cost, consistent with program requirements.

Program Compliance

This application meets the requirements of the Commercial Revitalization TIF Grant Program:

- Property is located within the Forsyth TIF District
- Improvements are exterior and visible from Village streets

- Project enhances safety, aesthetics, and commercial viability
 - Applicant will provide bids, drawings, and documentation prior to reimbursement
 - Project will be completed within the required 180-day timeframe following approval
-

Funding Context

This request can be considered within that expanded funding capacity rather than the prior \$50,000 limitation.

Staff Recommendation

Staff finds this project to be a strong example of the type of redevelopment the program was designed to encourage, particularly along the Route 51 corridor, and recommends approval of the full grant request.

Suggested Motion

I move to approve the Commercial Revitalization TIF Grant request submitted by Andrew R. Hendrian in an amount not to exceed \$25,000, consistent with the requirements of the Commercial Revitalization TIF Grant Program and funded from the Forsyth TIF District Special Tax Allocation Fund.

**Forsyth TIF District
Village of Forsyth, Macon County, Illinois
Commercial Revitalization TIF Grant Program**

PROGRAM APPLICATION

Applicant Name: ANDREW R. HENDRIAN
Site Address: 105 S. ROUTE 51 Current Use: MULTI-USE Future Use: MULTI-USE
Subject Property Tax ID # 07-07-15-229-003 Current Zoning Type: C1
Property Owner Name(s): ANDREW R. HENDRIAN
Applicant Daytime Business Phone: 217-358-1277 Cell Phone: 217-358-1277
Applicant Mailing Address: PO BOX 333, FORSYTH, IL 62535 Email Address: Taxbuyer@AOL.com
Type of Business (check one) ☐ Service ☐ Retail ☒ Other (describe): RETAIL/APT/OFFICE/STORAGE
Anticipated Project Start Date: APRIL - MAY 2026 and Estimated Project Completion Date: JULY 2026
Total Project Costs: \$ 50,000 + (estimated costs must be verified upon completion of the Project).
Amount of Grant Financing Requested: \$ 25,000.

NOTE: All grants amounts are limited to 50% of total costs actually incurred for the Project, not to exceed \$25,000.00. Applicant must verify a minimum match of 50% of the total project costs.

Commercial Revitalization TIF Grant Program (the "Program") grants shall be awarded for TIF eligible project costs (pursuant to 65 ILCS 5/11-74.3-1 *et. seq.* as amended) that are incurred and verified for commercial facade renovation projects on a *first-come-first-served* basis, subject to the availability of funds and the approval of the Forsyth Village Board. **Please read the following requirements carefully.**

ADDITIONAL REQUIREMENTS:

1. Only properties located within the Forsyth TIF District Redevelopment Project Area (the "TIF Area" or "Area") are eligible to apply for the Program. The Forsyth TIF Redevelopment Project Area Boundary Map is provided and attached hereto in ***Appendix A***.
2. Property owners may apply for and receive Program (or its successor program) grants for the same property only one time per calendar year. Exceptions may be allowed for multiple tenants undertaking un-related leasehold improvements on the same property.
3. The maximum Program grant amount for each Project approved for the *Commercial Revitalization TIF Grant Program* shall not exceed Fifty-Percent (50%) of total project costs, or a single lump-sum reimbursement of **Twenty five Thousand and 00/100 Dollars (\$25,000.00)** per individual commercial property as identified by the Macon County real estate tax identification number, or a definable subdivision of such property (e.g., a tenant's leasehold improvements undertaken within a larger commercial plaza). Verification of Applicant's equity in the Project of not less than 50% of total project costs must be submitted and verified by the Village in advance of the Village's reimbursement from TIF Funds.
 - a. The Applicant's Project (the "Project") under the *Commercial Revitalization TIF Grant Program* may include the costs of renovation, rehabilitation, reconstruction, relocation, repair, or remodeling of the exterior facades of existing commercial buildings, including new or replacement signs, lighting and fixtures attached to buildings which face Village streets and are located within the TIF Area. Ancillary design engineering/architectural fees and interior renovations or repairs to the building which are

consequential to the exterior façade improvements are allowable if less than 50% of total verified project costs.

- b. The construction of new buildings, acquisition of personal property or equipment, roof repairs and general custodial and maintenance services shall not qualify for reimbursement by TIF grant funds relating to the *Commercial Revitalization TIF Grant Program*.
4. Applicants must, in advance of receiving Program grant funds: a) verify that the most recent real estate tax bill(s) have been paid for the Property; b) verify TIF eligible project costs in an amount equal to or greater than the amount awarded to the Program Applicant by the Village Board of Trustees; and c) verify the Applicant does not owe any outstanding debts or fines payable to the Village. **Program grant funds are paid by the Village of Forsyth to the Applicant upon completion of the Project and verification of TIF eligible project costs that have been incurred by the Applicant – no exceptions.** The Village's obligation hereunder to award grant funds for TIF eligible project costs is a limited obligation to be paid solely from the Forsyth TIF District Special Tax Allocation Fund.
5. All projects undertaken with Program grant funds must comply with any Village of Forsyth Codes, conform to local zoning, and must be completed within 180 days of the Village Board's approval of the Program Application. Applicant is responsible for obtaining required licenses and permits, if any, prior to undertaking the Project.
6. All projects must be located within the Forsyth TIF Redevelopment Project Area and are subject to review by the Village Staff prior to Village Board of Trustees approval and prior to payment of grant funds.
7. Business owners who are tenants of a building for which planned leasehold improvements will be paid for with Program grant funds must provide written consent from the property owner for all proposed improvements (see **Appendix B**).
8. All applications must attach a description of the planned improvements, estimated costs (contractor bids) of the project and projected start and completion dates. Conceptual sketches, photographs and drawings are encouraged. Colored renderings are preferred. The Village reserves the right to request additional information, including, but not limited to, how the building will be utilized (e.g., type of business) once the renovations are completed.
9. It is the understanding of the Village and the Applicant that the position of the Illinois Department of Labor is that the Illinois Prevailing Wage Act does not currently apply to TIF incentives that are received by private Developers as reimbursement for TIF Eligible Project Costs. This position of the Department of Labor is available online for further review at:
[forsythhttps://www.illinois.gov/idol/FAQs/Pages/prevailing-wage-faq.aspx](https://www.illinois.gov/idol/FAQs/Pages/prevailing-wage-faq.aspx).
10. The Forsyth Village Board of Trustees reserves the right to award grant funds only to those Applicants who undertake projects the Village deems to be compliant with the TIF Act, projects that the Village believes will further stimulate the type of commercial revitalization described in the Forsyth TIF District Redevelopment Plan, and projects that are in the best interests of the citizens of the Village of Forsyth (see **Appendix C**). The rights and obligations of the Applicant under this Program Application shall not be assignable by the Applicant without providing written notice to the Village and the Village's consent is obtained prior to such assignment.

The undersigned certifies and warrants that to the best of his/her knowledge the information contained in and attached to this Application Form is true, correct and complete and furthermore agrees to the terms and conditions provided herein. Nothing contained in this Program Application shall be construed by the Village or the Applicant or any third person to create the relationship of a partnership, agency, or joint venture between the Village and the Applicant. The Applicant hereby acknowledges that, in executing this Application Form, the Applicant has had the opportunity to seek the advice of independent legal counsel and has read and understood all of the terms and provisions of the Program. Subject to Village Board approval (**Appendix C**), this Program Application shall become a binding Redevelopment Agreement for which the undersigned hereby warrants full authority to both execute this Agreement and to bind the entity in which they are signing on behalf of.

Applicant Signature

Andrew R. Handman

Date: *01-05-26*

Commercial Revitalization TIF Grant Application

Property: 105 S. Route 51, Forsyth, IL 62535

Applicant: Andrew R. Hendrian

Requested Grant Amount: \$25,000 (50% matching reimbursement)

Project Overview

The proposed project consists of exterior site and visibility improvements to an existing commercial building located within the Forsyth TIF District. The improvements are intended to enhance site functionality, safety, and the overall exterior appearance of the property, while supporting long-term commercial use, occupancy, and economic activity along the Route 51 corridor.

Scope of Improvements

1. Parking Lot Improvements

- Resurfacing and rehabilitation of the existing parking lot to improve site access, drainage, safety, and exterior appearance. Work is anticipated to include surface preparation, localized base and surface repairs as needed, new asphalt surfacing, and striping.

2. Signage

- Design, fabrication, and installation of new exterior signage to improve visibility, wayfinding, and identification of the storage facility. Signage will comply with Village requirements and be oriented toward Route 51.

3. Exterior Enhancements

- If final bids for the parking lot and signage result in total project costs below the anticipated project budget, the project may also include additional exterior enhancements such as landscaping, site lighting, or related exterior improvements that further the goals of the Commercial Revitalization TIF Grant Program.

Estimated Project Costs

Based on preliminary discussions with contractors, total project costs are anticipated to exceed \$50,000. Estimated costs are as follows:

- Parking lot improvements: **\$40,000 – \$50,000**
- Signage (design, fabrication, installation): **\$10,000 – \$15,000**
- Ancillary exterior enhancements (as needed): **\$5,000 – \$10,000**

Estimated Total Project Cost: \$55,000 – \$75,000

Formal contractor bids and sign renderings are currently being prepared and are expected within the next two weeks. Final bids, drawings, and any additional documentation requested by the Village will be submitted promptly upon receipt.

Project Schedule

The project is expected to begin following Village Board approval and completion of any required permitting and to be completed within the 180-day timeframe required by the Commercial Revitalization TIF Grant Program.

Grant Request

The Applicant is requesting the maximum reimbursement of **\$25,000** under the Commercial Revitalization TIF Grant Program, representing 50% of eligible project costs. The Applicant will fund 100% of project costs upfront and understands that grant funds are reimbursed only after completion and verification of eligible expenses.

NEW BUSINESS

ITEM 6

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Commercial Revitalization TIF Grant Request – B & L Bloom Hospitality (Diamonds & Yolk)

Purpose

This memo provides a summary and staff review of the Commercial Revitalization TIF Grant application submitted by B & L Bloom Hospitality on behalf of Diamonds & Yolk for exterior improvements to their commercial property located within the Forsyth TIF District. The applicant is requesting **\$25,000** in grant funding.

Project Summary

The project consists of exterior signage improvements to the building occupied by Diamonds & Yolk. The improvements are intended to enhance:

- Visibility from Village streets
- Exterior appearance of the property
- Wayfinding and identification for patrons
- Overall commercial presentation along the corridor

A contractor proposal for the signage work is included with the application materials.

Project Costs

- **Total Project Cost:** Approximately **\$60,000**
- **Grant Request:** **\$25,00**

This request represents less than 50% of the total project cost and is consistent with the program requirement that applicants provide a minimum 50% equity match.

Program Compliance

This application meets the requirements of the Commercial Revitalization TIF Grant Program:

- Property is located within the Forsyth TIF District
 - Improvements are exterior and visible from Village streets
 - Work complies with Village codes and zoning
 - Applicant has provided contractor documentation
 - Project will be completed within the 180-day requirement following approval
 - Landlord consent form is included for the leasehold improvement
-

Staff Review

While modest in size, this project aligns directly with the intent of the Commercial Revitalization TIF Grant Program — improving the exterior appearance and visibility of existing commercial businesses and contributing to the overall aesthetic quality of Forsyth's commercial areas.

Recommendation

Staff recommends approval of the \$25,000 grant request.

Suggested Motion

I move to approve the Commercial Revitalization TIF Grant request submitted by B & L Bloom Hospitality (Diamonds & Yolk) in an amount not to exceed \$25,000, consistent with the requirements of the Commercial Revitalization TIF Grant Program and funded from the Forsyth TIF District Special Tax Allocation Fund.

No. _____

**Forsyth TIF District
Village of Forsyth, Macon County, Illinois
Commercial Revitalization TIF Grant Program**

PROGRAM APPLICATION

Applicant Name: DIAMONDS & YOLK

Site Address: 927 S Route 51 Current Use: Closed Future Use: Restaurant

Subject Property Tax ID # 39 3194 298 Current Zoning Type: Commercial

Property Owner Name(s): Bite & Bloom Hospitality

Applicant Daytime Business Phone: 217-801-0366 Cell Phone: SAME

Applicant Mailing Address: 519 Lucas Lane Forsyth, IL Email Address: bujar1man1@icloud.com

Type of Business (check one) ☒ Service ☐ Retail ☐ Other (describe): _____

Anticipated Project Start Date: 01-01-26 and Estimated Project Completion Date: 04-2026

Total Project Costs: \$ 600,000 (estimated costs must be verified upon completion of the Project).

Amount of Grant Financing Requested: \$ 25,000

NOTE: All grant amounts are limited to 50% of total costs actually incurred for the Project, not to exceed \$25,000.00. Applicant must verify a minimum match of 50% of the total project costs.

Commercial Revitalization TIF Grant Program (the "Program") grants shall be awarded for TIF eligible project costs (pursuant to 65 ILCS 5/11-74.3-1 *et. seq.* as amended) that are incurred and verified for commercial facade renovation projects on a *first-come-first-served* basis, subject to the availability of funds and the approval of the Forsyth Village Board. **Please read the following requirements carefully.**

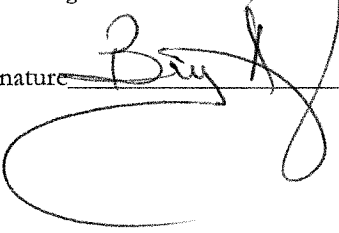
ADDITIONAL REQUIREMENTS:

1. Only properties located within the Forsyth TIF District Redevelopment Project Area (the "TIF Area" or "Area") are eligible to apply for the Program. The Forsyth TIF Redevelopment Project Area Boundary Map is provided and attached hereto in **Appendix A**.
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3. The maximum Program grant amount for each Project approved for the *Commercial Revitalization TIF Grant Program* shall not exceed Fifty-Percent (50%) of total project costs, or a single lump-sum reimbursement of **Twenty-Five Thousand and 00/100 Dollars (\$25,000.00)** per individual commercial property as identified by the Macon County real estate tax identification number, or a definable subdivision of such property (e.g., a tenant's leasehold improvements undertaken within a larger commercial plaza). Verification of Applicant's equity in the Project of not less than 50% of total project costs must be submitted and verified by the Village in advance of the Village's reimbursement from TIF Funds.
 - a. The Applicant's Project (the "Project") under the *Commercial Revitalization TIF Grant Program* may include the costs of renovation, rehabilitation, reconstruction, relocation, repair, or remodeling of the exterior facades of existing commercial buildings, including new or replacement signs, lighting and fixtures attached to buildings which face Village streets and are located within the TIF Area. Ancillary design engineering/architectural fees and interior renovations or repairs to the building which are

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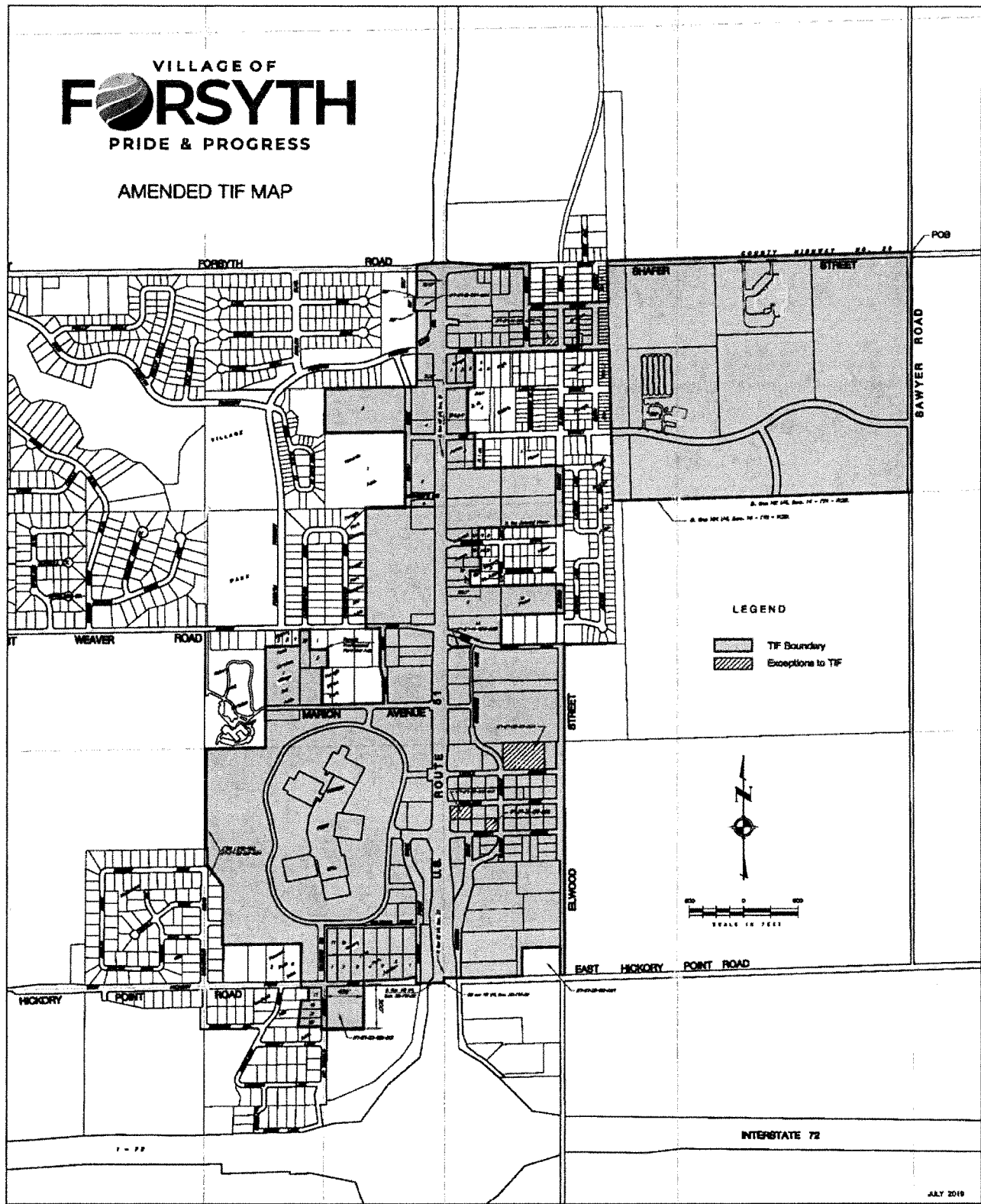
- b. The construction of new buildings, acquisition of personal property or equipment, roof repairs and general custodial and maintenance services shall not qualify for reimbursement by TIF grant funds relating to the *Commercial Revitalization TIF Grant Program*.
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5. All projects undertaken with Program grant funds must comply with any Village of Forsyth Codes, conform to local zoning, and must be completed within 180 days of the Village Board's approval of the Program Application. Applicant is responsible for obtaining required licenses and permits, if any, prior to undertaking the Project.
6. All projects must be located within the Forsyth TIF Redevelopment Project Area and are subject to review by the Village Staff prior to Village Board of Trustees approval and prior to payment of grant funds.
7. Business owners who are tenants of a building for which planned leasehold improvements will be paid for with Program grant funds must provide written consent from the property owner for all proposed improvements (see **Appendix B**).
8. All applications must attach a description of the planned improvements, estimated costs (contractor bids) of the project and projected start and completion dates. Conceptual sketches, photographs and drawings are encouraged. Colored renderings are preferred. The Village reserves the right to request additional information, including, but not limited to, how the building will be utilized (e.g., type of business) once the renovations are completed.
9. It is the understanding of the Village and the Applicant that the position of the Illinois Department of Labor is that the Illinois Prevailing Wage Act does not currently apply to TIF incentives that are received by private Developers as reimbursement for TIF Eligible Project Costs. This position of the Department of Labor is available online for further review at:
<https://www2.illinois.gov/idol/FAQs/Pages/prevailing-wage-faq.aspx>.
10. The Forsyth Village Board of Trustees reserves the right to award grant funds only to those Applicants who undertake projects the Village deems to be compliant with the TIF Act, projects that the Village believes will further stimulate the type of commercial revitalization described in the Forsyth TIF District Redevelopment Plan, and projects that are in the best interests of the citizens of the Village of Forsyth (see **Appendix C**). The rights and obligations of the Applicant under this Program Application shall not be assignable by the Applicant without providing written notice to the Village and the Village's consent is obtained prior to such assignment.

The undersigned certifies and warrants that to the best of his/her knowledge the information contained in and attached to this Application Form is true, correct and complete and furthermore agrees to the terms and conditions provided herein. Nothing contained in this Program Application shall be construed by the Village or the Applicant or any third person to create the relationship of a partnership, agency, or joint venture between the Village and the Applicant. The Applicant hereby acknowledges that, in executing this Application Form, the Applicant has had the opportunity to seek the advice of independent legal counsel and has read and understood all of the terms and provisions of the Program. Subject to Village Board approval (**Appendix C**), this Program Application shall become a binding Redevelopment Agreement for which the undersigned hereby warrants full authority to both execute this Agreement and to bind the entity in which they are signing on behalf of.

Applicant Signature  Date: 01-01-26

APPENDIX A

Forsyth TIF District Redevelopment Project Area Boundary Map



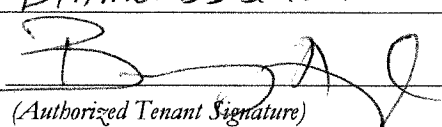
APPENDIX B

Tenant/Applicant Letters of Intent

FROM TENANT/APPLICANT TO VILLAGE OF FORSYTH

We the undersigned are the owners and operators of a business known as DIAMONDS & YOLK, located on property at 927 S Route 51 (PIN _____), and hereby disclose our intent as Tenants of said Property to incur certain eligible project costs as "Leasehold Improvements" for which we shall request reimbursement from the Forsyth TIF District Special Tax Allocation Fund pursuant to the terms and conditions provided herein for the *Commercial Revitalization TIF Grant Program*.

DIAMONDS & YOLK (Print or type business name)

BY: Date: 6-1-26

(Authorized Tenant Signature)

STATE OF ILLINOIS
COUNTY OF MACON

I, the undersigned Notary Public, do hereby affirm that _____ personally appeared before me on the _____ day of _____, _____, and signed the above Affidavit as his/her free and voluntary act and deed.

Notary Public

FROM PROPERTY OWNER/LANDLORD TO VILLAGE OF FORSYTH

As the owner of the above described property, I the undersigned hereby provide the above-named Tenant my consent to undertake "Leasehold Improvements" on said property, whereby they shall incur certain eligible project costs for which they shall request reimbursement from the Forsyth TIF District Special Tax Allocation Fund pursuant to the terms and conditions provided herein. Furthermore, as a signatory to this *Commercial Revitalization TIF Grant Program Application*, I do hereby direct the Village of Forsyth to make the TIF grant payment awarded by the Village for this Project payable to the Tenant/Applicant.

BY: _____ Date: _____

(Signature)

PRINTED NAME: _____

STATE OF ILLINOIS
COUNTY OF MACON

I, the undersigned Notary Public, do hereby affirm that _____ personally appeared before me on the _____ day of _____, _____, and signed the above Affidavit as his/her free and voluntary act and deed.

Notary Public

Jill Applebee

From: Bujar Limani <bujarlimani1@icloud.com>
Sent: Friday, January 16, 2026 9:55 AM
To: Jill Applebee
Subject: Sign pricing

Good morning Jill here is the Sign pricing

[illegible]

Bujar Limani

NEW BUSINESS

ITEM 7

MEMORANDUM

To: The Honorable President and Board of Trustees
From: Jill Applebee, Village Administrator
Date: February 3, 2026
Subject: Commercial Revitalization TIF Grant Request – Four, Inc. (Jimmy John’s), Hickory Point Commons

Purpose

This memo provides a summary and staff review of a Commercial Revitalization TIF Grant application submitted by Four, Inc., operator of Jimmy John’s, for exterior improvements at the property located within the Forsyth TIF District.

The applicant is requesting **\$21,000** in grant funding.

Applicant & Property Information

- **Business:** Jimmy John’s
- **Applicant:** Four, Inc.
- **Property Owner:** Hickory Point Commons, LLC
- **Zoning:** Commercial
- **Property Location:** Within the Forsyth TIF District
- **Anticipated Project Start:** April 15, 2026
- **Estimated Completion:** July 15, 2026

Project Summary

The proposed project includes multiple exterior improvements intended to enhance visibility, functionality, and customer experience, while improving the overall appearance of the commercial site.

Proposed improvements include:

- Replacement and installation of **new exterior signage**, including menu boards and drive-thru signage
- **Speaker post and audio equipment** upgrades
- Drive-thru and parking-related signage
- Associated exterior fixtures and site elements tied to the drive-thru operation

Supporting invoices, vendor proposals, and equipment specifications were submitted with the application.

Project Costs

- **Total Project Cost:** \$42,000
- **Grant Amount Requested:** \$21,000

The requested grant represents **50% of total project costs**, which is the maximum allowed under the Commercial Revitalization TIF Grant Program and does not exceed the per-project cap.

Program Compliance

Staff has reviewed the application and finds it compliant with the Commercial Revitalization TIF Grant Program requirements:

- Property is located within the Forsyth TIF District

- Improvements are exterior and visible from public areas
 - Grant request does not exceed 50% of project costs
 - Project supports continued commercial use and investment
 - Project will be completed within the required **180-day timeframe** following Board approval
 - Property owner consent documentation is included
-
-

Staff Recommendation

Staff recommends approval of the Commercial Revitalization TIF Grant request in the amount of **\$21,000**, subject to verification of eligible costs and completion in accordance with program requirements.

Suggested Motion

I move to approve the Commercial Revitalization TIF Grant request submitted by Four, Inc. (Jimmy John's) in an amount not to exceed \$21,000, consistent with the requirements of the Commercial Revitalization TIF Grant Program and funded from the Forsyth TIF District Special Tax Allocation Fund.

No. _____

**Forsyth TIF District
Village of Forsyth, Macon County, Illinois
Commercial Revitalization TIF Grant Program**

PROGRAM APPLICATION

Applicant Name: jFour, Inc. c/o Joe Erickson

Site Address: 1351 Hickory Point Dr., Ste. D Current Use: Restaurant Future Use: Restaurant

Subject Property Tax ID # 07-07-22-277-004 Current Zoning Type: _____

Property Owner Name(s): HICKORY POINT COMMONS LLC

Applicant Daytime Business Phone: 217-362-2040 Cell Phone: 217-519-2682

Applicant Mailing Address: PO Box 284, Decatur, Illinois 62525 Email Address: jerickson@j3subs.com

Type of Business (check one) ☐ Service ☒ Retail ☐ Other (describe): _____

Anticipated Project Start Date: April 15, 2026 and Estimated Project Completion Date: July 15, 2026

Total Project Costs: \$ \$42,000 (estimated costs must be verified upon completion of the Project).

Amount of Grant Financing Requested: \$ \$21,000.

NOTE: All grants amounts are limited to 50% of total costs actually incurred for the Project, not to exceed \$25,000.00. Applicant must verify a minimum match of 50% of the total project costs.

Commercial Revitalization TIF Grant Program (the "Program") grants shall be awarded for TIF eligible project costs (pursuant to 65 ILCS 5/11-74.3-1 *et. seq.* as amended) that are incurred and verified for commercial facade renovation projects on a *first-come-first-served* basis, subject to the availability of funds and the approval of the Forsyth Village Board. **Please read the following requirements carefully.**

ADDITIONAL REQUIREMENTS:

1. Only properties located within the Forsyth TIF District Redevelopment Project Area (the "TIF Area" or "Area") are eligible to apply for the Program. The Forsyth TIF Redevelopment Project Area Boundary Map is provided and attached hereto in ***Appendix A***.
2. Property owners may apply for and receive Program (or its successor program) grants for the same property only one time per calendar year. Exceptions may be allowed for multiple tenants undertaking un-related leasehold improvements on the same property.
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2. The Applicant's Project (the "Project") under the *Commercial Revitalization TIF Grant Program* may include the costs of renovation, rehabilitation, reconstruction, relocation, repair, or remodeling of the exterior facades of existing commercial buildings, including new or replacement signs, lighting and fixtures attached to buildings which face Village streets and are located within the TIF Area. Ancillary design engineering/architectural fees and interior renovations or repairs to the building which are

consequential to the exterior façade improvements are allowable if less than 50% of total verified project costs.

- b. The construction of new buildings, acquisition of personal property or equipment, roof repairs and general custodial and maintenance services shall not qualify for reimbursement by TIF grant funds relating to the *Commercial Revitalization TIF Grant Program*.
4. Applicants must, in advance of receiving Program grant funds: a) verify that the most recent real estate tax bill(s) have been paid for the Property; b) verify TIF eligible project costs in an amount equal to or greater than the amount awarded to the Program Applicant by the Village Board of Trustees; and c) verify the Applicant does not owe any outstanding debts or fines payable to the Village. **Program grant funds are paid by the Village of Forsyth to the Applicant upon completion of the Project and verification of TIF eligible project costs that have been incurred by the Applicant – no exceptions.** The Village's obligation hereunder to award grant funds for TIF eligible project costs is a limited obligation to be paid solely from the Forsyth TIF District Special Tax Allocation Fund.
5. All projects undertaken with Program grant funds must comply with any Village of Forsyth Codes, conform to local zoning, and must be completed within 180 days of the Village Board's approval of the Program Application. Applicant is responsible for obtaining required licenses and permits, if any, prior to undertaking the Project.
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9. It is the understanding of the Village and the Applicant that the position of the Illinois Department of Labor is that the Illinois Prevailing Wage Act does not currently apply to TIF incentives that are received by private Developers as reimbursement for TIF Eligible Project Costs. This position of the Department of Labor is available online for further review at:
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10. The Forsyth Village Board of Trustees reserves the right to award grant funds only to those Applicants who undertake projects the Village deems to be compliant with the TIF Act, projects that the Village believes will further stimulate the type of commercial revitalization described in the Forsyth TIF District Redevelopment Plan, and projects that are in the best interests of the citizens of the Village of Forsyth (see *Appendix C*). The rights and obligations of the Applicant under this Program Application shall not be assignable by the Applicant without providing written notice to the Village and the Village's consent is obtained prior to such assignment.

The undersigned certifies and warrants that to the best of his/her knowledge the information contained in and attached to this Application Form is true, correct and complete and furthermore agrees to the terms and conditions provided herein. Nothing contained in this Program Application shall be construed by the Village or the Applicant or any third person to create the relationship of a partnership, agency, or joint venture between the Village and the Applicant. The Applicant hereby acknowledges that, in executing this Application Form, the Applicant has had the opportunity to seek the advice of independent legal counsel and has read and understood all of the terms and provisions of the Program. Subject to Village Board approval (*Appendix C*), this Program Application shall become a binding Redevelopment Agreement for which the undersigned hereby warrants full authority to both execute this Agreement and to bind the entity in which they are signing on behalf of.

Applicant Signature

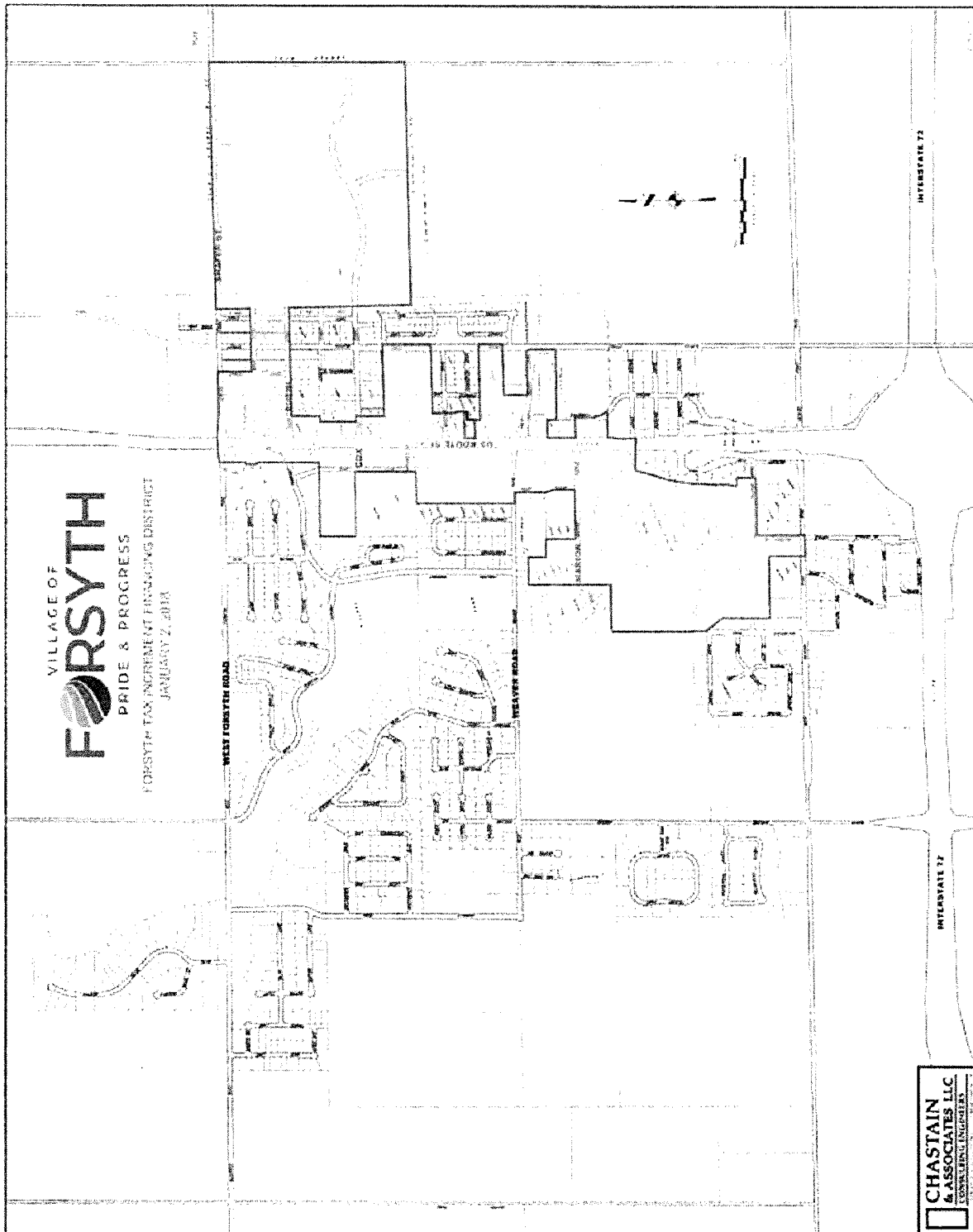
CEO of jFour, Inc.

Date:

1-8-26

APPENDIX A

Forsyth TIF District Redevelopment Project Area Boundary Map



APPENDIX B

Tenant/Applicant Letters of Intent

FROM TENANT/APPLICANT TO VILLAGE OF FORSYTH

We the undersigned are the owners and operators of a business known as jFour, Inc. operating a Jimmy Johns Franchise, located on property at 1351 Hickory Point Dr., Ste. D, Forsyth, Illinois (PIN 07-07-22-277-004), and hereby disclose our intent as Tenants of said Property to incur certain eligible project costs as "Leasehold Improvements" for which we shall request reimbursement from the Forsyth TIF District Special Tax Allocation Fund pursuant to the terms and conditions provided herein for the *Commercial Revitalization TIF Grant Program*.

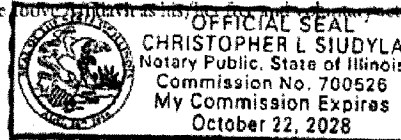
jFour, Inc. (Print or type business name)

BY: [Signature] CEO Date: 1-8-26
(Authorized Tenant Signature)

STATE OF ILLINOIS COUNTY
OF MACON

I, the undersigned Notary Public, do hereby affirm that Joseph C. Erickson, CEO, jFour, Inc. personally appeared before me on the 8th day of January, 2026, and signed the above Affidavit as his/her free and voluntary act and deed.

[Signature]
Notary Public

**FROM PROPERTY OWNER/LANDLORD TO VILLAGE OF FORSYTH**

As the owner of the above described property, I the undersigned hereby provide the above-named Tenant my consent to undertake "Leasehold Improvements" on said property, whereby they shall incur certain eligible project costs for which they shall request reimbursement from the Forsyth TIF District Special Tax Allocation Fund pursuant to the terms and conditions provided herein. Furthermore, as a signatory to this *Commercial Revitalization TIF Grant Program Application*, I do hereby direct the Village of Forsyth to make the TIF grant payment awarded by the Village for this Project payable to the Tenant/Applicant.

BY: _____ Date: _____
(Signature)

PRINTED NAME: _____

STATE OF ILLINOIS COUNTY
OF MACON

I, the undersigned Notary Public, do hereby affirm that _____ personally appeared before me on the _____ day of _____, _____, and signed the above Affidavit as his/her free and voluntary act and deed.

Notary Public

APPENDIX C

Commercial Revitalization TIF Grant Program

Village of Forsyth, Illinois

APPROVAL FORM FOR VILLAGE USE ONLY

Applicant Name: _____ Property Address: _____

Date application received by the Village of Forsyth: ____ / ____ / ____ by _____ Request

Verified as TIF Eligible Project Cost: ☐ Yes ☐ No (reason: _____)

Recommended by Village Staff: ☐ Yes, date: ____ / ____ / ____

☐ No (reason: _____)

GRANT AMOUNT: \$ _____,

(Subject to Village Board Approval and Verification of TIF Eligible Project Costs)

Grant **APPROVED** by the President and Village Board of Trustees of the Village of Forsyth on the ____ day of ____ / ____.

PRESIDENT & BOARD OF TRUSTEES	AYE VOTE	NAY VOTE	ABSTAIN / ABSENT
TOTAL VOTES:			

Project grant approved by Village Board: ☐ Yes _____ ☐ No (reason: *see attached*)

APPROVED: _____ Date ____ / ____ / ____

President, Village of Forsyth

ATTEST: _____ Date: ____ / ____ / ____

Village Clerk, Village of Forsyth

Completion of Project verified on ____ / ____ / ____.

Verification of Applicant's actual TIF Eligible Project Costs
as reviewed by Jacob & Klein, Ltd. and The Economic Development Group, Ltd on ____ / ____ / ____.

Village grant payment issued to applicant on ____ / ____ / ____ Check No. _____.

jFour, Inc. Forsyth Exterior Improvements Estimates

Work Item	2023 Quote	2026 Forsyth Estimate	Comment
Exterior Signage	\$ 20,348.34	\$ 30,000.00	See 2023 quote attached
Storefront Work	\$ 663.68	\$ 1,000.00	See 2023 B&B Invoice
Drive Thru Menu Case	\$ 4,425.40	\$ 6,500.00	See KEC Quote
Outdoor Waste Recep	\$ 490.50	\$ 600.00	See KEC Quote
Speaker Post	\$ 951.00	\$ 1,100.00	See KEC Quote
Drive Thru Menu Signage		\$ 161.08	See Attached
JJ Parking Signage		\$ 213.00	See Attached
Misc.		\$ 2,425.92	Estimate
		\$ 42,000.00	



CORPORATE HEADQUARTERS - 6434 Burnt Poplar Rd, Greensboro NC 27409 - (336) 668-2791 / 800-967-2553
 FLORIDA DIVISION - 11351 49th Street North, Clearwater FL 33762 - (727) 573-3076 / 800-677-3076
 ARCHITECTURAL DIVISION - 4100 Sheraton Court, Greensboro, NC 27410 - (336) 394-4777 / 888-294-2007
 ARIZONA DIVISION - 5502 West Hadley St, Phoenix AZ 85043 - (602) 759-8187
 OHIO DIVISION - 7844 W. Central Ave., Toledo, OH 43617 - (419) 841-6656 / 800-338-9773
 MT. AIRY DIVISION - 609 Junction St., Mt. Airy, NC 27030 - (336) 394-4777 / 888-294-2007

PROPOSAL / CONTRACT

Bill To:

Jimmy Johns #1761852 (J3 Subs)
 398 1st Dr
 Decatur, IL 62521 US
 ATTENTION:

Site Location:

Jimmy Johns - 398 1st Ave. Decatur, IL 62521
 Jimmy Johns #1761852
 398 1st Dr
 Decatur, IL 62521 US

Date: 8/17/2023

Expiration Date: 9/16/23

Estimate: E7729

Customer #: C11562

Project Mgr: Craig Cole

Item	Part Number	Qty	UOM	Unit Price	Total Price
001	JJ0010-RW 36" Red "JJ", 17.4"/ 14.3" stacked White copy - RWM mounted	1.0	EA	\$3,118.00	\$3,118.00
002	JJ0017-RW 36" Red JJ, 22.2"/18.1" White Lineal Copy - RW mounted	1.0	EA	\$3,593.00	\$3,593.00
003	JJ0002 22.2" x 49" S/F DT Cabinet - Stacked, Remote, flat face 22.2" Jimmy Johns	1.0	EA	\$458.00	\$458.00
004	JJ-FR12.1-16-SF 12.1 to 16 SF / Flat Lexan with Copy	2.0	EA	\$493.00	\$986.00
005	IN-INS-PM Installation	1.0	EA	\$7,297.00	\$7,297.00
006	IN-PA Permit acquisition fee to be billed at cost.	1.0	EA	\$350.00	\$350.00
007	IN-P Permits to be billed at cost.	1.0	EA	\$0.00	\$0.00
008	IN-FR Freight	1.0	EA	\$1,110.07	\$1,110.07
009	IN-SUR Site Survey	1.0	EA	\$350.00	\$350.00
010	JJ0015 16 X 36 - 36" OAH Dir Sign w/ pole.	2.0	EA	\$943.00	\$1,886.00
011	JJ0039 14.0" x 102.5" SF DT Cabinet - Lineal, remote, flat faces / Use with 36" Ltrs	1.0	EA	\$539.00	\$539.00

Payment Terms: Pre-payment

Remit Payment To: Allen Industries, Inc.
P.O. Box 890290
Charlotte, NC 28289-0290

Sales Amount:	\$19,687.07
Sales/Use Tax:	\$661.27
Grand Total:	\$ 20,348.34 USD

GENERAL NOTES:

1. Freight is estimated based on current pricing and subject to verification upon actual shipment.
2. Install prices are based on installation being performed during normal business hours. Price does not include installing during holidays, after hours or weekends. If installation is required during these hours an overtime rate will apply with written approval by customer prior to installation work performed.
3. Approved drawing required for each sign item above prior to production.
4. Unless stated above price above does not include removals, any removals will be done on a time and material basis.
5. A 3% processing fee will be applied on all credit card payments.
6. Above Price does not include excavation of existing foundation.

UNLESS STATED ABOVE THIS PROPOSAL DOES NOT INCLUDE APPLICABLE STATE SALES TAX, INSTALLATION, PERMITS, SECURING OF PERMITS, ENGINEERING, ENGINEER DRAWINGS, SURVEYS, FREIGHT OR TRAVEL, OR RUNNING OF THE 110 VOLT CIRCUITS TO SIGN.

****INTERNATIONAL ORDERS:** Any taxes and/or fees due upon product arrival at port are paid by customer and not included in this estimate. Inland delivery is not included.

THIS PROPOSAL IS VALID FOR 30 DAYS FROM THE DATE INDICATED ABOVE

Customer's Initials: _____

ADDITIONAL TERMS AND CONDITIONS

1. Commitment under Contract. This proposal and agreement (this "Contract") is made by the undersigned individual(s) or entity identified as the customer on the signature page below ("Customer") and Allen Industries, Inc. ("Allen") for specifically constructed signs (each, a "Sign"), building elements or related items or equipment (each, a "Sign Product"), and sign installation services ("Installation Services") as described herein. Allen shall not be responsible for errors in plans, designs, specifications or drawings furnished by Customer or for defects caused thereby. The prices and any additional terms and conditions stated in this Contract are offered for acceptance by Customer within thirty (30) days from the date shown on the face of this Contract. After acceptance by Customer, this Contract shall govern the purchase by Customer of Signs, Sign Products and Installation Services hereunder and may not be modified or cancelled by Customer.

2. Customer Responsibilities; Unforeseeable Circumstances

(a) Except with respect to a permit that Allen agrees to obtain hereunder, Customer agrees to secure all necessary governmental permits and/or all necessary consent from the building owner and/or others whose permission is required for the installation of any Sign or Sign Product. Customer agrees to secure all necessary licenses or applicable permissions for the use of all registered trademarks or copyrights used on any Sign or Sign Product. Unless Allen agrees to obtain a sign permit hereunder, Customer assumes all liability with regard to failure to obtain any required permit, license or permission relating to the installation of any Sign or Sign Product hereunder and to the use of any Sign or Sign Product content.

(b) In cases where Allen agrees to secure sign permits, base charges and expenses will be listed in this Contract, however, Customer acknowledges and agrees that any actual extra charges and expenses incurred by Allen, in the form of fees assessed by the permitting authority or additional administrative expenses, incurred in securing sign permits will be passed through and billed to Customer at the time such charges are assessed such that all costs associated with the permitting process are the responsibility of Customer. Without limiting the foregoing, there will be an extra charge for engineered foundation and structural drawings required for permit purposes as specified in the Contract. Allen assumes no responsibility for (i) any erroneous information supplied by Customer for permit purposes; (ii) the erroneous issuance of a permit by any permitting authority; or (iii) the failure of any permitting authority to issue a permit.

(c) All necessary electrical wiring, outlets and connections to the Sign or Sign Product from the building meter and/or fuse panel will be the responsibility of Customer.

(d) Prices for Installation Services quoted in this Contract are subject to revision where excessive and unforeseeable conditions exist or are encountered.

(e) Unless specifically quoted in this Contract, Customer will be responsible for all wall repair and painting in any location where a sign is removed.

3. Foundation Requirements. This Contract is based upon the necessary structure and foundation for free-standing sign(s) in conformance with certain design criteria and engineering by Allen or an engineering firm approved by Allen. The design and engineering are based upon undisturbed soil, without underground obstructions, and with a sub-surface water table no higher than the lowest point of the foundation. In the event that disturbed soil, underground obstruction (including excess rock), or high sub-surface water level shall be encountered at the location of any Sign specified by Customer, Customer shall be responsible for all costs and expenses necessary to prepare the site for installation of the foundation and structure and such amounts shall be paid to Allen in addition to the contract price for the Sign and Installation Services set forth in this Contract. Customer shall have the alternative of selecting another site for the Sign specified in the Contract under the same terms and conditions set forth herein. If, after Installation Services have been initiated, it shall be discovered that the site is unsuitable by reason of disturbed soil, underground obstruction, or high sub-surface water level, then Customer shall be responsible for and shall pay Allen for all additional costs and expenses for work expended by Allen on the site, or if a different site is selected by Customer, for its costs and expenses at any site where said obstacles are encountered.

4. Warranty and Limitation of Liability. Allen unconditionally warrants each Sign and Sign Product against defective workmanship and materials for one (1) year from date of shipment or, if installation of the Sign or Sign Product is performed by Allen, the date of such installation. Whenever there is any circumstance on which a claim might be based, Customer must promptly inform Allen no later than ten (10) business days after Customer's discovery of the circumstance or the provisions of this warranty are voided. Allen shall not be liable for any damages or losses other than the repair or replacement of any defective workmanship or material furnished by Allen. The warranty made by Allen in this section shall not include damage or loss caused by any act of God, fire, windstorm, vandalism, or any other circumstance whatsoever beyond Allen's control. Customer shall remain responsible for all liability, public and otherwise, for damages caused by any Sign or Sign Product or by reason of it being on or attached to the premises.

ALLEN SHALL NOT BE LIABLE TO CUSTOMER FOR ANY INDIRECT, INCIDENTAL, SPECIAL OR CONSEQUENTIAL DAMAGES ARISING OUT OF THIS CONTRACT OR THE DELIVERY OF ANY SIGN OR SIGN PRODUCT OR THE PROVISION OF INSTALLATION SERVICES HEREUNDER, EVEN IF IT HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES, INCLUDING, WITHOUT

LIMITATION, DAMAGES FOR LOSS OF GOODWILL, OR ANY OTHER COMMERCIAL DAMAGES OR LOSSES.

THE WARRANTY SET FORTH IN THIS SECTION IS THE SOLE WARRANTY OFFERED BY ALLEN FOR SIGNS, SIGN PRODUCTS AND INSTALLATION SERVICES. ALLEN HEREBY DISCLAIMS ANY AND ALL OTHER WARRANTIES, INCLUDING, WITHOUT LIMITATION, ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

5. Customer Delay and Payment. Any Sign or Sign Product under this Contract that is not shipped or installed within thirty (30) days after the date that Allen completes the manufacture of such Sign or Sign Product will be invoiced in full at the designated unit price, and Customer hereby agrees to pay said invoice within ten (10) days from the invoice date. Customer further acknowledges and agrees that storage charges shall accrue at the rate of one percent (1%) per month of the price of the Sign or Sign Product commencing at the end of said thirty (30) day period. Allen, at its option, may invoice each Sign or Sign Product called for in the Contract separately upon completion, or, if for reasons beyond its control, completion is delayed, it may invoice for that portion of the work completed during any given month. In the event that size and weight of any Sign or Sign Product prohibits storage by Allen on its own property, Allen shall provide written notice to Customer specifying the date that such Sign or Sign Product shall be ready for shipment, and Customer must make arrangements for immediate shipment on such date.

6. Payment Terms and Extension of Credit. Payment for Signs and Sign Products purchased under this Contract shall be made on receipt of invoices submitted. In the event payment is not made as agreed, Customer agrees to pay a service charge on past due amounts at the rate of one and one-half percent (1½%) per month. If this Contract is placed with an attorney for enforcement by Allen, Customer shall pay all costs and expenses incurred by Allen related to such enforcement, including, without limitation, Allen's reasonable attorneys' fees. Customer acknowledges and agrees that, with respect to any purchase for which Customer seeks an extension of credit by Allen, Allen maintains the right to request (or require) that Customer and/or its owners execute a personal guaranty in the form designated by Allen. Once executed, any such personal guaranty shall remain in full force and effect with respect to this Contract and any other agreement between Allen and Customer.

7. Shipment. Unless otherwise agreed in writing by Allen, all Signs and Sign Products sold to Customer hereunder shall be delivered FOB place of shipment. Customer shall bear all risk of loss following delivery of such products to the common carrier or a delivery company.

8. Taxes. Customer acknowledges that the sale of any Sign and Sign Products by Allen to Customer hereunder may be subject to a use tax, sales tax, excise tax, contractor's use tax, duty, custom, inspection or testing fee, or other tax, fee or charge under a statute, ordinance or regulation imposed by a state or other governmental entity (each, a "Tax or Fee"). In certain instances, an exemption may be available with respect to a Tax or Fee (an "Exemption"). An estimate of any known Tax or Fee may be included in the quote for this Contract. Unless there is an applicable Exemption, Customer shall be responsible for the payment of the actual amount of any Tax or Fee, regardless of whether there is an estimate of such Tax or Fee in the quote. If there is an applicable Exemption, Customer shall provide to Allen at the time of the execution of this Contract a current and valid exemption certificate or other document acceptable to a governmental entity with the authority to impose any such Tax or Fee. Said exemption certificate shall meet all statutory requirements required to exempt the sale by Allen to Customer from the applicable Tax or Fee. In the event Customer fails to provide a certificate documenting an applicable Exemption, or if it is determined by any state, local or other governmental authority that the certificate provided to Allen by Customer is invalid for any reason whatsoever and an assessment of a Tax or Fee is imposed by any state, local or other governmental authority on Allen as a result of the transaction between Customer and Allen, then Customer agrees to immediately either pay said assessment in full to the governmental authority or reimburse Allen for any and all amounts paid by it to the governmental authority including, without limitation, any penalties and interest, that result from the assessment. Said payment or reimbursement shall be made by Customer to the governmental authority or Allen without offset or reduction of any kind. The terms and conditions of this section and all related requirements imposed on the Customer shall survive the termination or expiration of this Contract.

9. Force Majeure. Neither party shall be liable for any failure of or delay in the performance of this Contract for the period that such failure or delay is caused by or due to acts of God, public enemy, war, strikes or labor disputes, floods, fires, accidents, acts of terrorism, inability to obtain sufficient labor or materials, or any legislative, administrative or executive law, order, or requisition of the federal government or any state or municipal government or any subdivision, department or office thereof, or any other cause beyond the parties' reasonable control, including, without limitation, any power outages, loss of telephone or Internet connectivity or similar occurrences that might result from the acts or omissions of third party providers (each a "Force Majeure"), it being understood that lack of financial resources shall not be deemed a cause beyond a party's control. Without limiting the foregoing, Allen shall not be responsible for delays in shipment of any Sign, Sign Product or related construction materials, or any delay in the provision of Installation Services, caused by or arising out of any supplier, transportation service, related labor disputes or material shortage.

10. Transfer of Title; Security Interest. Title to any Sign or Sign Products and all materials and property covered under this Contract shall remain in Allen and shall not be deemed to constitute a part of the realty to which it may be attached until the purchase price is paid in full. Allen is given an express security interest in any and all Signs and Sign Products and the materials and property of which they are constructed, whether erected or not

erected, notwithstanding the manner in which such personal property shall be annexed or attached to the realty. In the event of default by Customer, including, but not limited to, failure of Customer to pay of any amounts due and payable under this Contract, Customer hereby agrees that Allen may, without process of law and without being deemed guilty of trespass, take possession of and remove, as and when it sees fit wherever found, any materials used and intended for use in the construction of Sign or Sign Product and any and all property called for in the Contract.

11. Choice of Law. It is agreed that this Contract shall be governed by and construed in accordance with the laws of the State of North Carolina.

12. Notices. Any notice required or permitted to be given under this Agreement shall be sufficient, if in writing, and shall be deemed to be fully given if personally delivered, sent by registered mail, or sent by electronic mail with an original copy by regular mail to the addresses set forth following the signatures below, or such other address as a party designates by written notice. Each of Allen and Customer may change their respective address for notice by giving to the other party prior written notice of any such change.

13. Arbitration. It is expressly understood and agreed by Customer that Allen may, in its sole discretion, elect to have any and all disputes and controversies arising from or related to this Contract resolved by binding arbitration in accordance with the Commercial Arbitration rules and regulations of The American Arbitration Association ("AAA"). Such arbitration shall be submitted to and administered by the Regional Office of the AAA in a state where Allen has an office. Customer and Allen do now and hereby agree that the locale for any such arbitration proceedings shall be the city where Allen has an office location closest to Customer's principal business office. Each of Customer and Allen hereby agrees that: (i) any arbitration proceeding shall be submitted to one arbitrator; (ii) it will faithfully observe and comply with the applicable rules; (iii) it will abide by and perform any award rendered by the arbitrator; and (iv) judgment may be entered on any such award by any court having jurisdiction over the controversy. Enforcement of such judgment shall be in accordance with the applicable state or federal law of the court where such judgment is entered.

14. Assignment. No portion of this Contract or any right or obligation hereunder can be assigned, in whole or in part, by Customer or Allen without the prior written consent of the other party.

15. Entire Agreement. This Contract contains the full, final and complete agreement of the parties and supersedes all prior agreements or representations, whether verbal or written. The parties specifically agree that there are no other understandings of any nature concerning the subject of this Contract unless specifically included herein.

This Contract, with all conditions as noted, is herewith accepted by both parties.

Date: _____

CUSTOMER:

(Print Full Legal/Corporate Name)

ALLEN INDUSTRIES, INC.

By: _____

Print Name: _____

Title: _____

By: _____

Print Name: _____

Title: _____

Corporate address:

Corporate address:

Allen Industries, Inc.
6434 Burnt Poplar Rd.
Greensboro, NC 27410

PERSONAL GUARANTY: To induce Allen to extend credit to Customer named above, the undersigned do hereby personally and unconditionally guarantee the payment of all obligations and debts of Customer to Allen, including the payment of all interest and finance charges assessed and the costs of collection, and reasonable attorneys' fees; the undersigned do further understand and agree that this obligation and guaranty shall be a primary and not a secondary obligation, continuing in nature, and payable immediately upon demand without Allen having to first seek relief or recourse against Customer.

Signature: _____

Print Name: _____

Date: _____



651 East Wood Street
Decatur, IL 62523
217-429-1917

Invoice

Date

Invoice #

11/16/2023

23524

"OUR SERVICE IS SOMETHING YOU CAN SEE THROUGH"

psm
Bill To

Jimmy Johns
P.O. Box 284
Decatur, IL 62525

Job Name/Location

South Shores
4462

Payment Due

P.O. No.

ON ORDER

ON ORDER

Upon Receipt

Other

Quantity	Item	Description	Unit Price	Amount
1	Storefront	Brakemetal-AL	ea	
1	Commercial Labor	Commercial Labor	hr	
Recieved By:				Sales Tax (.. \$28.68
Total Due				\$663.68

Please include invoice(s) number with your payment

Item	Qty	Description	Sell	Sell Total
44	1 ea	OUTDOOR MENUBOARD - 2021 National Sign Systems Model No. KNATL-10002 63" H. x 62"W. Pedestal-Mounted Exterior Menuboard with LED perimeter illumination and magnetic material applied to the back of the pan. Includes ground pole, pole cover & flexible mounting plate for 12" ht. from grade to bottom of cabinet. All design per National shop drawings. Graphics provided separately by Tukaiz. 2021	\$4,425.50	\$4,425.50
	1 ea	KNATL-9999 Anchor Bolt Kit for Menu Board	\$81.50	\$81.50
45	1 ea	SPEAKER POST - 2021 National Sign Systems Model No. KNATL-20002 Speaker Post with JJ vinyl graphic 10"x10"x57"H. including vinyl graphics. 2021 *This post does not include any sound system components -- no speakers or microphones*	\$951.00	\$951.00
45.1	1 ea	OUTDOOR WASTE RECEP Wausau Tile Model No. KWAUS-3056 Outdoor Drive Thru Waste Receptacle. Includes receptacle, lid, liner and security cable. Black. 5-year warranty	\$490.50	\$490.50
49	1 ea	TEA BREWER  BUNN Model No. KBUNN-0301S 36700.0301 TB6 Twin Iced Tea Brewer, (2) 3-gallon capacity, 26.7 gallon/hour, rotating brew basket, base platform adapter, dedicated dilution nozzles, brew selection switch, adjustable sleep time, SplashGard® funnel, Quickbrew system, color coded decals, designed for brewing into (2) 3.5 gallon BUNN narrow tea dispensers (sold separately), 120v/60/1-ph, 1730w, 14.4amps, NEMA 5-15P, cord attached, UL, NSF	\$748.00	\$748.00
	1 ea	KBUNN-0305 Tea Brewer Drip Tray Kit	\$25.00	\$25.00
	1 ea	KECdesig KKEC-1720 Bunn Tea Brewer Connection Kit	\$32.00	\$32.00
	4 ea	KBUNN-2712 Gasket for Tea Dispenser (2 per Urn)	\$7.00	\$28.00
50	1 ea	BUNN Model No. KBUNN-0302 TDO-N-3.5 Narrow Iced Beverage Dispenser, 3.5 gallon capacity, sump dispense valve, lift handle, 8" cup clearance, for use with BUNN TB-3, TB-3Q and ITCB brewers with 29" trunk height, NSF **DISPENSERS ARE NOW INCLUDED IN THE MASTER SMALLWARES PACKAGE**		<NIC>
52.2	1 ea	FILE CABINET  3M Company Model No. KOFFC-1002 OIF TWO DRAWER LETTER SIZE FILE CABINET 29"H x 15"W x 26.5"D	\$281.75	\$281.75

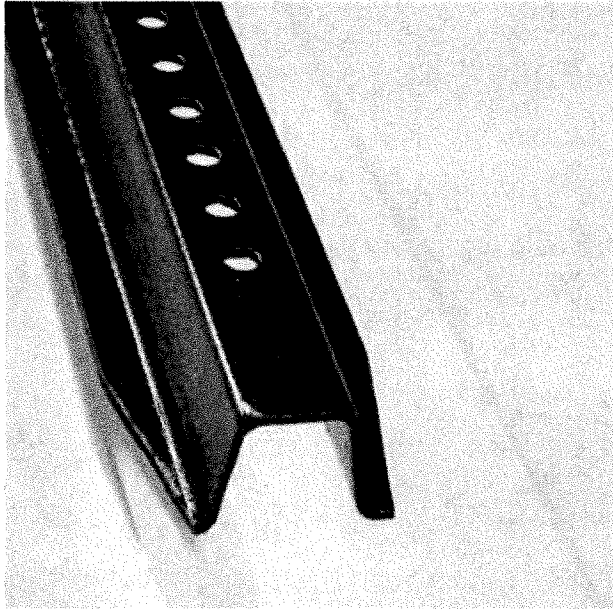


Jimmy Johns 18" x 12" Parking Only

\$39.00 ~~\$19.00~~

BUY NOW

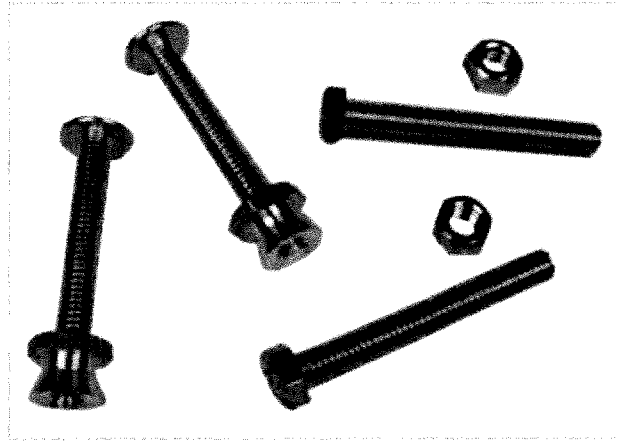
Accessories



**Jimmy Johns – 6 ft U-Channel Sign
Post**

\$30.00

BUY NOW



**Jimmy Johns – Standard Bolt & Nut
Pack (2 pcs each)**

\$2.00

BUY NOW



Drive Thru – 13' Feather Flag

\$55.95 for 1

[BUY NOW](#)

DRIVE - THRU MENU - MARCH 2025

Find in: Drive Thru

MARCH 2025 TOASTED SANDWICHES NEW MENU SKIN (CHAIN STANDARD)

SIZE:

Width: 54.0 in.
Height: 45.25 in.
Depth: 0.0625 in.
Weight: 2.25 lbs.
Substrate: 11pt magnetic receptive material
Quantity on Hand: 3 units

PACKAGED IN QUANTITIES OF: 1

Price: \$49.10

ADD TO CART

⚠ You will select your quantities & shipping addresses during checkout.

